

THE HIGHLAND COUNCIL

**NORTH PLANNING APPLICATIONS COMMITTEE
24 March 2015**

Agenda Item	6.5
Report No	PLN/014/15

**14/04434/FUL : Broadford And Strath Community Company
Land 75M West Of Pairc Nan Craobh Industrial Estate, Broadford**

Report by Area Planning Manager

SUMMARY

Description : Formation of campsite, campervan park, allotments, events space and attendant access roads and buildings and associated services

Recommendation - GRANT

Ward : 11 - Eilean A' Cheò

Development category : Major Development

Pre-determination hearing : N/A

Reason referred to Committee : Major Development.

1. PROPOSED DEVELOPMENT

- 1.1 This application seeks full planning permission for the creation of a campsite, campervan park, allotments, events space and associated access roads, buildings and services in an area of previously felled commercial woodland purchased by the applicants in 2011.
- 1.2 Access to the site will be via a new road to be taken off the existing access to the industrial site lying to the east of the proposal. Both public water supply and mains drainage connections are available in the vicinity. The site has adequate space available for SUDS infrastructure.
- 1.3 The application has been submitted with a variety of supporting documents;
 - photo/visual representations of the buildings to augment elevation drawings
 - a business plan for the campsite and events space
 - a design and access statement
 - records of public comments made during the consultation process
 - a woodland plan
- 1.4 **Variations:** None

2. SITE DESCRIPTION

- 2.1 The site lies adjacent to the northern side of the A.87 trunk road at the western end of the village. The land rises gently away from the road frontage from south to north and largely consists of rough grassland covering tree stumps and brash left behind by the harvest of the plantation which previously occupied the land. A number of small watercourses pass through the site from north to south.
- 2.2 Similar landform continues beyond the site's northern boundary with a water treatment works positioned just beyond its north-eastern corner and featuring three small wind turbines. The western boundary is marked by remaining commercial woodland which continues north to form a backdrop to the site on the higher land beyond the rear boundary of the site. The eastern boundary of the site is shared with the long-established industrial estate which is also heavily wooded. Access to the proposal is taken from the service road for the industrial estate towards the south-eastern corner of the application site.
- 2.3 On the other side of the trunk road from this south-east frontage are a number of business premises accessed from Ford Road, including a café, post-office, gallery, council offices and library.

3. PLANNING HISTORY

- 3.1 12/01628/PREAPP - Regenerate existing felled forestry as amenity woodland, with a campsite and community events/recreation space, plus possible future built developments towards south end of site. Support expressed in principle.
- 13/03047/FUL - Construction of access and car park, erection of log shelter, polytunnel and two portakabins and creation of allotments – Approved 7 August 2014
- 14/03232/PAN - Woodland campsite & events space: approx 300m of access road; approx 25m² entrance building; approx 100m² service building; 2no car park; woodland planting strategy. A public consultation meeting was held on 15 September 2015 and built upon a previous event in February of the same year. The results of this public consultation have been submitted as part of this application and have informed some of its details.

4. PUBLIC PARTICIPATION

- 4.1 Advertised : Unknown Neighbour
Representation deadline : 20 February 2015
Timeous representations : 10 from 10 addresses
Late representations : None
- 4.2 Material considerations raised are summarised as follows:
- Will encourage tourists to stay on the island
 - Will generate revenue for other community projects
 - Will create jobs
 - Ideal location for a campsite with shops, restaurants and pubs nearby
 - Sits well within woodland setting

- Forest school and allotments are a welcome inclusion
- Will take some of the campervans out of main car park and reduce wild camping too
- Event space welcomed

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

5.1 **Transport Planning Team** : No objection – some further detail required

5.2 **Environmental Health** : Advice awaited

5.3 **Access Officer Skye** : Advice awaited

5.4 **Building Standards** : Advice awaited

5.5 **Forestry Team** : Advice awaited

5.6 **Transport Scotland** : No objection

5.7 **SEPA** : No objection subject to a number of conditions covering foul drainage connection, SUDS detail, watercourse engineering, submission of a CEMP

5.8 **Scottish Water** : Advice awaited

5.9 **Access Panel** : No objection – several points of detail in respect of parking provision and internal details

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

Policy 28	Sustainable Design
Policy 29	Design Quality and Place-Making
Policy 34	Settlement Development Areas
Policy 43	Tourism
Policy 44	Tourist Accommodation
Policy 51	Trees and Development
Policy 52	Principle of Development in Woodland
Policy 56	Travel
Policy 61	Landscape

Policy 65 Waste Water Treatment

Policy 66 Surface Water Drainage

6.2 **West Highland and Islands Local Plan - As continued in force, April 2012**

Policies 1 & 2 In respect of land allocation and settlement development area boundaries and developer requirements

7. **OTHER MATERIAL CONSIDERATIONS**

7.1 **Draft Development Plan**

Not applicable

7.2 **Highland Council Supplementary Planning Policy Guidance**

- Construction Environmental Management Process for Large Scale Projects (August 2010)
- Trees, Woodlands and Development (Jan 2013)

7.3 **Scottish Government Planning Policy and Guidance**

Scottish Planning Policy (The Scottish Government, June 2014)

8. **PLANNING APPRAISAL**

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.3 **Development Plan Policy Assessment**

The application site falls within the Settlement Development Area of Broadford, so Policy 1 of the West Highlands & Islands Local Plan and Policy 34 of the Highland Wide Local Development Plan apply. These policies support development proposals within Settlement Development Areas if they meet the Design for Sustainability requirements of the Highland Wide Local Development Plan Policy 28. The West Highlands & Islands Local Plan Policy 1 also has a requirement to judge proposals in terms of how compatible they are with the existing pattern of development and landscape character, and how they conform with existing and approved adjacent land uses. Policy 28 of the Highland Wide Local Development Plan requires sensitive siting and high quality design in keeping with local character and historic and natural environments, and the use of appropriate materials. This Policy also requires proposed developments to be assessed on the extent to which they are compatible with service provision, as well as their impact on individual and community residential amenity. Policy 29 of the Highland Wide Local Development Plan repeats this emphasis on good design in terms of compatibility with the local settlement pattern.

The site also falls within the MU4 Cnoc na Cachaille land allocation which identifies acceptable uses as tourism, business and community.

Its northern boundary just crosses into the “I” North of Industrial estate industrial land allocation which seeks to safeguard the future expansion of the waste water treatment works.

Policy 43 suggests a number of outcomes such proposals should aim to achieve including;

- Complementing existing tourist facilities within the settlement
- Resulting in increased visitor stay periods, visitor spending and diversity

Policy 44 states that proposals for tourist accommodation within settlement boundaries will be supported if the Council is satisfied that the proposal can be accommodated without adverse impacts upon neighbouring uses and complies with Policy 28: Sustainable Design.

Policy 51 states that the Council will support development which promotes significant protection to existing hedges, trees and woodlands on and around development sites.

Policy 52 states that the Council will maintain a strong presumption in favour of protecting woodland resources. Development proposals will only be supported where they offer clear and significant public benefit. Where this involves woodland removal, compensatory planting will usually be required.

Policy 56 states that development proposals that involve travel generation must include sufficient information with the application to enable the Council to consider any likely on and off-site transport implications of the development.

Policy 61 of the Highland wide Local Development Plan states that new developments should be designed to reflect the landscape characteristics and special qualities of the area in which they are proposed. Consideration should be given to scale, form, pattern and construction materials.

Policies 65 and 66 require proposals to demonstrate foul and surface water drainage systems that are ultimately compatible with connection to the public network or otherwise acceptable in environmental terms and that meet the principles of SUDS.

For the reasons laid out below, the proposal is considered to comply with these policy requirements and to be acceptable in principle.

8.4 **Material Considerations**

Land Allocations – the site falls within the MU4 land allocation set by the West Highland and Islands Local Plan. This allocation identifies acceptable uses as “tourism, business and community uses”. It is considered that the proposed development falls squarely within these definitions and therefore enjoys an ‘in principle’ presumption in favour of approval.

Design, Appearance and Landscape Impact – although the site has been largely clear felled, the intervening period of time has allowed a significant degree of natural regeneration of trees and scrub to take place. Most significantly, a belt of low tree growth has developed right across the southern frontage of the site adjacent to the trunk road. Coupled with a slight cutting and embankment as the road passes the site, this natural landscaping largely obscures the site from the A.87 and greatly reduces its visibility from the shops and public uses on the other side of the road.

As the design and access statement makes clear, the main bulk of the built development and engineering works associated with the proposal have been deliberately set in a line across the site, some 60m – 90m back from the road frontage and just to the rear of this natural landscape screening, to maximise this screening effect and leave the more elevated areas of the land free of development.

It is considered that this approach successfully achieves these aims. Moreover, it is recognised that, apart from the three buildings proposed (see below) and the visual impact of parked vehicles, the access road, camping and parking areas have very little visual impact in their own right.

In terms of the buildings proposed, the architectural style is modern, clean-lined and minimalist, with all three buildings featuring elongated rectangular single storey floorplans beneath monopitch roofs with timber cladding, widespread use of glass and extensive covered walkways/terraces.

The first building to be encountered on entering the site from the industrial estate road will be the Reception Building. This is a 19m long structure orientated with its roof-slope following the lie of the land – lowest eave to the south – and accommodating a reception and shop, accessible WC and a meeting room. Although potentially the most prominent of the three buildings, this reception structure will actually have limited public visual impact as a result of natural screening, landform and its design, scale and massing.

To the north of this building is an area of parking leading on to a part of the site designated for polytunnels and allotments. Between the two is a 14m long Maintenance Building to contain a store/workshop, office, kitchen and WC. This building is orientated with its roof-slope in the other direction and its high eave facing south. However, at this distance from the road frontage – 170m – the building has little visual impact. Moreover, as with the reception building, this eastern part of the site will read against the adjacent buildings of the industrial estate, further lessening their landscape impact.

Beyond the reception building and continuing in a linear form to the west, there are four areas for campervan use, followed by a group camping area and then a further parking area. To the north of the parking area is the main camping area in a series of terraced levels. Further to east, to the rear of the campervan areas and pretty much at the centre of activity is the Service Building. Although similar in form to the other buildings, this facility, containing washrooms, drying room and communal cooking and living space, is some 53m long. Like the reception building it presents its lowest eave to the south and is only 6.4m wide, but the main contribution to minimising the visual impact of such a large building is the landscape planting surrounding the campervan areas. As with the parking and group camping areas to

the west, the campervan plots are to be surrounded by landscape planting which will, ultimately read as a belt of trees and shrubs across the site and a continuation of the natural belt of tree growth on the other side of the new access road. Whilst the timber roof of the building is likely to be partially visible, overall impact is considered to be low.

Although this scheme falls within the definition of major development, it can be seen from the above that the actual built development and other visual intrusions into the land, are very limited and will be easily assimilated into the wider setting.

Trees and Landscaping – One of the outcomes of the pre-application discussions with the authority was an agreement that this development would not trigger the compensatory planting requirements of Policy 52 despite being within an area of previously felled plantation. As an allocated site, it was concluded that this element of national policy should not apply.

That said, the applicants have developed a woodland plan covering the application site and the land they control further north and much further high quality planting is envisaged in the future in addition to the landscape planting more directly associated with this proposal. Full details of the landscaping proposals for this scheme are recommended to be controlled by condition.

Neighbour Amenity – The consideration of amenity is relevant to this application because the site borders the industrial estate. It would not be acceptable to approve a leisure use such as this if noise from industrial operations would inevitably cause an unacceptable loss of amenity to campsite users or result in noise complaints in respect of those activities.

However, although the allotments are close to some of the industrial sites, the camping area is some 250m or more from the nearest industrial plot and this is considered more than sufficient distance to protect amenity. The site layout includes the provision of some bunding along the eastern boundary to help in this regard.

Access and Parking – In their consultation response the roads team did not object to the development but required some further information. This can be achieved acceptably through the use of suspensive conditions.

Sufficient parking is provided for the 65 camping pitches proposed. However, it is noted that the proposal includes an events space and allotments also, raising the possibility that parking could be exceeded if all these elements are in full use at the same time. A condition is recommended requiring a more detailed site layout plan showing exactly how many parking spaces will be provided and relating this to maximum parking demand. This drawing should also show sufficient disabled and cycle parking.

A condition is also recommended for the submission and approval of the details of the new access and road. Such details will need to include provision for pedestrian access to the site as Transport Scotland have recommended a condition requiring no pedestrian access onto the trunk road.

Further details are also required in respect of flood risk and the proposed SUDS arrangement.

Subject to these conditions the development is considered acceptable in these respects.

Drainage – Equally, SEPA have no objection subject to the imposition of a number of conditions;

- All building foul drainage to be directed to the public sewer
- The SUDS design to incorporate one level of treatment in accordance with the SUDS Manual
- That all built development be kept at least 6m away from the top of the banks of any watercourse
- That any watercourse crossing be designed in accordance with best practice and that any culvert be at least the same width as the natural active channel

Suitable conditions to cover these requirements are recommended below.

Protected Species – given the previous use of the land as a forestry plantation, it is not considered that any protected species survey work is justified although a standard precautionary informative is recommended.

8.5 **Other Considerations – not material**

A number of the points raised by the Access Panel relate to internal details which can be controlled through the Building Standards. Consequently, they are not material planning considerations.

8.6 **Matters to be secured by Section 75 Agreement**

None

9. **CONCLUSION**

- 9.1 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. **RECOMMENDATION**

Action required before decision issued N

Subject to the above, it is recommended the application be **Granted** subject to the following conditions and reasons;

1. No development shall take place until full details of the layout and construction of the new access onto the industrial estate access road have been submitted to and approved in writing by the planning authority. Such details shall make provision for pedestrian access to the site. The approved details shall be fully implemented before any other approved development takes place.

Reason : To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

2. There shall be no means of direct access to the trunk road either pedestrian or vehicular.

Reason : To minimise interference with the safety and free flow of the traffic on the trunk road and to minimise the risk of pedestrians and animals gaining uncontrolled access to the trunk road with the consequential risk of accidents

3. No development shall take place until full scaled-drawing details of the exact layout and provision of parking spaces (including disabled and cycle parking) within the site have been submitted to and approved in writing by the planning authority. These details shall demonstrate that sufficient parking can be provided to satisfy maximum parking demand when all the approved elements of the scheme are being fully utilised. The approved details shall be fully implemented before first use of the scheme hereby approved takes place.

Reason : In order to ensure that the level of off-street parking is adequate.

4. No development shall commence until details of a scheme of hard and soft landscaping works have been submitted to, and approved in writing by, the Planning Authority. Details of the scheme shall include:
 - i. All earthworks and existing and finished ground levels in relation to an identified fixed datum point;
 - ii. A plan showing existing landscaping features and vegetation to be retained;
 - iii. The location and design, including materials, of any existing or proposed walls, fences and gates;
 - iv. All soft landscaping and planting works, including plans and schedules showing the location, species and size of each individual tree and/or shrub and planting densities; and
 - v. A programme for preparation, completion and subsequent on-going maintenance and protection of all landscaping works.

Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme.

Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason : In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

5. No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and be designed to the standards outlined in Sewers for Scotland Second Edition, or any superseding guidance

prevailing at the time) have been submitted to, and approved in writing by, the Planning Authority. Thereafter, only the approved details shall be implemented and all surface water drainage provision shall be completed prior to the first occupation of any of the development.

Reason : To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

6. No development shall commence until full details of all foul drainage infrastructure been submitted, to, and approved in writing by, the Planning Authority. For the avoidance of doubt these details shall show all foul drainage directed to the public sewer. Thereafter, development shall progress in accordance with the approved details.

Reason : In order to ensure that foul drainage infrastructure is suitably catered for, in the interests of public health and environmental protection.

7. For the avoidance of doubt, no development shall take place within 6 metres of any watercourse.

Reason : To ensure that development does not encroach onto riparian buffer strips. Such buffers strips are required a) for the maintenance of watercourses within the application site, b) to account for natural watercourse migration, and c) in order to safeguard property from flood risk.

8. No development shall commence until full details of any watercourse crossings have been submitted to and approved in writing by the planning authority. These details shall be designed to follow recognised best practice and, specifically, shall show that any culvert be at least the same width as the natural active channel. The development shall not be carried out other than in accordance with the approved details.

Reason : To ensure that all water crossings are free from flood risk and do not exacerbate flood risk elsewhere.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

TIME LIMITS

In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended), the development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.198), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks & Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as dropped kerb consent, a road openings permit, occupation of the road permit etc.) from TECS Roads prior to work commencing. These consents may

require additional work and/or introduce additional specifications and you are therefore advised to contact your local TECS Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:
<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport/roads/Applicationformsforroadoccupation.htm>

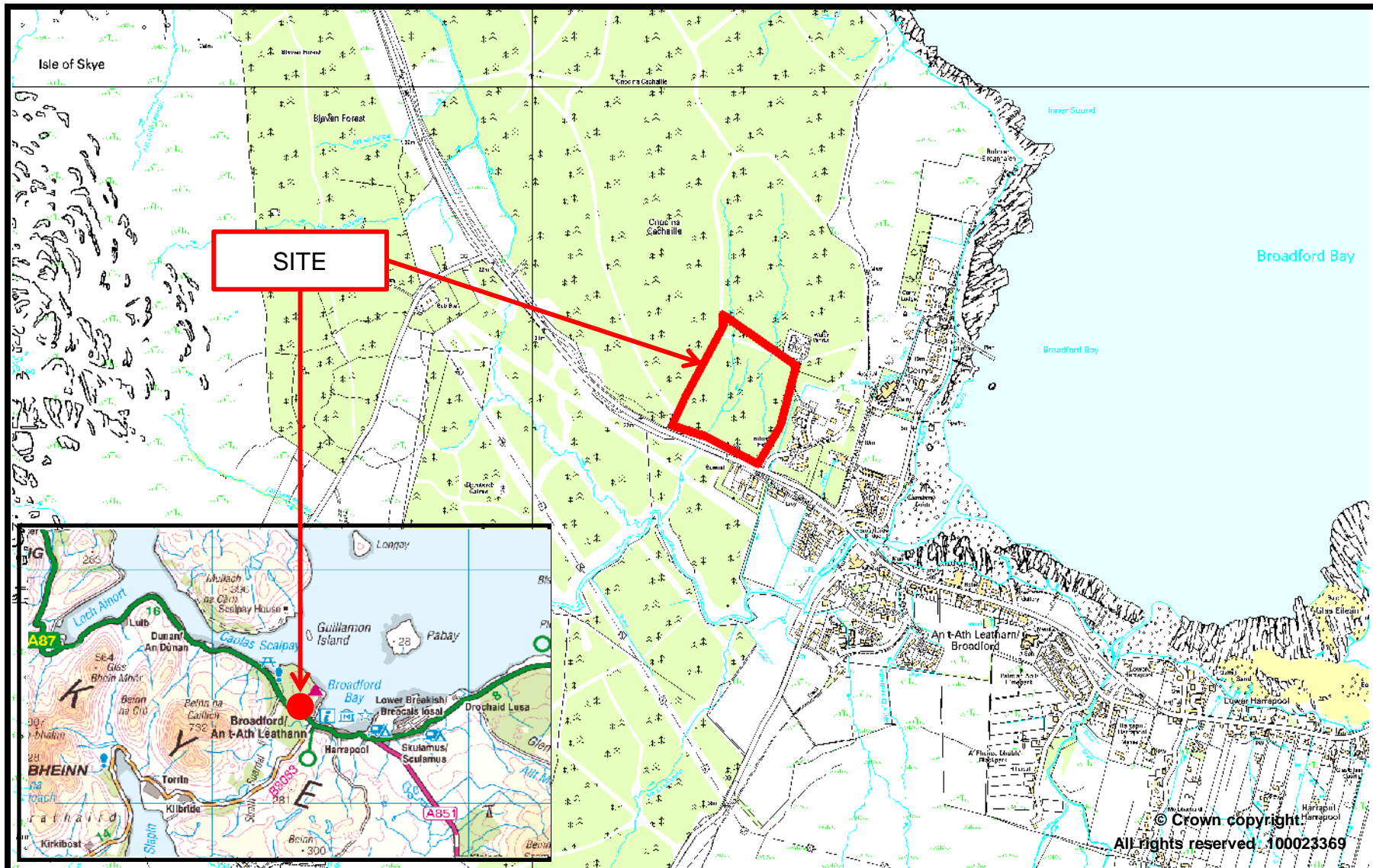
Mud & Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Protected Species - Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

Signature: Dafydd Jones
Designation: Area Planning Manager North
Author: Mark Harvey
Background Papers: Documents referred to in report and in case file.
Relevant Plans:
Plan 1 – 700/101 Location Plan
Plan 2 – 700/102 Site Layout Plan
Plan 3 – 700/201 Floor Plan
Plan 4 – 700/202 Floor Plan
Plan 5 – 700/203 Floor Plan
Plan 6 – 700/301 Section Plan
Plan 7 – 700/401 Elevation Plan
Plan 8 – 700/402 Elevation Plan
Plan 9 – 700/403 Elevation Plan
Plan 10 – 700/404 Elevation Plan
Plan 11 – 700/601 Photo/visual information
Plan 12 – 700/601 Photo/visual information
Plan 13 – 700/PL/103 Site Level Plan



The Highland Council
Comhairle na Gàidhealtachd

Planning and Development Service

Location Plan
14/04434/FUL

Formation of campsite, campervan park, allotments, events space and attendant access roads and buildings and associated services

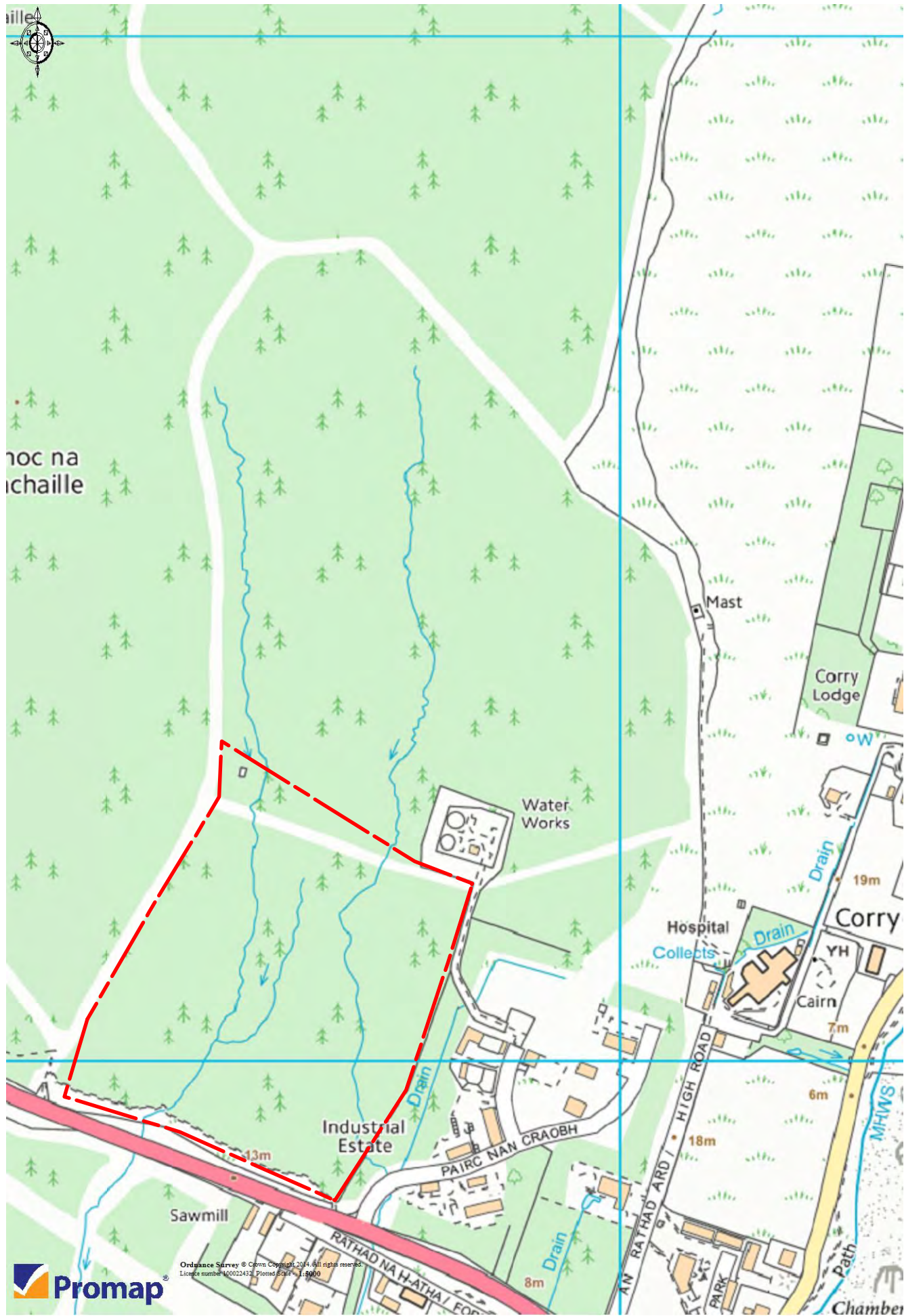
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AREA:
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ARCHITECTS

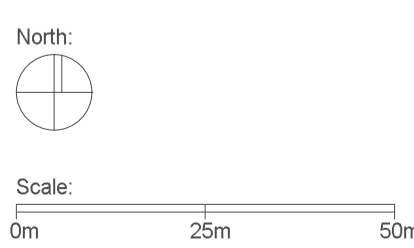
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 Duisdale Beag, Sleat, Isle of Skye IV43 8QU T: 01471 833 300

GLASGOW
 Unit 4, Building 5, Templeton Business Centre, Glasgow G40 1DA T: 0141 550 1401

E: info@dualchas.com W: www.dualchas.com

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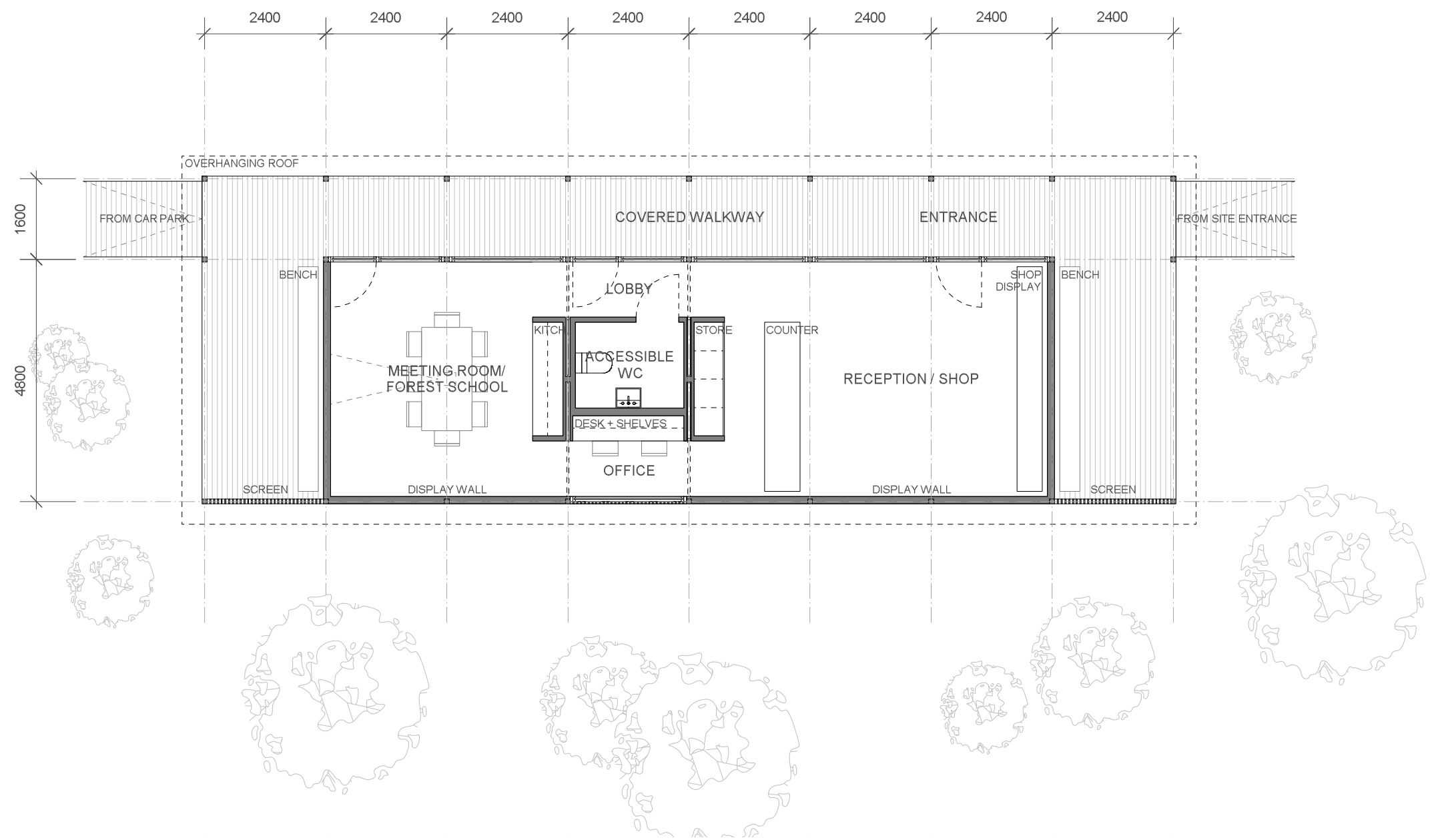
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DRAWING SET PLANNING		CLIENT 700_BROADFORD_W
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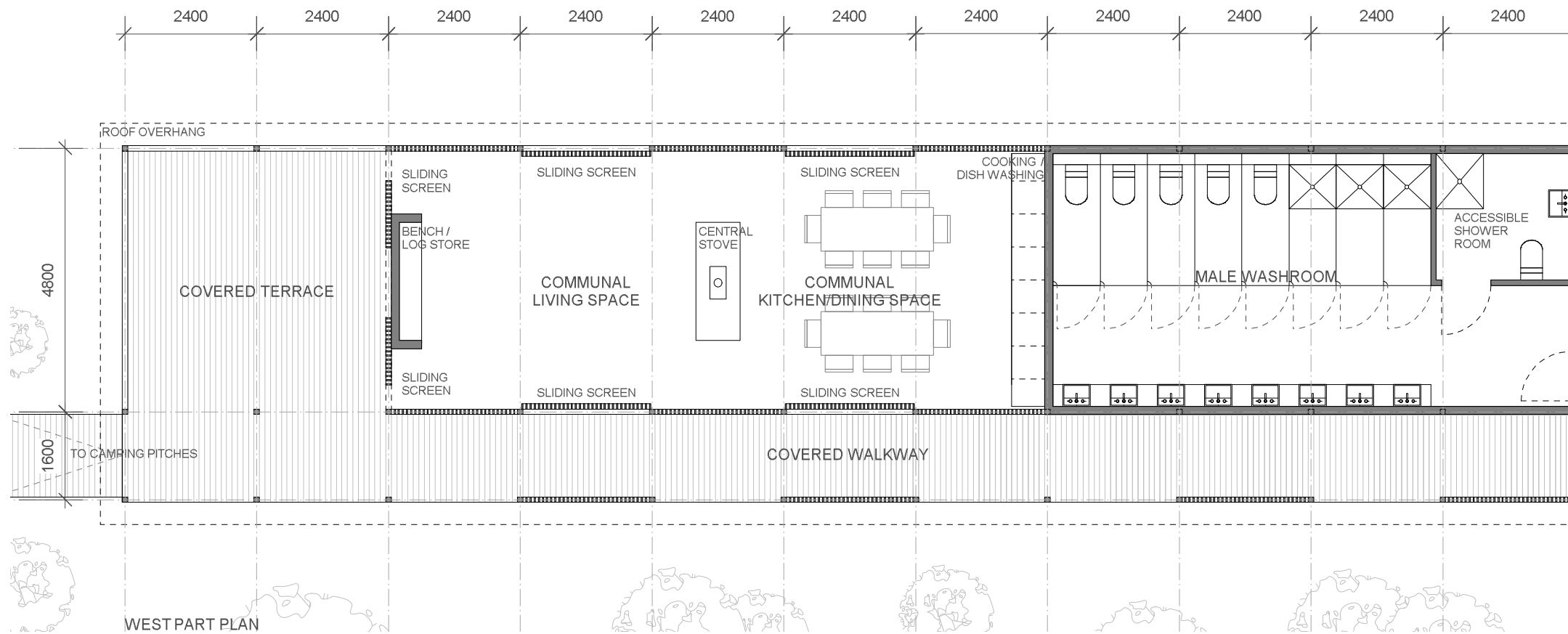
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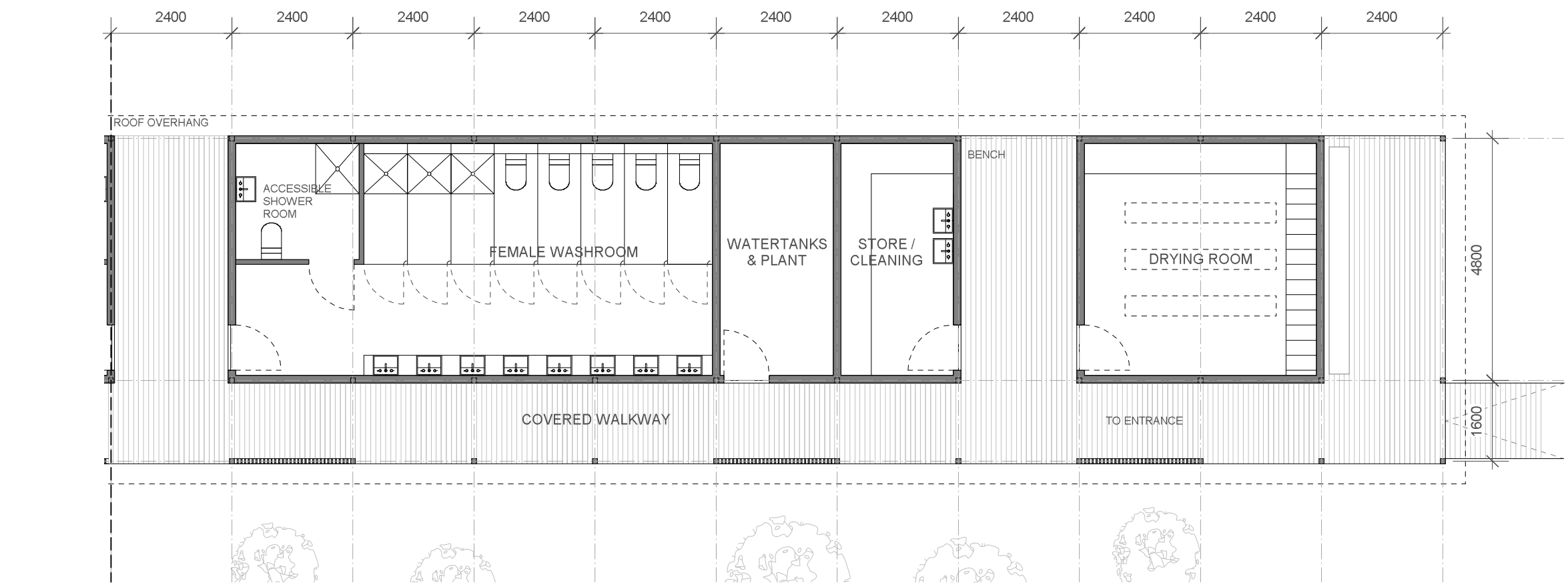
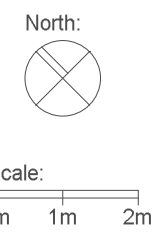
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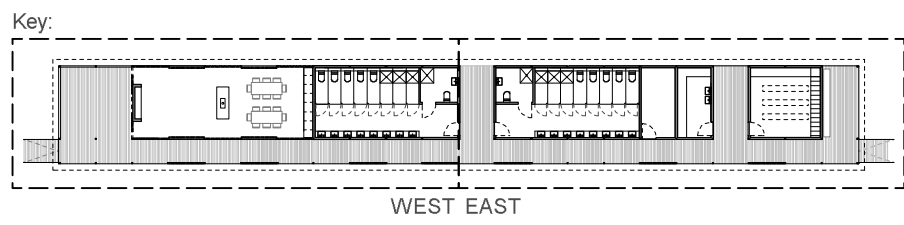
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WEST PART PLAN



EAST PART PLAN



WEST EAST

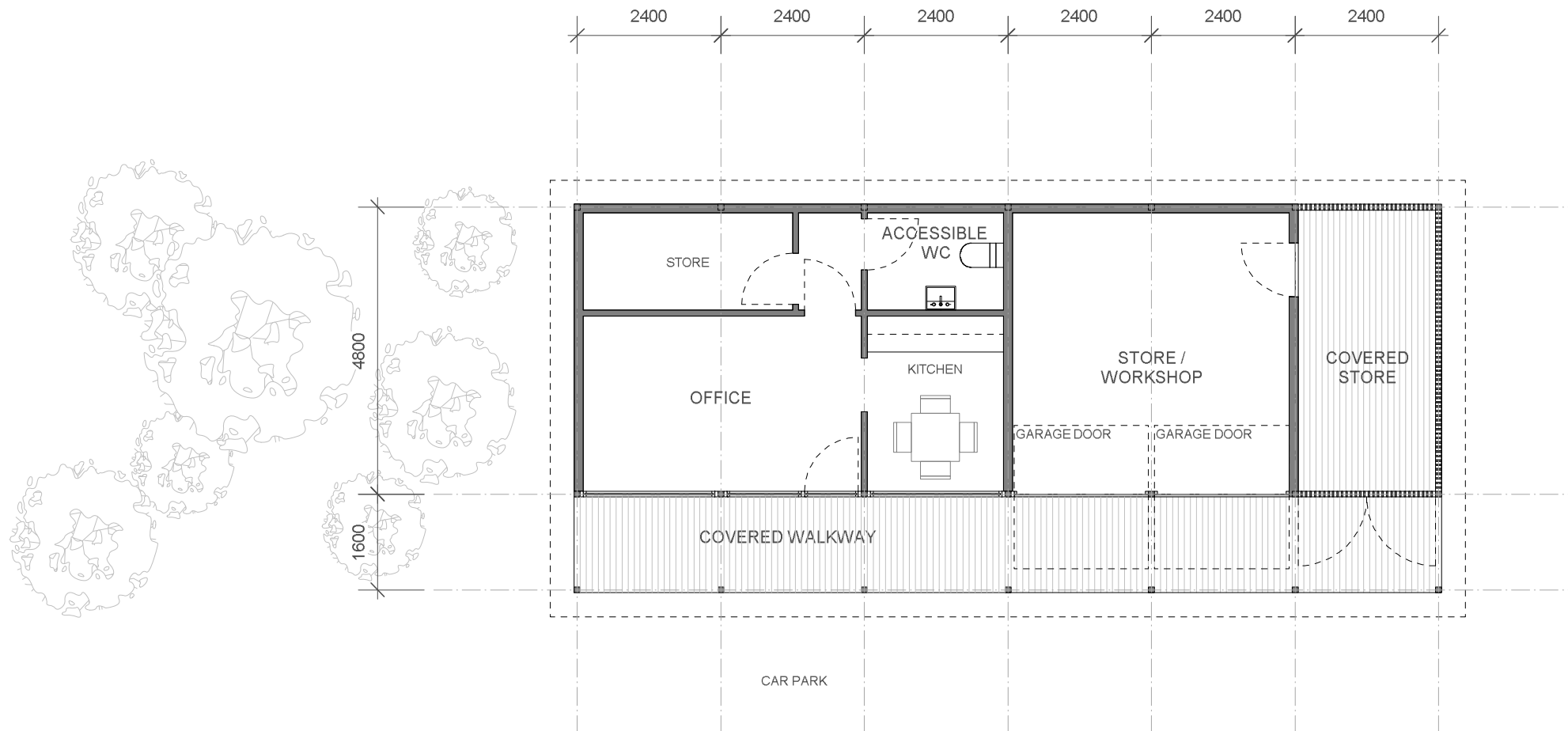
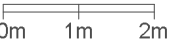
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North:



Scale:



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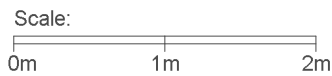
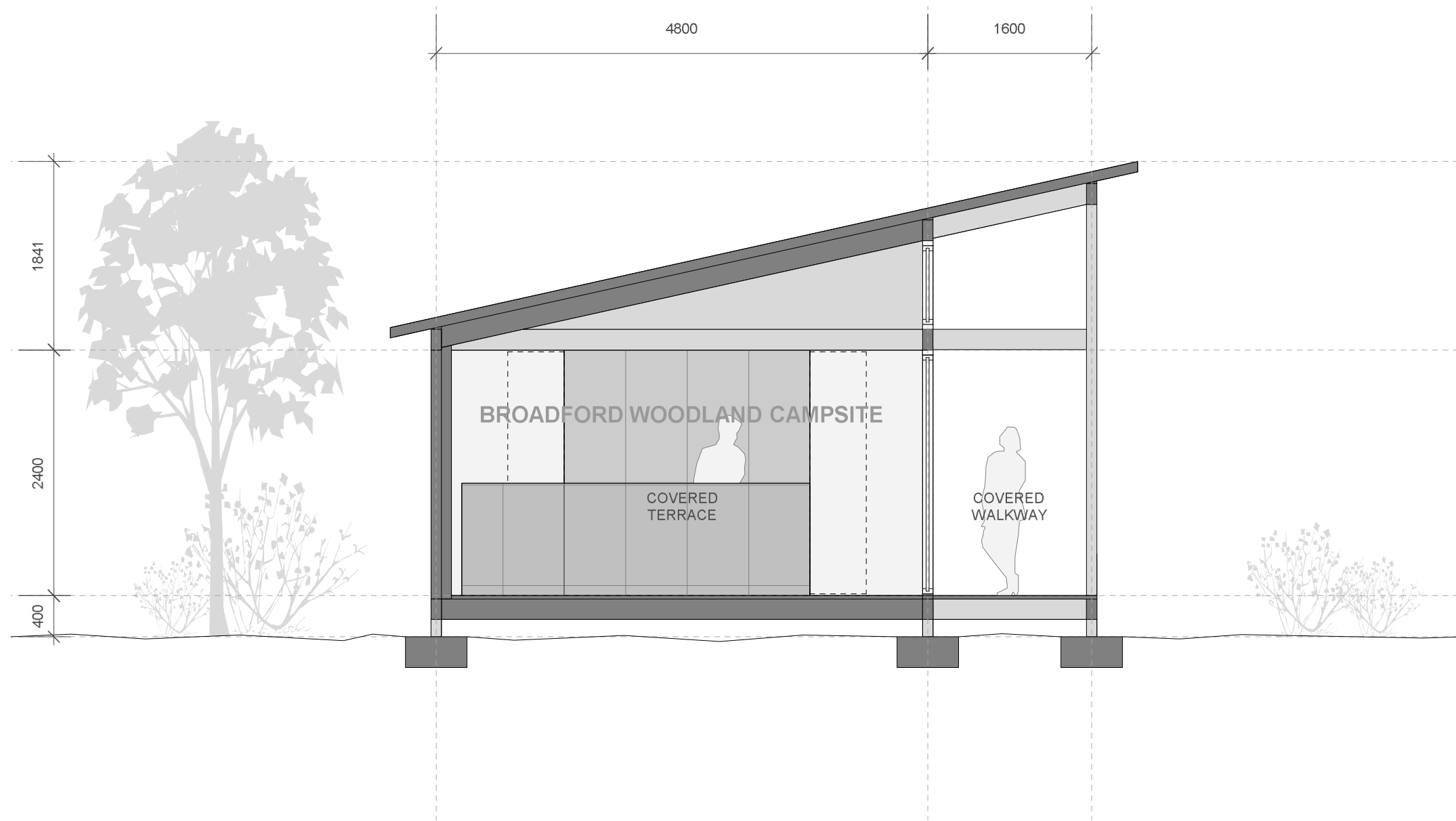
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DRAWING SET PLANNING		CLIENT 700_BROADFORD_W
DRAWING TITLE PLAN - MAINTENANCE BUILDING		
DRAWING NUMBER 700_203	DRAWN BY RF	DATE 11.11.14
CAD FILE NAME 700_PL_BUILDINGS		SCALE 1:100 @ A3



Proposed building materials:

- Structure: Scottish douglas fir with stainless steel connectors + footings
- Cladding: Scottish larch vertical boarding
- Screens: Scottish larch vertical boarding on galvanised frames
- Decking: Scottish larch profiled boards with anti-slip treatment
- Windows: Timber framed windows with aluminium external profile
- Roofing: Scottish larch rainscreen over single-ply membrane

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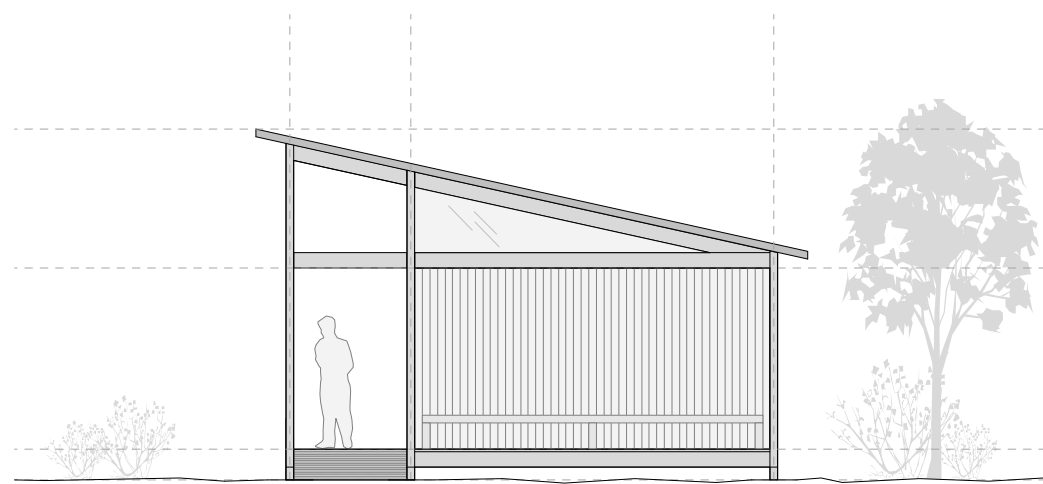
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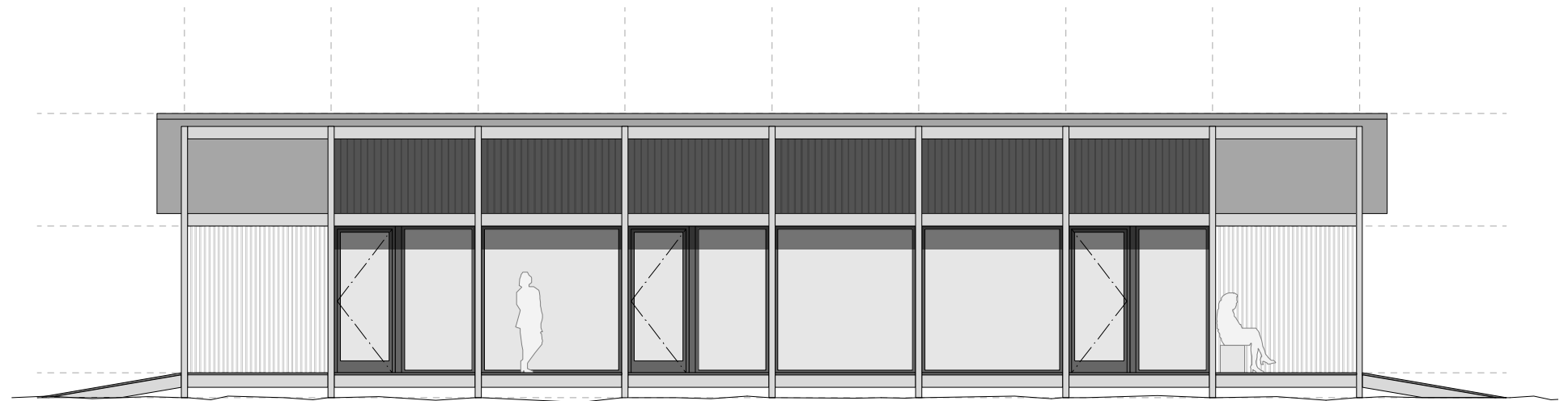
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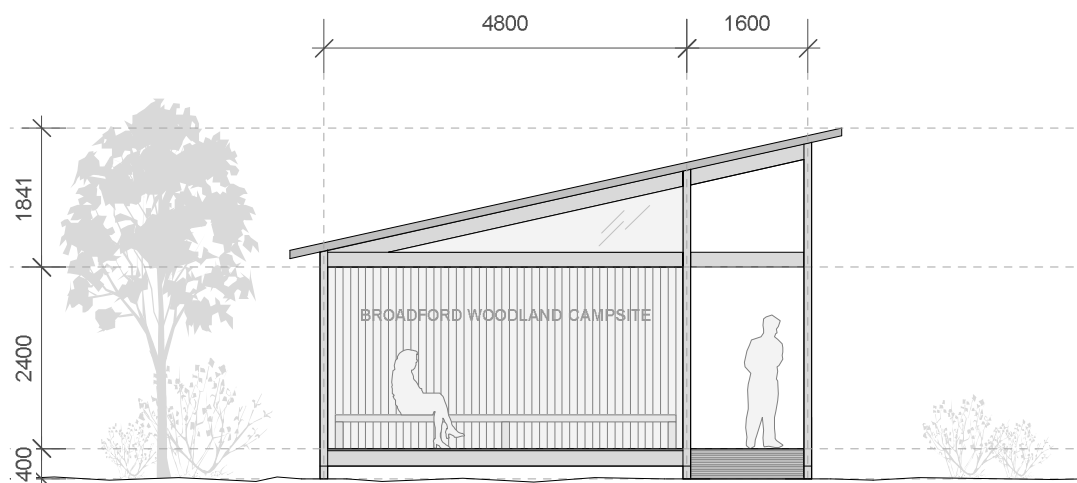
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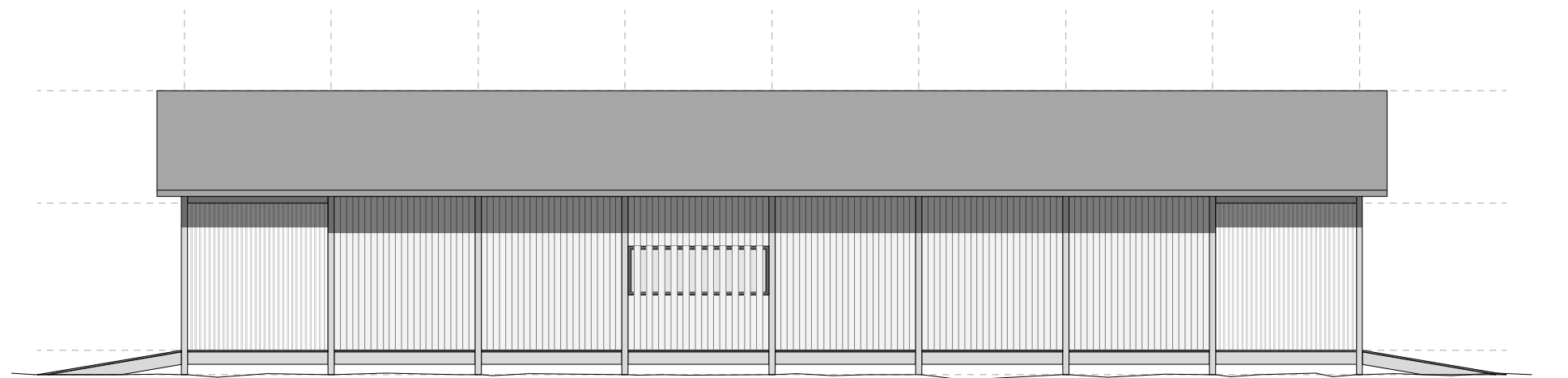
WEST ELEVATION



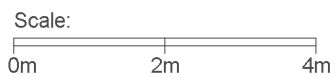
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



Proposed building materials:

- Structure: Scottish douglas fir with stainless steel connectors + footings
- Cladding: Scottish larch vertical boarding
- Screens: Scottish larch vertical boarding on galvanised frames
- Decking: Scottish larch profiled boards with anti-slip treatment
- Windows: Timber framed windows with aluminium external profile
- Roofing: Scottish larch rainscreen over single-ply membrane

DUALCHAS

ARCHITECTS

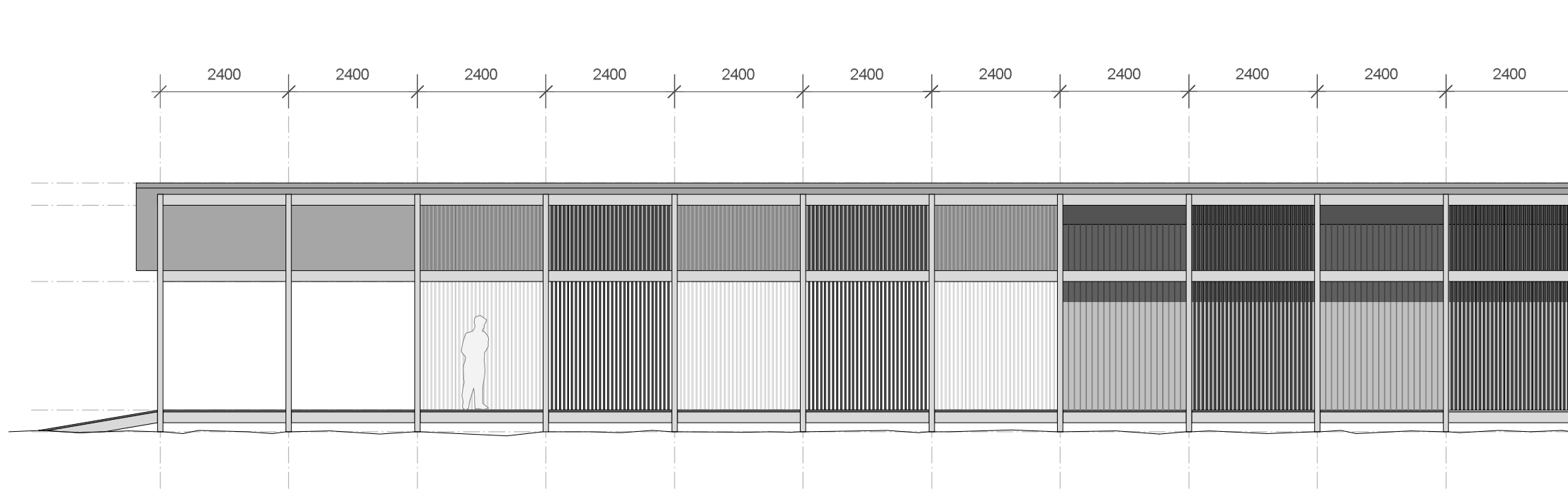
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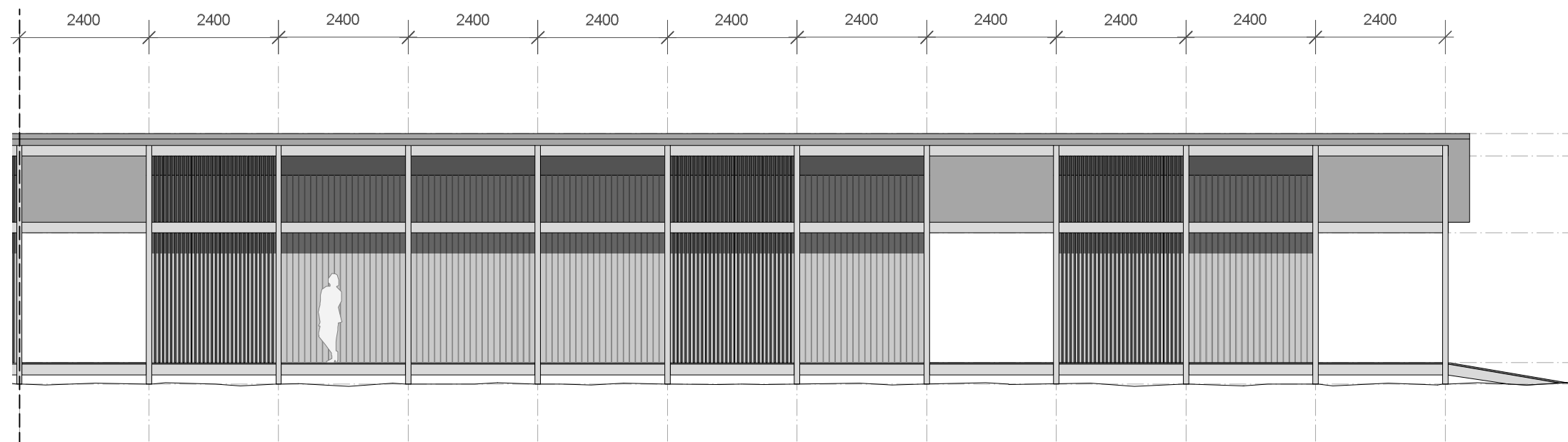
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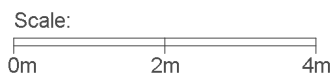
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CAD FILE NAME 700_PL_BUILDINGS		SCALE 1:100 @ A3



WEST PART ELEVATION

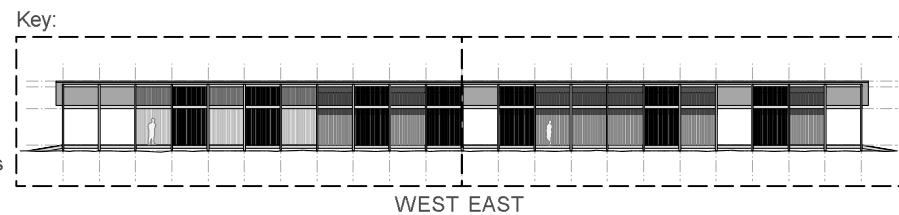


EAST PART ELEVATION



Proposed building materials:

- Structure: Scottish douglas fir with stainless steel connectors + footings
- Cladding: Scottish larch vertical boarding
- Screens: Scottish larch vertical boarding on galvanised frames
- Decking: Scottish larch profiled boards with anti-slip treatment
- Windows: Timber framed windows with aluminium external profile
- Roofing: Scottish larch rainscreen over single-ply membrane



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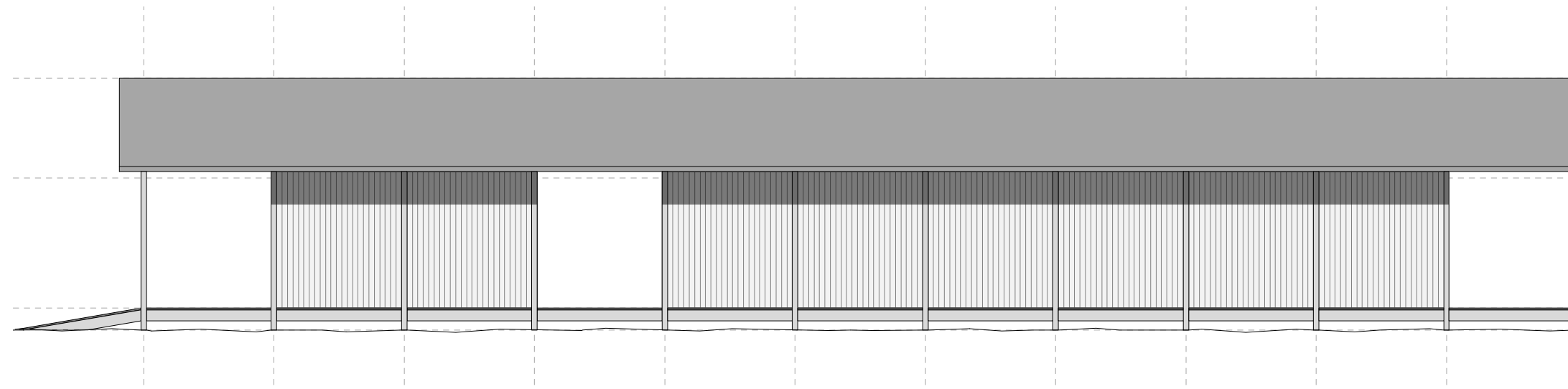
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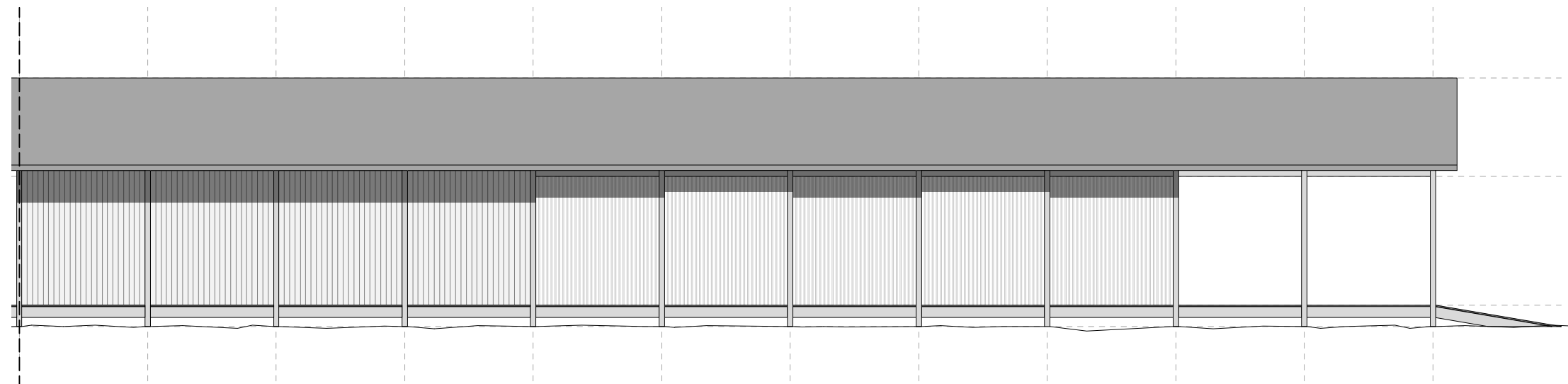
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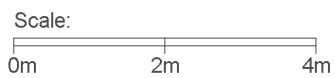
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CAD FILE NAME 700_PL_BUILDINGS		SCALE 1:100 @ A3



EAST PART ELEVATION

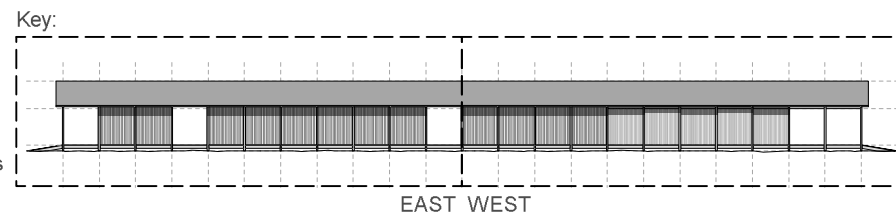


WEST PART ELEVATION



Proposed building materials:

- Structure: Scottish douglas fir with stainless steel connectors + footings
- Cladding: Scottish larch vertical boarding
- Screens: Scottish larch vertical boarding on galvanised frames
- Decking: Scottish larch profiled boards with anti-slip treatment
- Windows: Timber framed windows with aluminium external profile
- Roofing: Scottish larch rainscreen over single-ply membrane



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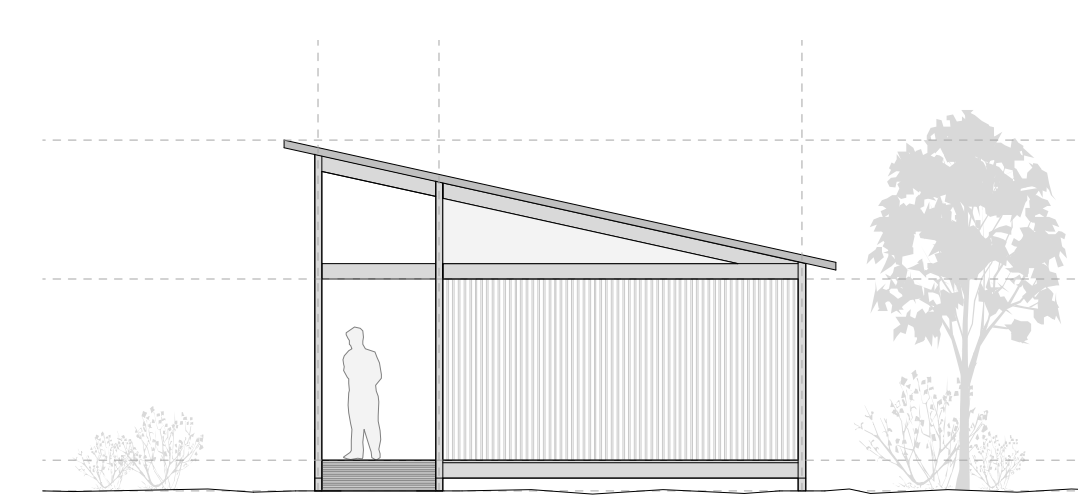
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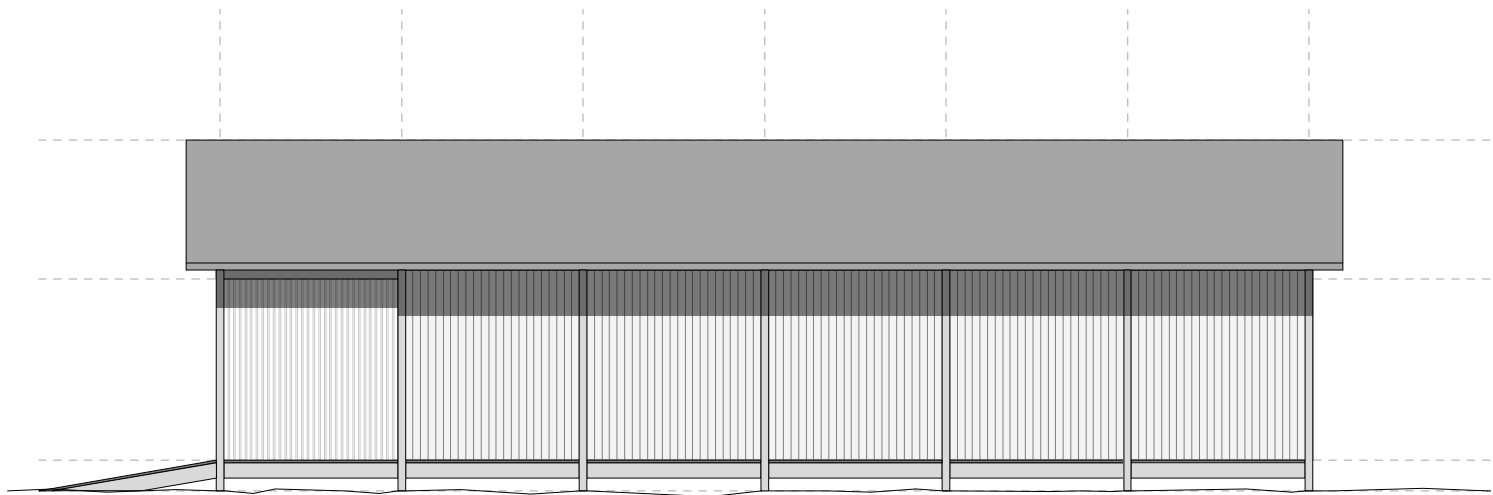
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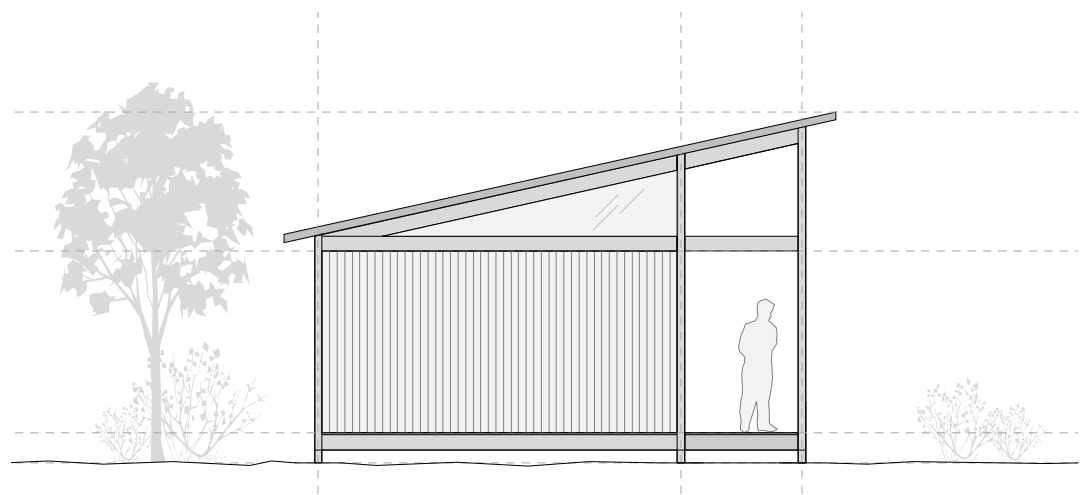
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DRAWING NUMBER 700_403	DRAWN BY RF	DATE 11.11.14
CAD FILE NAME 700_PL_BUILDINGS		SCALE 1:100 @ A3



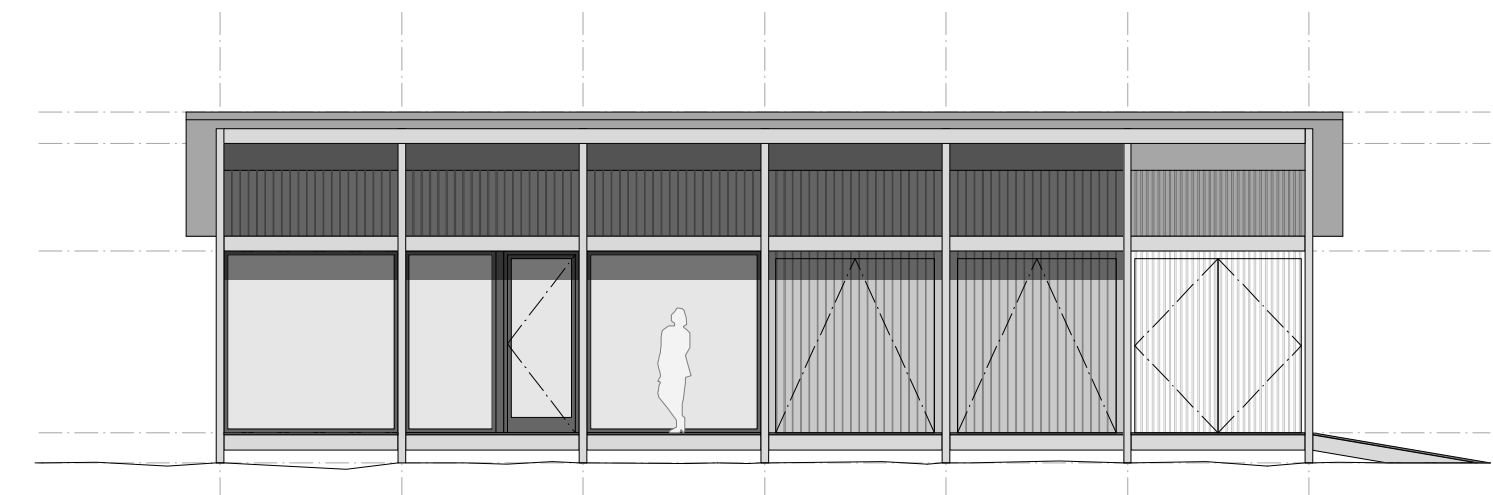
EAST ELEVATION



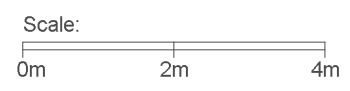
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



Proposed building materials:

- Structure: Scottish douglas fir with stainless steel connectors + footings
- Cladding: Scottish larch vertical boarding
- Screens: Scottish larch vertical boarding on galvanised frames
- Decking: Scottish larch profiled boards with anti-slip treatment
- Windows: Timber framed windows with aluminium external profile
- Roofing: Scottish larch rainscreen over single-ply membrane

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SKYE
 Duisdale Beag, Sleat, Isle of Skye IV43 8QU T: 01471 833 300

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DRAWING SET PLANNING		CLIENT 700_BROADFORD_W
DRAWING TITLE ELEVATIONS - MAINTENANCE BUILDING		
DRAWING NUMBER 700_404	DRAWN BY RF	DATE 11.11.14
CAD FILE NAME 700_PL_BUILDINGS		SCALE 1:100 @ A3



Proposed building materials:

- Structure: Scottish douglas fir with stainless steel connectors + footings
- Cladding: Scottish larch vertical boarding
- Screens: Scottish larch vertical boarding on galvanised frames
- Decking: Scottish larch profiled boards with anti-slip treatment
- Windows: Timber framed windows with aluminium external profile
- Roofing: Scottish larch rainscreen over single-ply membrane

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DRAWING SET PLANNING		CLIENT 700_BROADFORD_W
DRAWING TITLE RECEPTION BUILDING - RENDER		
DRAWING NUMBER 700_601	DRAWN BY AH	DATE 19.11.14
CAD FILE NAME 700_PL_BUILDINGS		SCALE N/A