

THE HIGHLAND COUNCIL

NORTH PLANNING APPLICATIONS COMMITTEE
10 January 2017

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| Agenda Item | 5.1 |
| Report No | PLN/002/17 |

13/02314/FUL : Mr R Macdonald
Land to north of Sun Dorne, Jamestown, Strathpeffer

Report by Area Planning Manager

SUMMARY

Description : Formation of 4 serviced house plots

Recommendation - GRANT

Ward : 06, Wester Ross, Strathpeffer and Lochalsh

Development category : Local Development

Pre-determination hearing : Not required

Reason referred to Committee : More than 5 representations received.

1. PROPOSED DEVELOPMENT

- 1.1 The proposal is to form 4 serviced house plots, one of which will be 'affordable' in accordance with Council policy.
- 1.2 A new access will be formed into the site off the Jamestown road, between the junction with the A834 and the house known as 'Jaybees'. This will serve the proposed new house plots. There will be landscaped areas alongside the A834, alongside the site entrance, and adjacent to the existing houses adjoining the site.
- 1.3 The site will be drained using a new storage pipe, leading to a new storm sewer and a new foul sewer (both of which will be routed alongside the A834). The storm sewer will then discharge into an existing watercourse to the south of Jamestown, and the foul sewer will connect into the existing sewer network. Cut off filter drains are also proposed, as are house soakaways.
- 1.4 A drainage statement, arboricultural impact assessment, design/access statement, flood risk assessment, supporting policy statement and protected species survey/species protection plan have been submitted in support of this application.
- 1.5 **Variations:** The application has been amended from 6 to 4 serviced house plots. In addition, the access details, drainage details, and landscaped areas have been amended. The link through the site to the south has been omitted.

2. SITE DESCRIPTION

- 2.1 The site is roughly 'L' shaped, and lies on the inside of a bend in the A834 which links Strathpeffer and Contin. The site forms part of the settlement of Jamestown, with houses in Jamestown lying alongside the south, east and part of the west boundaries. The A834 adjoins the north and remainder of the west boundaries.
- 2.2 The site is currently overgrown and un-used. There are a number of self seeded trees, mainly birch, within the site, along with whin, which present an attractive rural feel to users of the A834. There are also large specimen trees within the garden of 'Eastwood' adjacent to the south west of the site.

3. PLANNING HISTORY

- 3.1 01/00790/OUTRC – 3 house sites adjacent to Eastwood (amended from 5 houses) granted 15/02/02

4. PUBLIC PARTICIPATION

- 4.1 Advertised : 05/07/13 and 18/12/15 – potential departure from development plan; unknown neighbour.
Representation deadline : 12/01/16
Representations : 14 households have commented in writing.

- 4.2 Material considerations raised are summarised as follows:
- Contrary to policy 35 of the Highland-wide Local Development Plan
 - Contrary to Inner Moray Firth Local Development Plan
 - Detrimental to road safety
 - Dangerous junction of Jamestown internal road with the A834
 - Too close to bend in A834
 - Internal access road single track without pavements
 - Conflict of pedestrian and vehicular movements
 - Inadequate internal road network
 - 40 mph speed limit too high; vehicles frequently speed
 - Poor visibility upon leaving the site
 - Road surface in poor condition
 - Loss of amenity
 - Eroding character of Jamestown as a small rural hamlet
 - Loss of peace and tranquillity currently associated with Jamestown
 - Communal spaces/planting proposed are unsatisfactory.
 - High water table and clay deposits in the locality lead to flooding
 - Site is boggy and waterlogged
 - Underground pooling of water leads to flooding

- Surface water run-off leads to flooding
- Proposed buildings and drainage provisions will raise the water table and adversely impact on existing properties; could result in flooding or subsidence
- Drainage calculations are for hypothetical properties and thus unreliable
- Overlooking/loss of privacy due to new houses.
- 1 ½ and 1 ¾ storey houses will be inappropriately high and fail to integrate into Jamestown which is predominantly single storey housing
- 1 ½ and 1 ¾ houses will dominate the skyline and give a housing estate feel to the area
- Semi-detached houses are out of keeping
- No demand for affordable housing in the area
- No need for additional housing; sufficient allocated housing land to cater for demand
- Too high density to integrate into the area
- Surrounding area is mainly low level houses in spacious settings.
- Detrimental to wildlife which use the site – deer, red squirrels, foxes, red kites, housemartins, wildcat, hedgehogs, swifts.
- Existing consents in Jamestown should be implemented before more granted
- Noise, disruption, and safety concerns during development
- Construction traffic using substandard road network
- Possibility of plots being developed on an incremental basis over a number of years
- Eyesore of partially completed development
- Loss of views
- 2 houses on this site previously refused due to poor infrastructure and impact on Jamestown.
- Impact on existing services (schools, medical services, etc)
- Poor phone/broadband in Jamestown
- Inaccuracies in the plans

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

5.1 **Transport Planning** : Visibility at the junction of the site access with the Jamestown public road is satisfactory.

- 5.2 **Flood Management Team** : No objections subject to conditions
- 5.3 **Forestry** : Condition required to obtain full landscaping plan, maintenance programme and factoring agreement to a suitable standard.
- 5.4 **Scottish Water** : No objections.
- 5.5 **Scottish Wildcat Action** : The Species Protection Plan fits SNH guidelines and follows a precautionary approach to potential wildcat disturbance.

6. **DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

6.1 **Highland Wide Local Development Plan 2012**

- 28 Sustainable design
- 29 Design quality and place making
- 31 Developer contributions
- 32 Affordable housing
- 35 Housing in the countryside (Hinterland)
- 51 Trees and development
- 58 Protected species
- 64 Flood risk
- 65 Waste water drainage
- 66 Surface water drainage

6.2 **Inner Moray Firth Local Development Plan 2015**

Within Hinterland; no site specific policies apply

7. **OTHER MATERIAL CONSIDERATIONS**

7.1 **Draft Development Plan**

Not applicable

7.2 **Highland Council Supplementary Planning Policy Guidance**

Housing in the Countryside and Siting and Design

7.3 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 Development Plan Policy Assessment

Housing group

8.3.1 This application is for permission for the installation of servicing and infrastructure for prospective house plots. If granted, separate applications would be required for the detailed design and layout of the proposed houses. The Inner Moray Firth Local Development Plan includes the site within the Hinterland. Jamestown is not included as a Settlement Development Area, nor does it fall within Policy 3 Other Settlements since it does not contain a community facility, the nearest community facilities being located in the adjacent settlement of Strathpeffer. Therefore, the principle of housing development falls to be assessed against Policy 35 of the Highland-wide Local Development Plan (housing in the countryside – hinterland).

8.3.2 This presumes against new housing in the Hinterland unless it complies with one of the exceptions contained in the Council's adopted Supplementary Guidance : Housing in the Countryside and Siting and Design.

8.3.3 One such exception applies to new houses in an existing housing group, where the proposal would round-off or infill an existing group of 3 or more houses. In this instance, the site has existing houses and the A834 public road to all its boundaries, and this proposal would infill and round off this existing group, as required by Policy.

Local Character

8.3.4 Policy 28, sustainable design (HWLDP) requires new development, amongst other factors, to demonstrate sensitive siting in keeping with the local character of the area. Since the application is for serviced house plots, the design and siting of the properties is not currently being assessed.

8.3.5 The application as submitted was for 6 serviced house plots. It has now been amended to 4 serviced house plots, all of which are detached. This has resulted in more generously proportioned plots which better reflect the character of adjacent plots. Since the proposal is for serviced house plots, the layout and design of the individual houses will be subject to separate planning applications. Conditions can be used to limit the height of the houses to 1 ½ storey maximum to help the scale to integrate into the existing development at Jamestown.

Developer Contributions

- 8.3.6 Policy 31, developer contributions, and Policy 32, affordable housing (HWLDP), require the provision of at least 25% affordable housing units for developments of 4 or more properties. The applicant has indicated a willingness to provide one affordable housing plot as part of this development, as required by policy. Since the local primary school and secondary school have sufficient capacity to accommodate the additional predicted pupils arising from this development, no developer contribution is required in this respect. Similarly, there is sufficient open space provision on site and no developer contribution towards open space is therefore required. It would be appropriate to provide public art on site through the provision of a 'gateway' landscape feature where the site access joins the public road.

Landscaping / Trees

- 8.3.7 Policy 51, trees and development (HWLDP) seeks protection of existing trees and hedges on and around development sites, and requires additional planting to compensate for removal and to enhance the setting of any new development. This site contains a number of self seeded trees and scrub which are proposed to be removed. Communal landscaping areas are indicated on the plans which are appropriate to mitigate the loss of these trees. There are established trees within the garden grounds of houses adjacent to the site, and adequate separation is included to facilitate their protection. Conditions should be used to ensure that a high standard of landscaping is achieved appropriate to the location of this site at the entrance to Jamestown, alongside the A834, and adjacent to existing houses.

Protected Species

- 8.3.8 Policy 58, protected species (HWLDP) requires a survey when there is good reason to believe that a protected species may be present. In this instance, there have been reported sightings of Scottish Wildcat using the site. Accordingly, the applicant has carried out a protected species survey and a species protection plan. This concludes that there is a known presence of wildcats within the general area, but no signs were located during the survey. The small size of site and amount of human disturbance in the locality suggest that no direct impacts on wildcats are likely, and an offence will not take place if construction occurs on this site. It is thought that the wildcats might use this area as a link between areas, and therefore mitigation will be required during the construction period to reduce any potential impacts.
- 8.3.9 There are red squirrels in the nearby woodland, and there is potential for sightings of red squirrel within the site. However, the site is not wooded in nature, and the main squirrel habitat is in the woodland and not within the site, so any disturbance is likely to be minimal.

Flooding / Drainage

- 8.3.10 Jamestown experienced flooding during periods of heavy rainfall from a collapsed culvert. This occurred downhill of the site, and the culvert has now been replaced. Local knowledge suggests that the area has a high water table, poor permeability,

springs, and is poorly draining. Existing vegetation within the site indicates poor drainage. A house adjacent to the site (Saltire House) was re-built at a higher level after experiencing flooding. A drainage assessment has therefore been carried out, along with a flood risk assessment, and the Council's Flood Risk Management Team have been consulted. They request a condition that the area to the south of the site remains communal landscaping as shown on the plans, and is not used as a house plot. The drainage proposal has also been amended to discharge surface water to the existing 'western' ditch downstream of the A834 culvert. This should satisfactorily mitigate flood risk. The proposed drainage has also been amended to cope with all of the run-off since the infiltration rate at the site is negligible. Filter trenches/cut off drains are now included, along with storm and foul sewers. The Flood Management Team has now withdrawn its earlier objection subject to appropriate conditions on any planning consent.

- 8.3.11 This satisfies the requirements of Policy 64, flood risk, and Policy 66, surface water drainage, since the submitted drainage principles address these issues in a satisfactory manner. Conditions are, however, requested to ensure that full calculations and drawings are provided to demonstrate that the drainage network can be constructed as per the submitted schematic, and that future maintenance arrangements are provided. It should also be demonstrated that the storm sewer design is acceptable to Scottish Water and can be adopted.

Access

- 8.3.12 It is acknowledged that the junction of the Jamestown internal road network and the A834 is substandard and incapable of accommodating additional development. Similarly, the existing road network within Jamestown is substandard. However, there is an existing planning permission (12/02388/FUL) for the improvement of the junction, and it has been acknowledged that work has commenced so the consent will not expire. If implemented in full, this will bring the junction up to a standard which is sufficient to accommodate the additional traffic associated with this site.
- 8.3.13 The access into the site off the internal access road is sufficiently close to the junction with the A834 to fall within the area which will be upgraded as part of the junction improvements. Since the internal road network just provides access to the existing houses in Jamestown, it is probable that the vehicular traffic associated with this proposal will exit towards the A834 and is unlikely to use the existing substandard Jamestown internal road network. The proposal therefore is unlikely to put additional strain upon the existing substandard internal road network. The junction improvements will, however, need to be carried out prior to any works commencing on the site.
- 8.3.14 The site lies on the inside of a bend on the A834, and it is important that forward visibility is not compromised for road users through the development of this site. Accordingly, the proposal takes account of the forward visibility through keeping a strip of land around this bend free from any growth or other structure in excess of 1m in height. Furthermore, the bend in the road will continue to help restrict traffic speeds along the A834.

Amenity of Neighbouring Properties

- 8.3.15 The proposed access road to serve the house plots will run between the proposed house plots and existing housing. A narrow landscape strip has been indicated between the road and the existing houses, Jaybees and Saltire House, which will help protect the amenity of these residents. The proposed house plots 3 and 4 will back onto the garden of Eastwood. The issue of amenity are aspects which would be more fully addressed as part of any subsequent detailed applications for houses.
- 8.3.16 Communal landscaping is proposed between Plot 4 and the rear of existing houses Sundorne and Sunnyside, and the front of Balevullin. This area is required to be kept as landscaping and not utilised as a house plot due to drainage requirements. This aspect would help preserve the amenity of these residents through providing a buffer between them and the proposed development.
- 8.3.17 This application is for permission for the formation of servicing and infrastructure for prospective house plots alone. The proposal does not entail an assessment of any possible houses or their position within the site as this will form the basis of separate future planning applications for their detailed design and layout.

8.4 Other Considerations – not material

- 8.4.1 The existence of adequate allocated housing land and unimplemented planning permissions does not justify recommending refusal for development elsewhere. Each application has to be assessed on its merits, and in relation to planning policy and material planning considerations. Requirement for the proposal is for the market to dictate; not for the Planning Service to assess.
- 8.4.2 The Planning Authority has no control over the duration of the building operations, and disruption during any development is to be expected.
- 8.4.3 Application 01/00790/OUTRC was amended from 5 serviced house plots to 3, in order to comply with the requirements of Housing Policy RS2 of the Mid Ross Local Plan. This plan has since been superseded, and this current application falls to be determined in accordance with the current policies and situation in Jamestown, and not according to the policies in 2001.
- 8.4.4 The phone/broadband network in Jamestown is not a material planning consideration.

8.5 Matters to be secured by Section 75 Agreement

Provision of one affordable housing unit in accordance with Council policy

9. CONCLUSION

- 9.1 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. RECOMMENDATION

| Action required before decision issued | Y | |
|--|---|---|
| Notification to Scottish Ministers | N | |
| Notification to Historic Scotland | N | |
| Conclusion of Section 75 Agreement | Y | To secure provision of one affordable housing unit, as per Council policy |
| Revocation of previous permission | N | |

Subject to the above, it is recommended the application be **granted** subject to the following conditions and reasons/notes to applicant :

1. No development shall commence until such time as the road junction improvements to the eastern Jamestown access road with the A834 proposed under application 12/02388/FUL (or another such scheme which has been submitted to and approved in writing by the Planning Authority) to bring the junction of up to Highland Council's standards has been completed in full.

Reason : In the interests of road safety, since the alignment and visibility at the junction is currently severely substandard.

2. No development shall commence until the site access has been constructed in accordance with The Highland Council's Access to Single Houses and Small Housing Developments guidelines and the attached Access Schedule (dated 9th December 2016), with:
 - i. the junction formed to comply with drawing ref. 2089-PL011; and
 - ii. visibility splays of 2.4m x 30m (the X dimension and Y dimension respectively) in each direction formed from the centre line of the junction of the site access road with the adopted Jamestown public road.

Within the stated visibility splays, at no time shall anything obscure visibility between a driver's eye height of 1.05m positioned at the X dimension and an object height of 0.60m anywhere along the Y dimension.

Reason : To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

3. No development shall commence until a scheme for the treatment of the forward visibility splay on the bend in the A834, as identified on drawing No 2089-PL006 rev H has been submitted to and approved in writing by the Planning Authority in consultation with Transport Planning. Thereafter, the approved scheme shall be implemented in full before the commencement of any works on the access road to

service the 4 house plots hereby approved. At no time shall anything obscure visibility between a driver's eye height of 1.05m and an object height of 0.60m within the forward visibility splay.

Reason : In the interests of road safety, and that the works involved comply with applicable standards

4. No development shall commence until confirmation that the storm and foul sewers can be installed along the proposed discharge route has been provided, to include:
- permissions of relevant landowners/roads authorities where appropriate
 - evidence of technical approval from Scottish Water
 - evidence that the storm sewer design is acceptable to Scottish Water so that the network can be adopted.
 - a timescale for the installation. (For the avoidance of doubt this shall be before the first occupation of any dwelling.)

Thereafter, the development shall be carried out wholly in accordance with these details and timescale.

Reason : In order to protect people and the environment from the impact of waste water, ensure that the development can be connected to the existing drainage infrastructure and that the site can be adequately drained.

5. The area to the south of the site (between Plot 4 and 'Sunnyside', 'Sundorne' and 'Balevullin') shall remain free from development, and shall remain available for use in connection with the provision of the site's drainage requirements.

Reason : In order to protect people and the environment from the impact of waste water, and to ensure that the site can be adequately drained.

6. No development shall commence until full details of the surface water drainage design, to demonstrate that there will be no increase in flood risk, have been submitted to and approved in writing by the Planning Authority, in consultation with the Flood Risk Management Team. This shall demonstrate that the surface water drainage is designed to ensure that there is no increase in flood risk at the road culvert in particular and shall include a programme for implementation. (For the avoidance of doubt this shall be before the first occupation of any dwelling.) Thereafter, development shall be carried out fully in accordance with these approved drainage details and programme of implementation.

Reason : To ensure that the proposed drainage can be provided without increasing flood risk, in the interests of public health and safety.

7. No development shall commence until the ownership/future maintenance arrangements for the cut off drains that fall outside of the individual plot boundaries have been submitted to and approved in writing by the Planning Authority in consultation with the Flood Risk Management Team. Thereafter, development and maintenance in perpetuity shall be carried out wholly in accordance with these details.

Reason :To ensure the maintenance and proper functioning of the drainage system, in the interests of public health and environmental protection.

8. No development shall commence until calculations and the final drainage design (including drawings and sections) have been submitted to and approved in writing by the Planning Authority, in consultation with the Flood Risk Management Team. These shall demonstrate that :

- discharge is limited to the greenfield run-off rate of 0.7 litres per second
- there is onsite storage for 1:200 year plus climate change event.
- the cut off drain on the south and eastern boundaries connecting into the surface water drainage network is sized appropriately to cope with all of the run-off since the infiltration rate at the site is negligible.
- The levels on the site allow the drainage network to be constructed as per the drainage schematic submitted (2682:201 Rev C)
- The timescale for installation shall be prior to the occupation of any house

Thereafter, all drainage shall be completed and thereafter maintained wholly in accordance with these approved details.

Reason : In order to ensure that waste water infrastructure is carefully managed and provided timeously, in the interests of public health and environmental protection.

9. No development, site excavation or groundwork shall commence until all retained trees have been protected against construction damage using protective barriers located beyond the Root Protection Area (in accordance with BS5837:2012 Trees in Relation to Design, Demolition and Construction, or any superseding guidance prevailing at that time). These barriers shall remain in place throughout the construction period and must not be moved or removed during the construction period without the prior written approval of the Planning Authority.

Reason : In order to ensure the protection of retained trees, which are important amenity assets, during construction.

10. All development shall be carried out wholly in accordance with the mitigation identified in the Scottish Wildcat Species Protection Plan, dated 15th November 2016, carried out by Dr Eric Donnelly and Yvonne Brown on behalf of 'a9 consulting Ltd'.

- A pre-construction survey shall take place 2 months in advance of the commencement of construction, or one month in advance of the commencement of construction if works start in January – June, to be carried out by an ecologist to be agreed in writing by the Planning Authority. Should wildcats be located on site, a scheme of mitigation shall be submitted to and approved in writing by the Planning Authority prior to the commencement of development.
- No construction works or other external works, site lighting, or running generators shall take place between ½ hour before dusk and ½ hour after dawn,

- An Ecological Clerk of Works (ECoW) shall inspect the vegetation immediately prior to vegetation stripping and shall be present during the stripping.
- SNH shall be contact immediately if wildcats or any other protected species are seen on site
- All site workers/staff shall attend a toolbox talk in relation to good practice in relation to wildcats and other species
- Protected species information boards shall be provided in site offices/welfare units
- No pits shall be left uncovered and all pits and trenches shall have an escape route for cats and other mammals
- All wastes shall be securely stored and disposed of, and all skips and bins shall be covered to prevent access by animals
- No food wastes or food packaging rubbish shall be left on site
- No wire or metal mesh or fencing shall be left uncovered, to avoid cats becoming stuck
- All plant shall be checked before use to ensure no cats have crawled into gaps
- No hazardous materials shall be left uncovered, with all placed in COSSH cabinets when not in use.

Reason : To ensure that the site and its environs are surveyed and that the development does not have an adverse impact on protected species or habitat.

11. No development shall commence on site until details of a feature of Public Art to be provided on site, in compliance with the Council's Public Art Strategy Supplementary Guidance; and proposals for its installation and maintenance; have been submitted to and approved in writing by the Planning Authority. The Public Art feature shall thereafter be installed and maintained in accordance with such details.

Reason: In accordance with Highland wide Local Development Plan Policy 31 (Developer Contributions) and associated supplementary planning guidelines on Developer Contributions, Open Space and Public Art Strategy.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

TIME LIMITS

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Section 75 Obligation

You are advised that this planning permission has been granted subject to a Section 75 Obligation. The terms of the obligation must be read in conjunction with the planning permission hereby approved. The terms of the obligation may affect further development rights or land ownership and you are therefore advised to consult with the Planning Authority if considering any further development.

Indicative Layout and Future Applications

For the avoidance of doubt permission is granted solely for the servicing and infrastructure as shown and subject to the relevant conditions attached to the decision notice. The size, orientation and location of the dwellinghouse(s) as shown on the approved plans is indicative only and does not have the benefit of permission. The detailed siting, design, scale and finish of the houses will require to be the subject of separate planning applications to the Planning Authority.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.198), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as dropped kerb consent, a road openings permit, occupation of the road permit etc.) from TECS Roads prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local TECS Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport/roads/Applicationformsforroadoccupation.htm>

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Damage to the Public Road

Please note that the Council, under Section 96 of the Roads (Scotland) Act 1984, reserves the right to recover all costs for repairing any damage to the public road (and/or pavement) which can be attributed to construction works for this development.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Sustainable Design

Future designs for this site should draw on the principles contained within with The Highland Council's Sustainable Design Guide: Interim Supplementary Guidance, in particular with regard to use of sustainable building materials, waste water re-use/recycling and energy conservation

Protected Species - Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

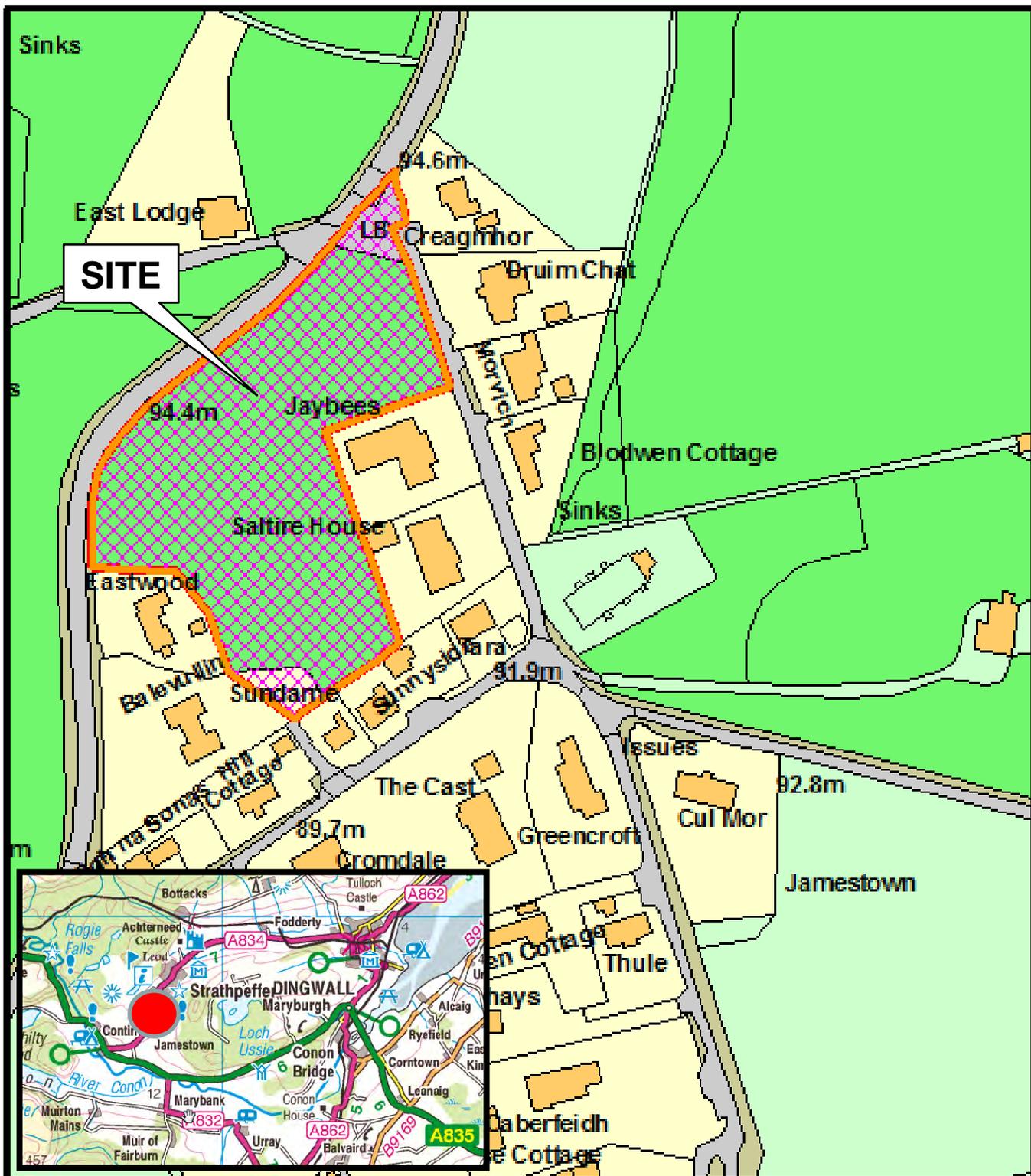
Protected Species - Contractors' Guidance

You must ensure that all contractors and other personnel operating within the application site are made aware of the possible presence of protected species. They must also be provided with species-specific information (incl. guidance on identifying their presence) and should be made aware of all applicable legal requirements (incl. responsibilities and penalties for non-compliance).

Bilingual Signage

In line with the Council's Gaelic Language Plan and policies, you are encouraged to consider the use of both Gaelic and English on signage within in this development (both internal and external signs). For further guidance, you may wish to contact the Council's Gaelic Development Manager (01463 724287) or Comunn na Gàidhlig (01463 234138).

Signature: Dafydd Jones
Designation: Area Planning Manager North
Author: Susan Hadfield
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 – site location plan
Plan 2 – site layout plan



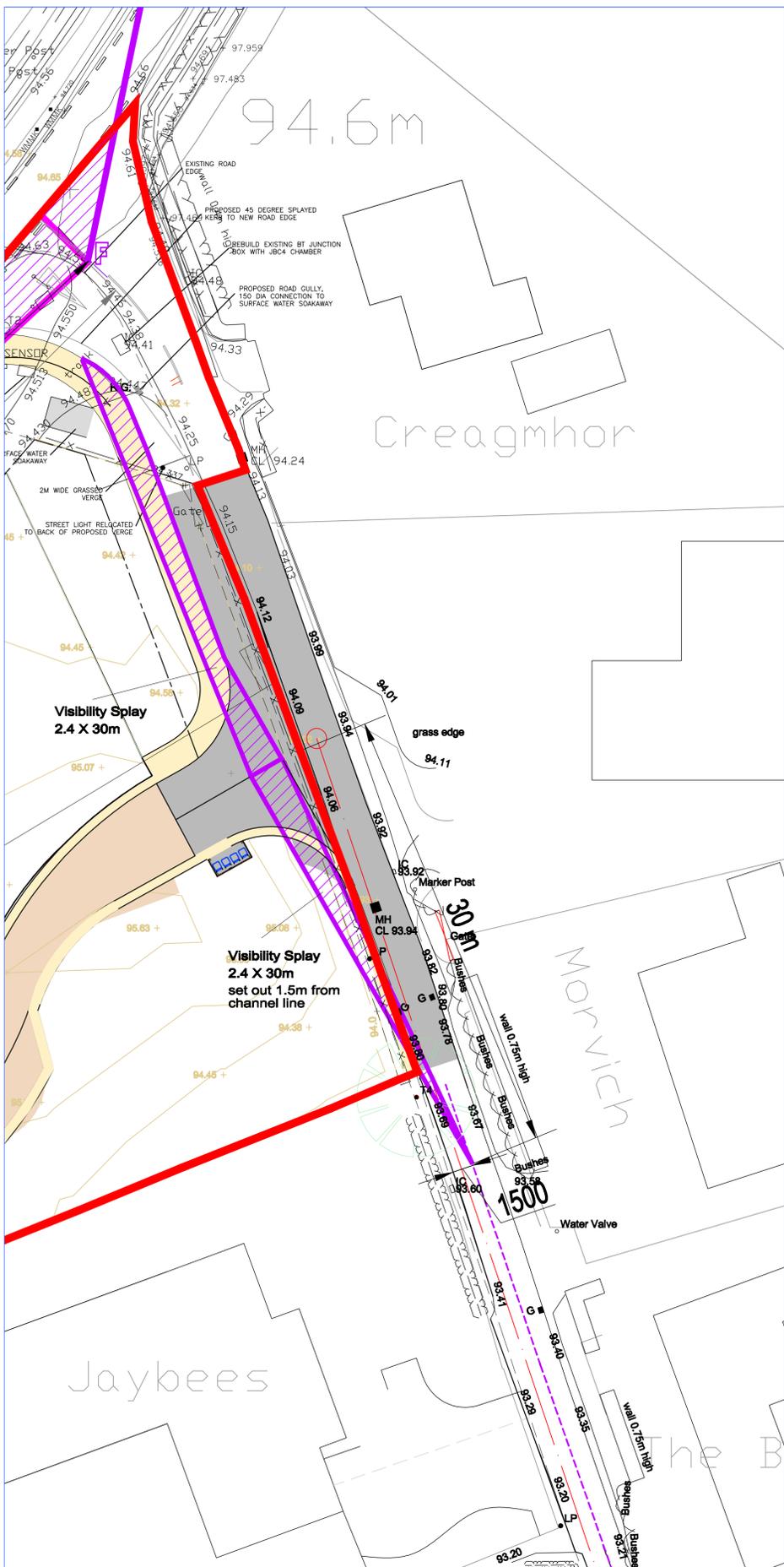
Planning & Development
Service

13/02314/FUL

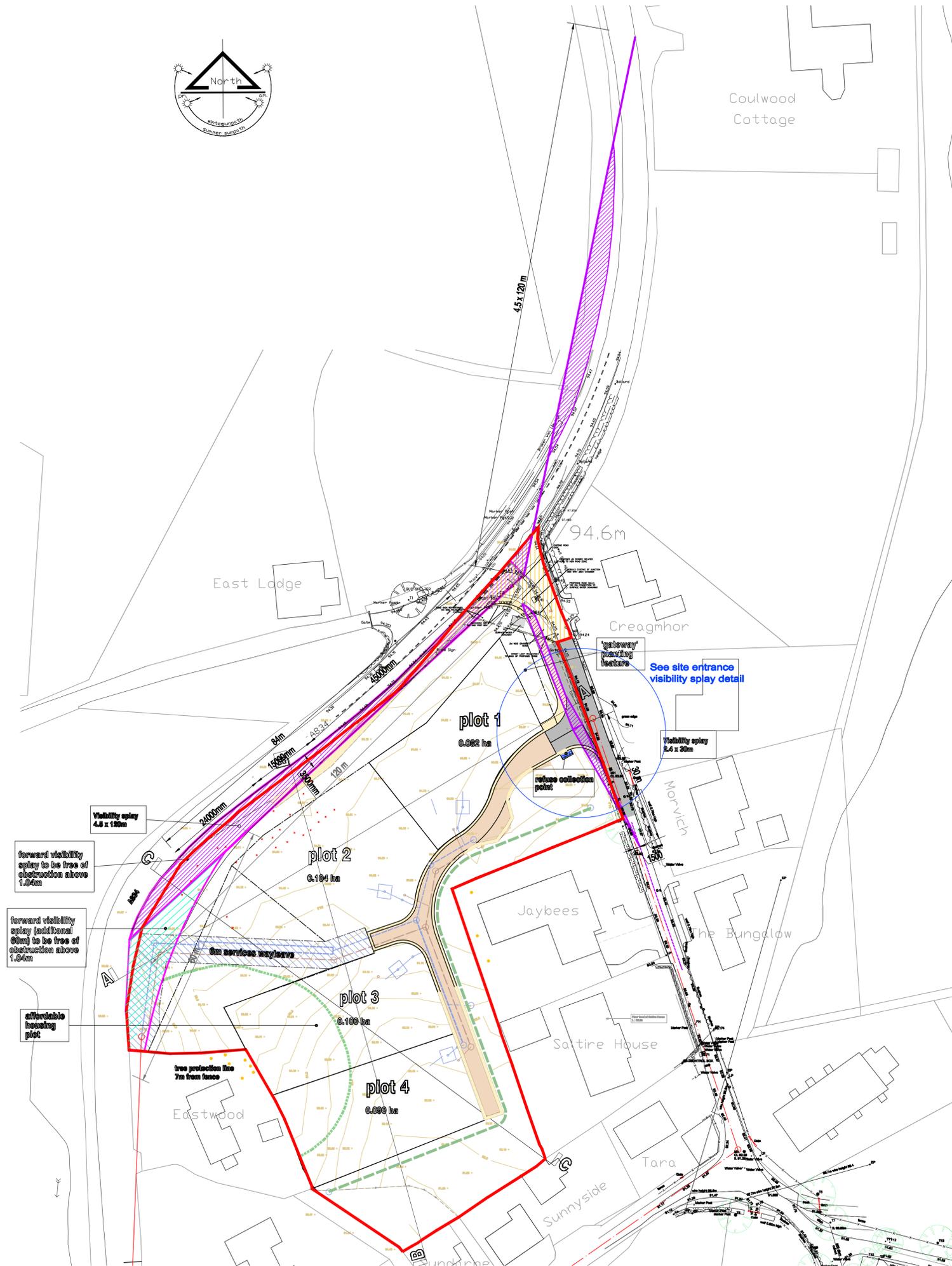
Formation of four serviced house plots
at land to North of Sun Dorne,
Jamestown, Strathpeffer

N





SITE ENTRANCE VISIBILITY SPY
scale : 1:200



DO NOT SCALE. IF IN DOUBT ASK!
All setting out must be checked on site prior to commencement. Any discrepancy must be reported to G. H. JOHNSTON Building Consultants Ltd

ALL DIMENSIONS, etc. SUBJECT TO FULL SURVEY.
SITE AREA: 8454 sq.m / 0.845 ha / 2.09 acres

KEY:

LAYOUT

- serviced house plots, post and wire
- shared surface road and turning head
- footpath
- improvement to A834 junction

SERVICES

- filter drain
- surface water drainage
- foul drainage
- services wayleave

REVISIONS

| rev. | description | date |
|------|---|--------|
| A | Plots 3a & 3b split: semi-det unit. Plot 5 omitted. | jun'14 |
| B | Filter drain extended to HGA detail. | nov'14 |
| C | changes to plot 3 | 11.15 |
| D | Alts to road | 03.16 |
| E | Alts to road entrance | 04.16 |
| F | Access road extended into plot 4 | 05.16 |
| G | Change to Plots 1 & 3 | 06.16 |
| H | | 06.16 |

PLANNING ISSUE

Client
Rory MacDonald

Project
proposed serviced house plots Jamestown

Drawing
site layout

| Scale | Date | Drawn by |
|----------|--------|----------|
| 1:500@A1 | jun'13 | bof |

| Project no | Dwg no | Rev |
|------------|--------|-----|
| 2089 | PL006 | H |

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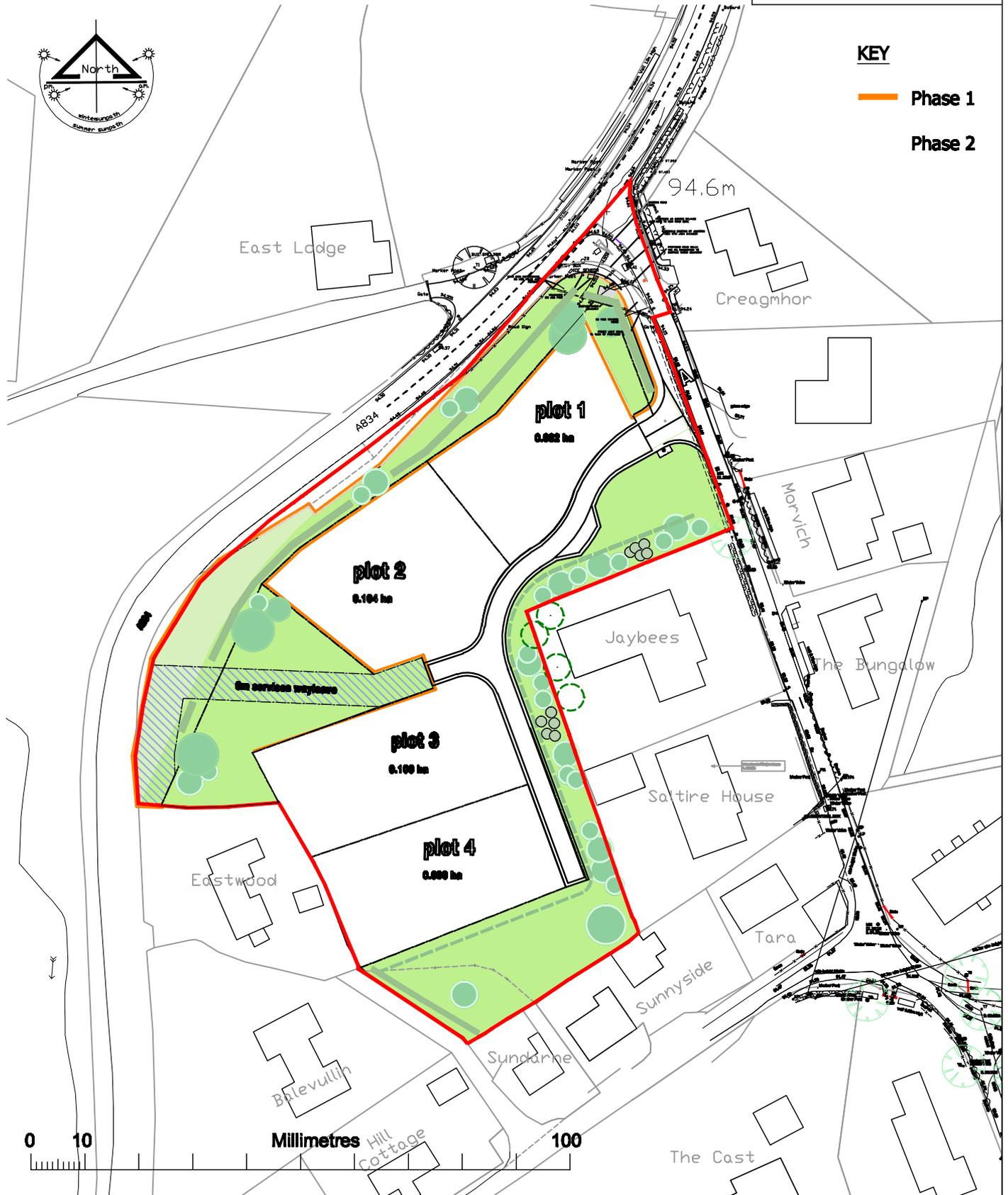
TEL (01463) 237229
FAX (01463) 243258

DO NOT SCALE, IF IN DOUBT PLEASE ASK
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 G. H. JOHNSTON Building Consultants Ltd



KEY

- Phase 1
- Phase 2



| REVISIONS | | |
|-----------|--------------------------------|-------|
| rev. | description | date |
| A | Access road extended in plot 4 | 08.16 |
| B | Changes to open space | 08.16 |

Notes

PLANNING
SUBMISSION

Client
Rory MacDonald

Project
**proposed serviced house plots
Jamestown**

Drawing
**landscape plan : management &
maintenace prog.: factoring scheme**

| | | |
|---------------------------|------------------------|-----------------------|
| Scale 1:1000@A4 | Date 04.16 | Drawn by ca |
| Project no 2089 | Dwg no PL009 | Rev B |

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