

THE HIGHLAND COUNCIL

**NORTH PLANNING APPLICATIONS COMMITTEE
10 January 2017**

Agenda Item	5.4
Report No	PLN/005/17

**16/04549/FUL: Mr Oliver Clokie
Pitkerrie Farm Cottages, Fearn, Tain**

Report by Area Planning Manager

SUMMARY

Description : Refurbishment of farm cottages to form 3no. residential units.

Recommendation - APPROVE

Ward : 08 – Tain and Easter Ross

Development category : Local

Pre-determination hearing : n/a

Reason referred to Committee: Managers Discretion (Community Council, non statutory consultee objection).

1. PROPOSED DEVELOPMENT

- 1.1 The proposal is for the refurbishment of existing farm cottages to form 3 residential units. There are currently 4 units which date back to the late 1800s. Three of these are in a wind and water tight condition, there is an existing access track from the public road to the site which serves the farm and two other properties.
- 1.2 No formal Pre Application Advice was sought in respect of this proposal however the applicant took on board a recommendation to reduce the number of residential units prior to submitting this application
- 1.3 Supporting documents submitted with the application include:
 - Planning Statement
 - Site Investigation and Drainage Assessment

1.5 **Variations:** None

2. SITE DESCRIPTION

- 2.1 The site is located on the north side of the B9165 road between Fearn and Portmahomack. The cottages are accessed via a private track with a farm located to the north and two neighbouring properties located to the south. The four cottages are laid out in a U-shape with a long narrow court-yard area central to this measuring approximately 5 metres in width. The cottages vary in terms of their

current state of repair. The south facing units have intact windows and appear to be wind and water tight. The most northerly cottage has been partially cleared with windows and timbers removed. Undulating fields surround the cottages.

3. PLANNING HISTORY

- 3.1 06/00436/FULRC – Erection of house and garage (in detail) – Recommended for Refusal due to access issues - Approved at Committee 21.08.2006
- 3.2 16/00170/FUL - Refurbishment of farm cottages to form 4no. residential units – Refused 25.08.2016 under Regulation 24 due to insufficient information to satisfactorily demonstrate that the development could be adequately serviced in terms of foul drainage.

4. PUBLIC PARTICIPATION

- 4.1 Advertised : Unknown Neighbour, expiry 04.11.2016
Representation deadline : 04.11.2016

Timeous representations : 3

Late representations : 0

- 4.2 Material considerations raised are summarised as follows:

- Roads have made clear that they will only pass the application if three items are carried out, the access is not owned by the applicant; they only have access over the road, which is owned by the farmer, the applicant would need the farmers' permission to undertake passing places and widening of the bellmouth. The entrance and exit on the Fearn – Portmahomack road is hazardous.
- Limited visibility on the main road which is busy due to local industry within the area. Additional bins within this access could further obscure this visibility.
- No allowance for tankers to clear out biodisc tanks, ways in which this may be achieved include using neighbouring driveways or reversing down the track onto the public road.
- Where are passing places and lorry turning circle to be built, no land within the applicant ownership.
- 8 parking spaces are indicated on plan which are on top of a soakaway.
- There are trees covering the site with one mature large ash tree growing adjacent to the gable end of the cottages. The tree is within 5 metres of the building.
- There is no demand for housing in the area as there are undeveloped zones within the Local Plan. The village is struggling to keep its shop, has lost its village hall and the primary school roll is slipping annually.
- The application will be detrimental to surrounding neighbours and the countryside.
- There is flood risk with water running down the farm track, drainage will be an issue.

- The cottages have been derelict for a considerable amount of time and are in a state of disrepair since their last occupation as a commercial premises for manufacture and storage of products; has the right of residential use of the property been extinguished by the commercial use?
- Potential for soil contamination from the commercial processes and asbestos roof tiles.
- Internal walls have been removed as part of the clearance process prior to planning being approved, has a Building Warrant been submitted, no work should commence as per a Historic Environment Team response to the previous application.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam. Access to computers can be made available via Planning and Development Service offices.

5. CONSULTATIONS

5.1 **Contaminated Land Team:** No objections subject to a Contaminated Land condition being applied to any permission.

5.2 **Flood Risk Management Team:** No objections, Drainage Assessment shows two surface water soakaways which should be included in the final approved layout drawing. Technical approval will be required from SEPA for foul water treated effluent to the soakaway.

5.3 **Forestry Officer:** No objections subject to conditions. There are damaged and small trees and shrubs which can be removed, however more mature trees should be protected, conditions are recommended which will be applied to any permission.

5.4 **Historic Environment Team:** No objections subject to a condition for a photographic specification due to the local historic interest of the buildings.

5.5 **Transport Planning Team:** Acknowledge that the cottages have a legal residential use and right of access and that there is no opportunity to improve the junction, or to object on grounds of the significantly substandard visibility splay at the access. Comment that required visibility splays are 2.4m x 215m – a significant shortfall was measured, 2.4m x 25m to the left and 2.4m x 70m to the right. Advise that the applicant should be made aware of the road safety concerns that arise due to their proposed use of a substandard junction with the public road. An informative will be placed on the permission.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

28	Sustainable Design
29	Design Quality and Place-making
36	Development in the Wider Countryside

- 57 Natural, Built and Cultural Heritage
- 65 Waste Water Treatment
- 66 Surface Water Drainage

6.2 Inner Moray Firth Local Development (2015)

No relevant site specific policies, refer to HwLDP

7. OTHER MATERIAL CONSIDERATIONS

7.1 Highland Council Supplementary Planning Policy Guidance

- Access to Single Houses and Small Housing Developments (May 2011)
- Flood Risk and Drainage Impact Assessment (Jan 2013)
- Highland Historic Environment Strategy (Jan 2013)
- Housing in the Countryside and Siting and Design (March 2013)
- Sustainable Design Guide (Jan 2013)

7.2 Scottish Government Planning Policy and Guidance

n/a

8. PLANNING APPRAISAL

8.1.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

8.1.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

8.1.3 Development Plan Policy Assessment

Policy 28 outlines a list of criteria against which all development proposals are assessed, this includes impact upon individual and community residential amenity and, demonstration of sensitive siting and a high quality design which is in keeping with local character and the historic and natural environment. The Historic Environment Team consider the site to be of local historic importance, as such Policy 57 – Natural, Built and Cultural heritage is of relevance to this proposal which sets a proactive, consistent approach to the protection of the historic environment.

8.1.4 Policies 65 and 66 require appropriate provision to be made for foul and surface water drainage, with Sustainable Drainage Systems (SUDs) being a requirement in relation to surface water, this is appropriate to all development proposals.

While it is acknowledged that the refurbishment of the farm cottages is generally acceptable, there are various technical matters and material considerations to assess in detail.

8.1.5 Planning History

A detailed planning application was submitted in January 2016 (ref 16/00170/FUL) for the conversion of the existing (4No.) cottages to form 4 units. Planning Permission was refused under delegated powers (Regulation 24) due to a lack of information being provided as it was not demonstrated that the site could be adequately serviced in terms of foul drainage. The application currently under consideration has taken into account discussions with the Planning Authority to reduce the number of units to 3, which goes some way to reducing the potential traffic movements on the track. The detail regarding drainage impact has been submitted in a supporting Drainage Assessment submitted with the application.

8.1.6 Lawfulness

Following consideration of third party comments, clarification was sought with reference to the former use of the premises. The applicant has demonstrated that the residential use of the buildings has not ceased and the cottages have not been abandoned. It is acknowledged in the representations that there was a previous use of the cottages for seaweed processing; this did not however have planning permission and was not in use for a period long enough to be considered as a legally established use; as such, the proposal has been assessed as a refurbishment of the existing building as three cottages and not the intervening commercial usage.

8.1.7 Siting and Design

The siting of the proposed units gains support in principle under Policy 28 as it comprises the re-use of existing cottages which are in a current state of disrepair. The walls of the cottages are to be finished in a wet dash render and the roofs in natural slate and metal profile sheeting, with top hung sash and case appearance windows. The materials and design are considered appropriate and comply with Policy 28 and Siting and Design Supplementary Guidance; aesthetically, the external alterations are considered to bring about an improvement to the area, as such this is supported.

8.1.8 Residential Amenity

The layout of the cottages on the site, their association with each other, and to other houses was acceptable when built. The conversion and sympathetic restoration of the buildings as detailed in itself is welcomed. The standard of amenity and open space provided is below what would be sought for new built development, but is reflective of its historical context. The applicant had been encouraged to consider a reduction in the number of units in the previous application; this has been taken into consideration in the current application, with the number of units dropped to 3. This is supported.

8.1.9 Access

The intention is to utilise an existing access track which serves the farm and two other properties. Visibility from this access to the public road is very poor and does not comply with the minimum standards set out in the Council's Roads Guidelines,

or Access to Single Houses and Small Housing Developments Guidance, due to road geometry to the west (right) and a boundary wall blocking visibility to the east (left). It is acknowledged that there was an application for a house (06/00436/FULRC) to the south of the current site, which had been recommended for refusal (subsequently approved at Committee) due to insufficient visibility splays at the junction with the public road as it represented an increase in traffic at the junction. The house has been built. Whilst it acknowledged that visibility is poor, little can be done in order to achieve improved visibility as, the proposal is for the refurbishment of the existing cottages. The reduction from four to three cottages represents an improvement on the current situation. As detailed above it is acknowledged that there was a previous use of the cottages for seaweed processing; this did not however have planning permission and was not in use for a period long enough for this to be considered as a legally established use. The applicant has demonstrated that the houses have not been abandoned for a period of time (in a supporting statement) that would result in the houses losing their legal right of servitude in their use of the access into the site. Although there has been a period of inactivity, the principle of the former use has been demonstrated; as such the application will not result in any increase in traffic over that lawfully permitted.

8.1.10 **Surface and Foul Water Drainage**

The previous application was refused due to a lack of information to demonstrate there is sufficient drainage on site for the proposed new foul drainage solution. The application currently under consideration includes an Engineers' Site Investigation Report and Drainage Assessment. This includes the results of percolation tests. The Assessment identifies that the underlying soils are suitable for the use of standard stone-filled soakaways for foul and surface water drainage. It recommends a treatment plant and soakaway serving all properties, installed to the south of the site; ensuring the minimum separation distance of 5 metres from all buildings and boundaries to meet Building Standards. Treatment plant to soakaway results in higher quality foul water discharge than a standard septic tank to soakaway solution, as such this drainage solution has been demonstrated through submission of percolation tests and is not considered to raise any concern. Drainage will be further scrutinised at the Building Warrant stage. The Flood Team have no objections to the proposal.

8.1.11 **Material Considerations – Representations**

- Roads have made clear that they will only pass the application if three items are carried out, the access is not owned by the applicant, they only have access over the road, which is owned by the farmer, the applicant would need the farmers' permission to undertake passing places and widening of the bellmouth. The entrance and exit on the Fearn – Portmahomack road is hazardous.

Planning Comment - There is no comment from Transport Planning in respect of this application which outlines any requirement for passing places or bell-mouth widening. As stated above the proposal entails a reduction in usage. Any improvements to the track would require permission from the landowner; however, this would represent a civil matter.

- Limited visibility on the main road which is busy due to local industry within the area. Additional bins within this access could further obscure this visibility.

Planning Comment - The cottages have a legal right of servitude over the current access, as outlined in paragraph 8.1.9 above. Information was requested previously in order to ascertain whether any improvements could be made to better the access however this was not forthcoming; as stated the cottages have a right of servitude as it is existing and the developer would not have to provide improved arrangements. The substandard access is acknowledged by the Planning and Roads Authorities and an informative will be placed on any permission advising the applicant that use of the access is likely to be hazardous.

- No allowance for tankers to clear out biodisc tanks, ways in which this may be achieved include using neighbouring drive ways or reversing down the track onto the public road.

Planning Comment – Biodisc plants are no longer proposed, a treatment plant to soakaway is the currently proposed drainage solution. Servicing is likely to be very occasional and the use of driveways is a civil matter which is outwith the control of the Planning Authority.

- Where are passing places and lorry turning circle to be built, no land within the applicant ownership.

Planning Comment – Passing places and lorry turning circle are not proposed, or considered necessary, as noted, the cottages have an existing right of servitude over the access as it exists.

- 8 parking spaces are indicated on plan which are on top of a soakaway

Planning Comment – A surface water soakaway is located under the parking area, any water would percolate under the area of hardstanding into the soakaway, full technical detail will be assessed for suitability at a Building Warrant stage.

- There are trees covering the site with one mature large ash tree growing adjacent to the gable end of the cottages. The tree is within 5 metres of the building.

Planning Comment – The Forestry Officer has been consulted and had no concerns. Conditions were recommended to ensure the protection of mature and healthy ash and sycamore trees, this will be applied to any permission.

- There is no demand for housing in the area as there are undeveloped zones within the Local Plan. The village is struggling to keep its shop, has lost its village hall and the primary school roll is slipping annually.

Planning Comment – Demand for housing is not a material planning consideration, the local market determines demand, and dwindling local services can only be supported by an increase in sites with permission for housing if and when people wish to buy, build or locate within the area.

- The application will be detrimental to surrounding neighbours and the countryside.

Planning Comment – It is not considered that the development would have a detrimental impact upon residential amenity, and it is considered a significant improvement to the wider countryside in terms of the aesthetics of the area, the redevelopment of a site which is in a state of disrepair is encouraged and supported in Development Plan policy.

- There is flood risk with water running down the farm track, drainage will be an issue.

Planning Comment – The Flood Risk Team have commented that the increase in hardstanding is minimal and the surface water soakaways proposed should result in a small net benefit in terms of run-off from the site. Sufficient drainage on site has been demonstrated through submission of percolation test results and a Drainage Assessment; the development should therefore not exacerbate any existing problems on site.

- The cottages have been derelict for a considerable amount of time and are in a state of disrepair since their last occupation as commercial premises for manufacture and storage of products. Has the right of residential use of the property been extinguished by the commercial use?

Planning Comment - As outlined in paragraph 8.1.6 the commercial use never had permission and was not in operation long enough to be considered lawful, which is for a period of 10 years. As such the established legal use of the cottages is residential.

- Potential for soil contamination from the commercial processes and asbestos roof tiles.

Planning Comment - The Contaminated Land Team were consulted for comment and had no concerns relating to the proposal, they suggested a condition be placed on any permission.

- Internal walls have been removed as part of the clearance process prior to planning being approved, has a Building Warrant been submitted, no work should commence as per a Historic Environment Team response to the previous application.

Planning Comment – The building is not listed. Preparatory works could be undertaken prior to submission of a planning application. Any stripping of structural components is not dealt with through the planning process. The condition referred to is in order to maintain a record of historic buildings in the Highland area, once permission is granted this should be undertaken prior to any other works commencing.

8.1.12 **Other Considerations – not material**

- Robbery of scrap from the cottages did not take place until the applicant had permission for this to be removed.

Planning Comment – This is not relevant in the consideration of this planning application.

- The site plan is incorrect; two shaded areas onto the track are not part of the site.

Planning Comment – The site of application is within the red line boundary, for the purposes of the consideration of this application the area does form part of the application site.

- The initial planning application has been ticked that there are no trees on site.

Planning Comment – As detailed above the presence of trees within the site was noted and has formed part of the assessment to the application.

8.1.13 **Matters to be secured by Section 75 Agreement**

None

9. CONCLUSION

- 9.1 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. RECOMMENDATION

Action required before decision issued N

Subject to the above, it is recommended the application be **Granted** subject to the following conditions and reasons:

1. No development, including ground excavation, shall commence until all trees and shrubs proposed for removal shall have been clearly marked and approved in writing by the Planning Authority. No other trees or shrubs within the application site boundary shall be cut down, uprooted, topped, lopped (including roots) or wilfully damaged in any way, without the prior written permission of the Planning Authority. The development shall be undertaken in accordance with the agreed details.

Reason: To ensure the protection of retained trees during construction and thereafter.

2. Prior to any site excavation or groundwork s, all retained trees are to be protected against construction damage using protective barriers located beyond the Root Protection Area (in accordance with BS5837:2012 Trees in Relation to Design,

Demolition and Construction). Barriers are to be inspected and approved in writing by the Planning Authority and shall remain in place throughout the construction period.

Reason: To ensure the protection of retained trees throughout the construction period.

3. No development shall commence until a scheme to deal with potential contamination on site has been submitted to and agreed in writing by the Planning Authority. The scheme shall include:
- a) the nature, extent and type of contamination on site and identification of pollutant linkages and assessment of risk (i.e. a land contamination investigation and risk assessment), the scope and method of which shall be submitted to and agreed in writing by with the Planning Authority, and undertaken in accordance with PAN 33 (2000) and British Standard BS 10175:2011 +A1:2013 Investigation of Potentially Contaminated Sites - Code of Practice;
 - b) the measures required to treat/remove contamination (remedial strategy) including a method statement, programme of works, and proposed verification plan to ensure that the site is fit for the uses proposed;
 - c) measures to deal with contamination during construction works;
 - d) in the event that remedial action be required, a validation report that will validate and verify the completion of the agreed decontamination measures;
 - e) in the event that monitoring is required, monitoring statements shall be submitted at agreed intervals for such time period as is considered appropriate by the Planning Authority.

No development shall commence until written confirmation has been received that the scheme has been implemented, completed and, if required, monitoring measurements are in place, all to the satisfaction of the Planning Authority.

Reason: In order to ensure that the site is suitable for redevelopment, given the nature of previous uses/processes on the site.

4. No development or work (including site clearance) shall commence until a photographic record has been made of the building and/or other features affected by the development/work, in accordance with the attached specification and the photographic record has been submitted to, and approved in writing by, the Planning Authority.

Reason: In order to protect the archaeological and historic interest of the site.

5. Prior to the first occupation of the development hereby approved, parking and turning for 8 No. cars shall be provided within the application site. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

Reason: To ensure that sufficient space is provided within the application site for the parking and, turning of cars, so they do not have to park within or reverse onto the existing access track.

6. All surface water and foul water drainage provision within the application site shall be implemented in accordance with the plans hereby approved (drawing no's. 0249 APPENDIX A and 0249 APPENDIX B) and shall be completed prior to the first occupation of the development.

Reason: In order to ensure that private foul drainage infrastructure is suitably catered for, in the interests of public health and environmental protection and to ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

7. No development or work shall commence on site until a detailed specification for all roofing materials (including trade names and samples where necessary) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details. For the avoidance of doubt the roof of the development shall be finished in natural slate and profile sheeting.

Reason: In the interests of visual amenity and to ensure that the development is sensitive to, and compatible with, its context and local architectural styles.

REASON FOR DECISION

The proposals accord with the provisions of the Development Plan and there are no material considerations which would warrant refusal of the application.

TIME LIMITS

FOOTNOTE TO APPLICANT

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (p.198), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Site Access to the B9165 Public Road

The cottages have an established legal use for residential purposes and a legal right of servitude over the existing access with the public road. You are advised that the access with the B9165 Public Road does not benefit from sufficient visibility splays which meet current Council Roads Guide lines. The significant shortfall in visibility gives rise to road safety concern.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

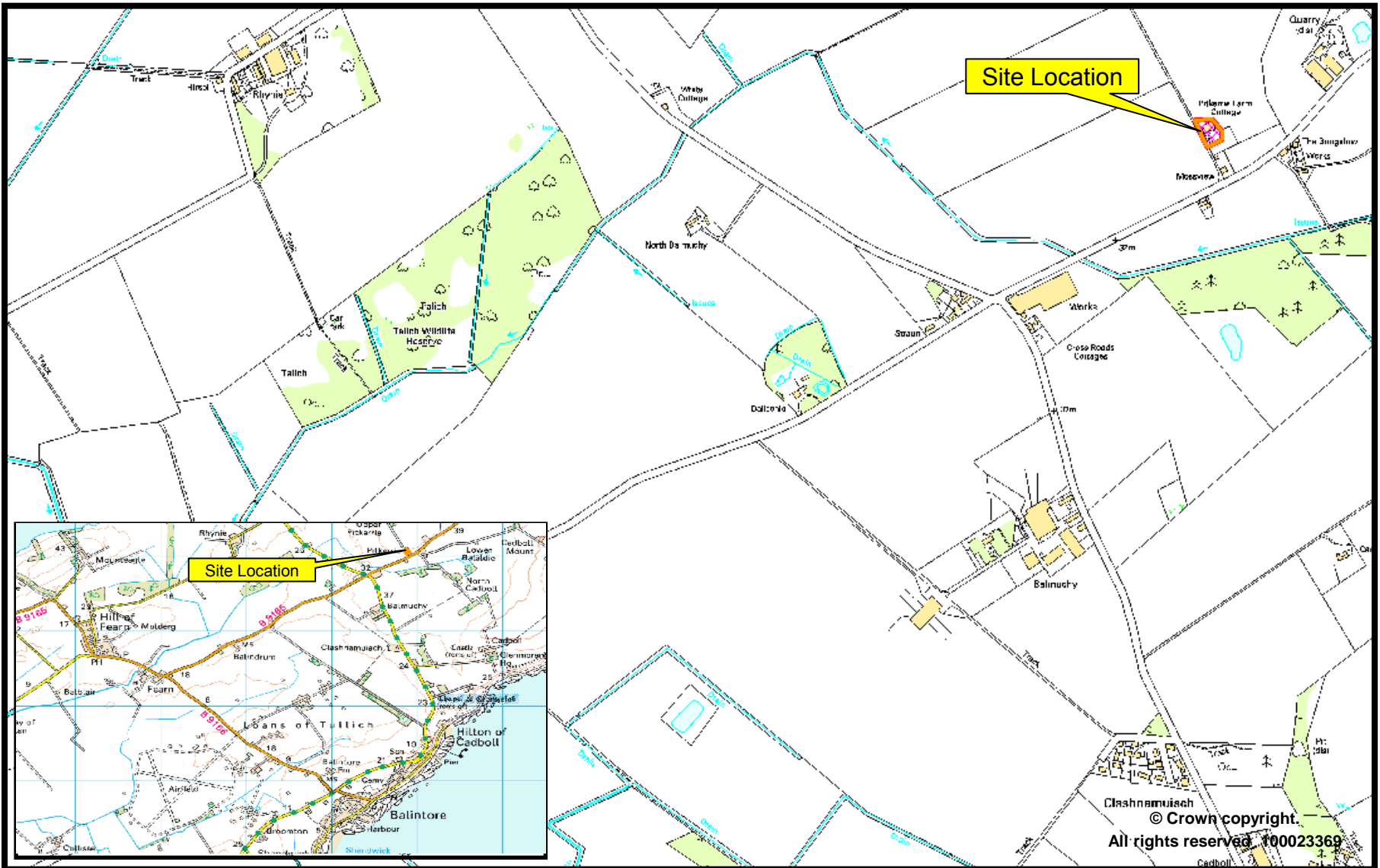
Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_or_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Signature: Dafydd Jones
Designation: Area Planning Manager - North
Author: Laura Stewart
Background Papers: Documents referred to in report and in case file.
Relevant Plans: Plan 1 – Location, Site, Elevation Plan – HHL 14038.BW10
Plan 2 – Site, Elevation, Section Plan – HHL 14038.BW09
Plan 3 – Drainage – 0249 APPENDIX A
Plan 4 – Section Plan – 0249 APPENDIX B



The Highland Council
Comhairle na Gàidhealtachd

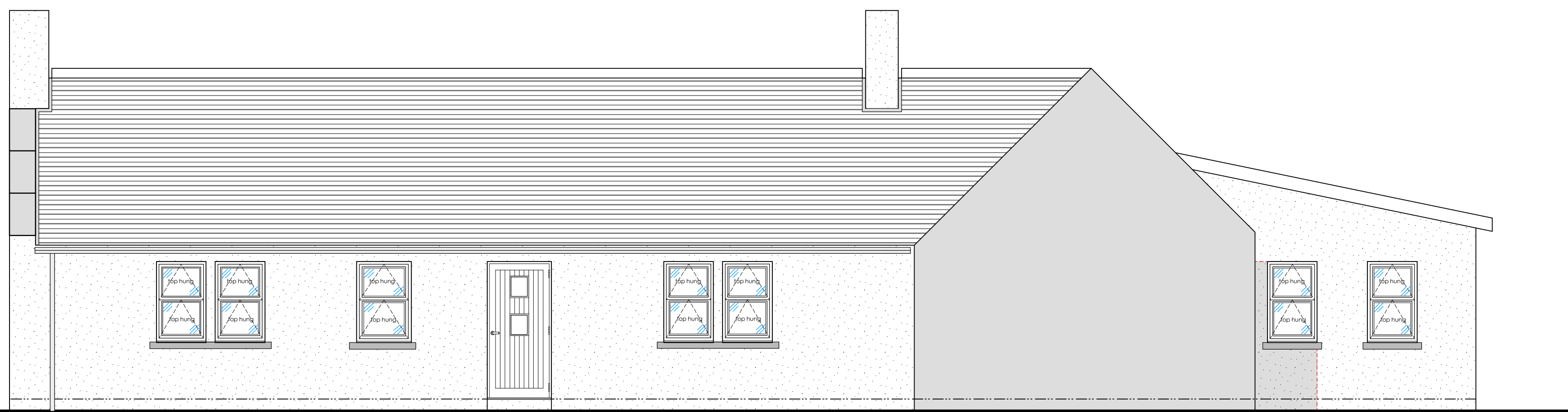
Development & Infrastructure Service

16/04549/FUL
Refurbishment of farm cottages to form 3no residential units at
Pitkerrie Farm Cottage, Fearn, Tain.

Date: 08/12/2016



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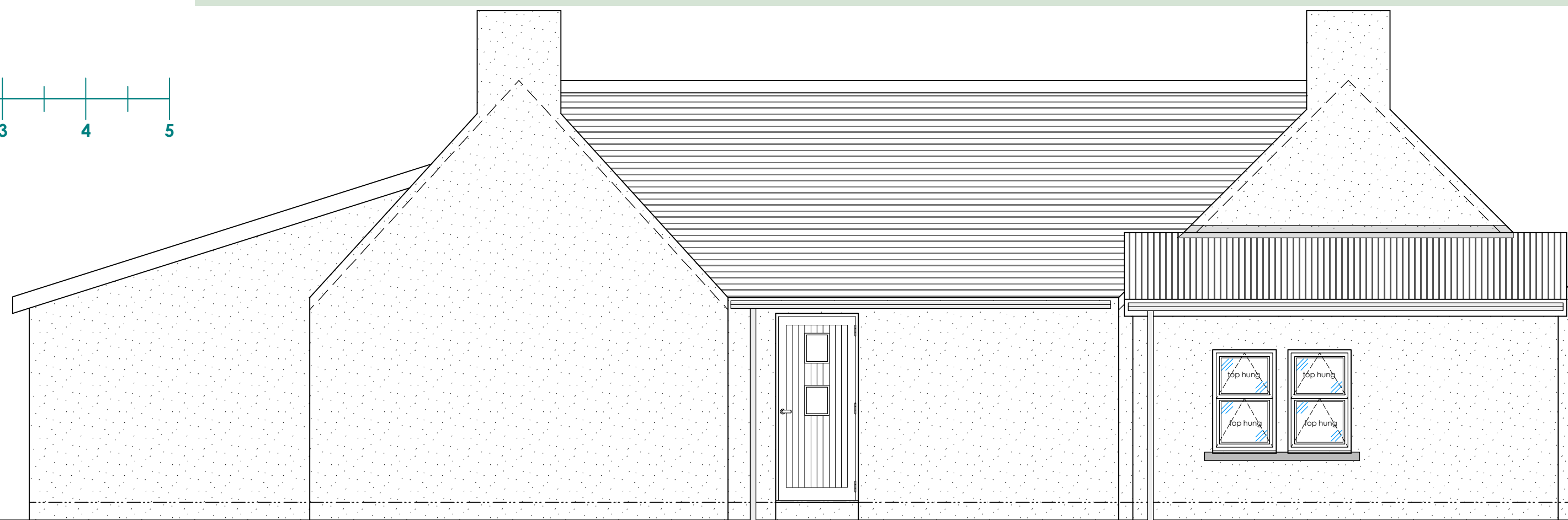


INTERNAL COUTYARD ELEVATION 1
SCALE 1:50

UNIT 1

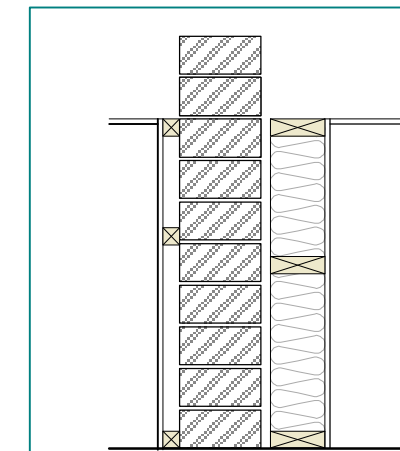


SCALE BAR
SCALE 1:50



APPROACH ELEVATION
SCALE 1:50

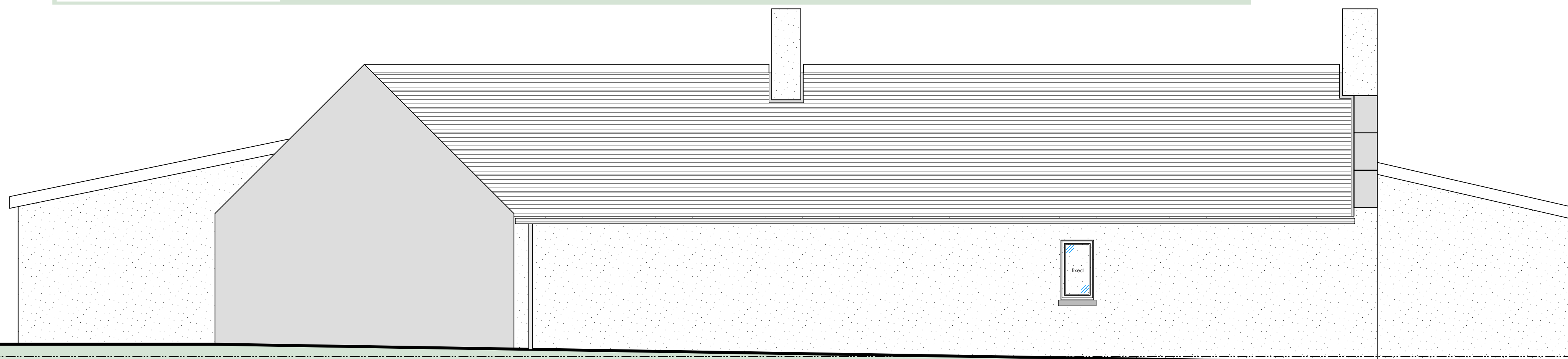
UNIT 2



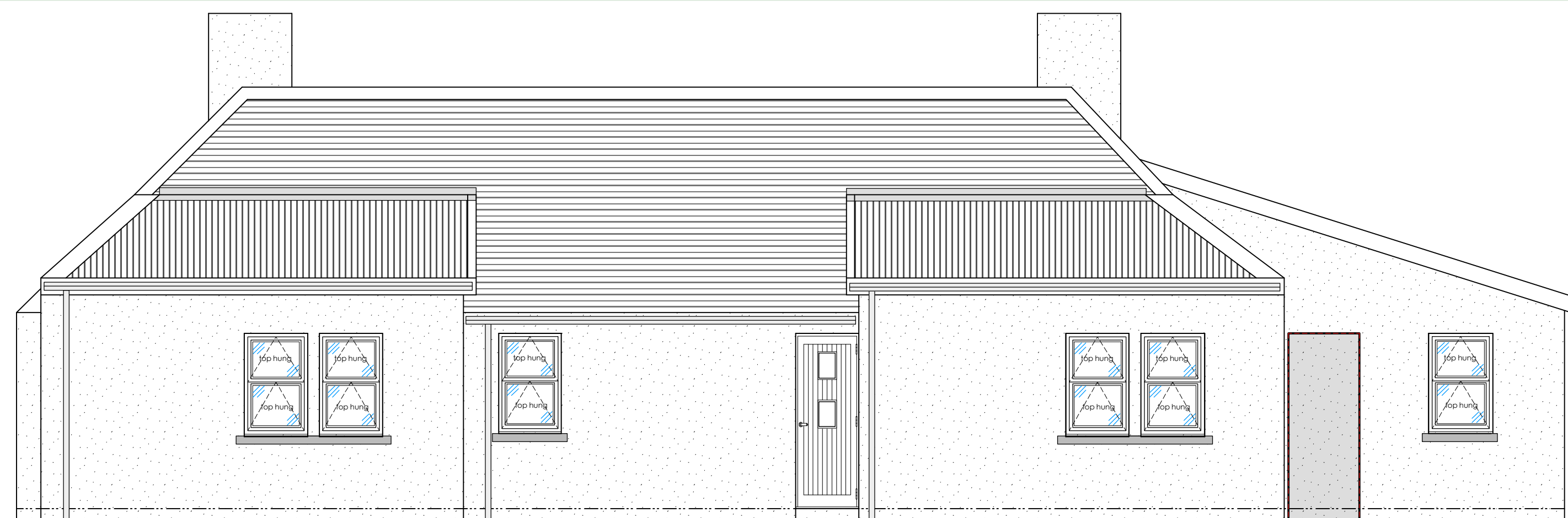
SEPERATING WALL BETWEEN UNIT 2 & 3:
Unit 2 side finished with 1no. layers of 15mm plasterboard (all joints staggered and filled ready for decoration). Studs to be 45x45mm C16 reg treated studs at 600mm centres
Then 215mm dense concrete block built off floor slab taken to underside of roofing sarking. With no cables or services penetrating wall. Any voids between blockwork and underside of sarking to be filled with suitable B1 fire rated expanding foam to BS 476 Part 20: 1987.

Unit 3 side finished with 1no. layers of 15mm plasterboard (all joints staggered and filled ready for decoration). Studs to be 45x45mm C16 reg treated studs at 600mm centres with 25mm cavity between blockwork and frame.

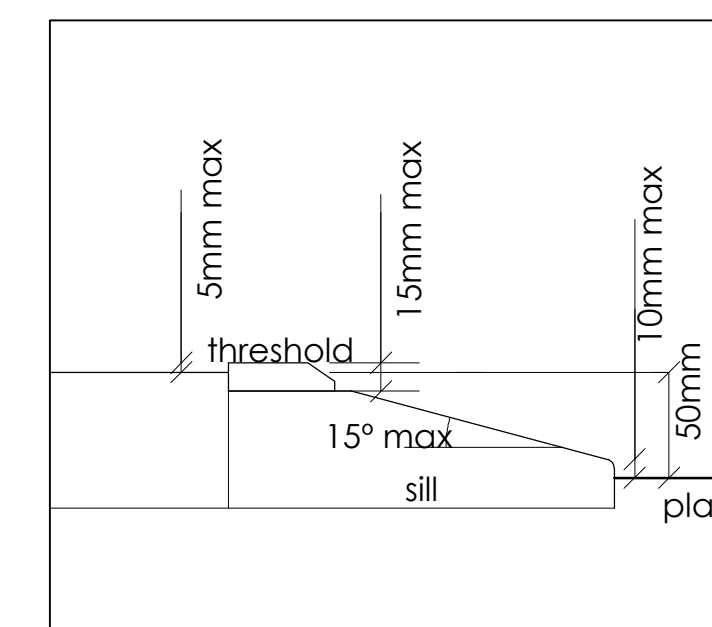
SEPERATING WALL DETAIL
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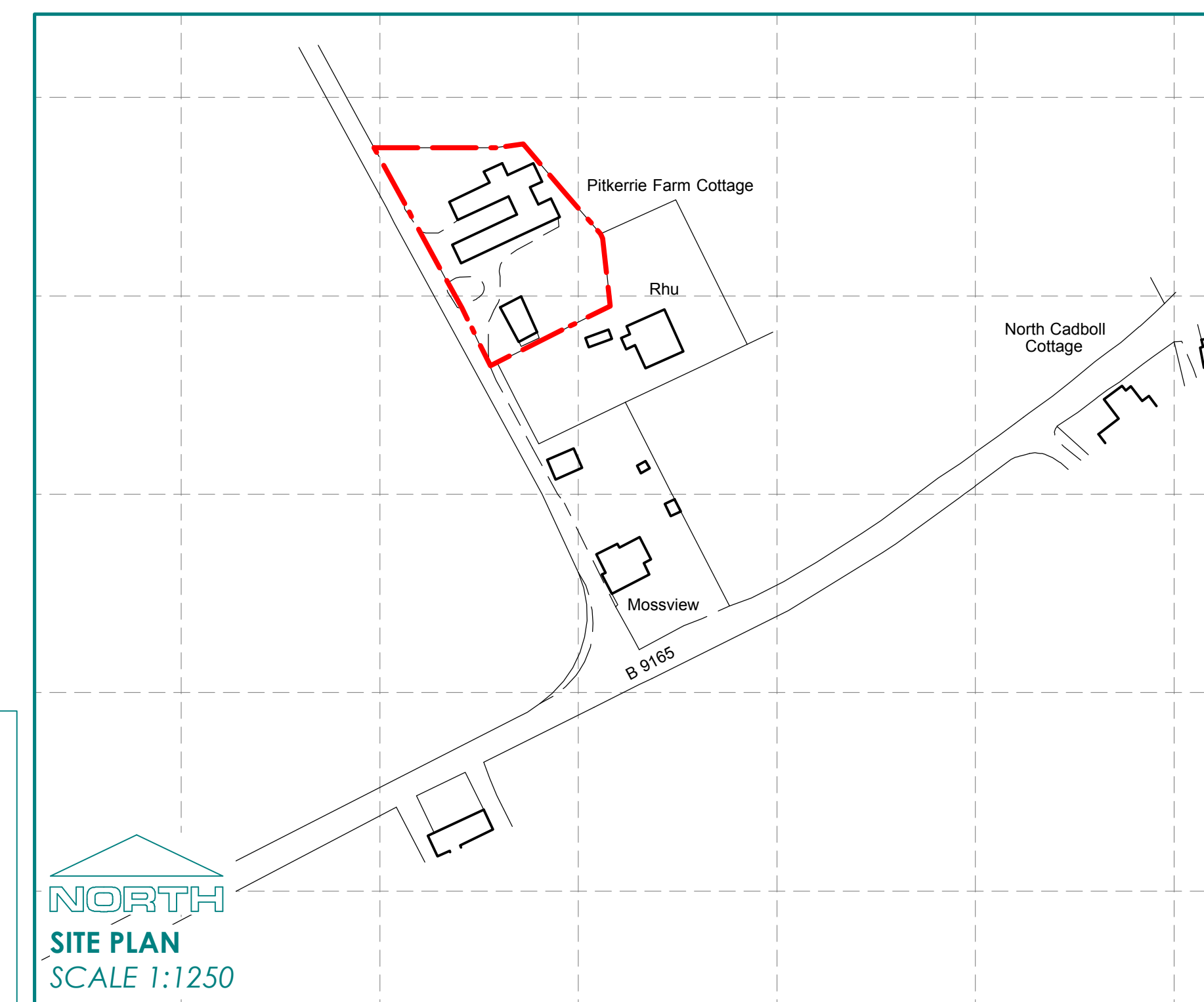
INTERNAL COUTYARD ELEVATION 2
SCALE 1:50



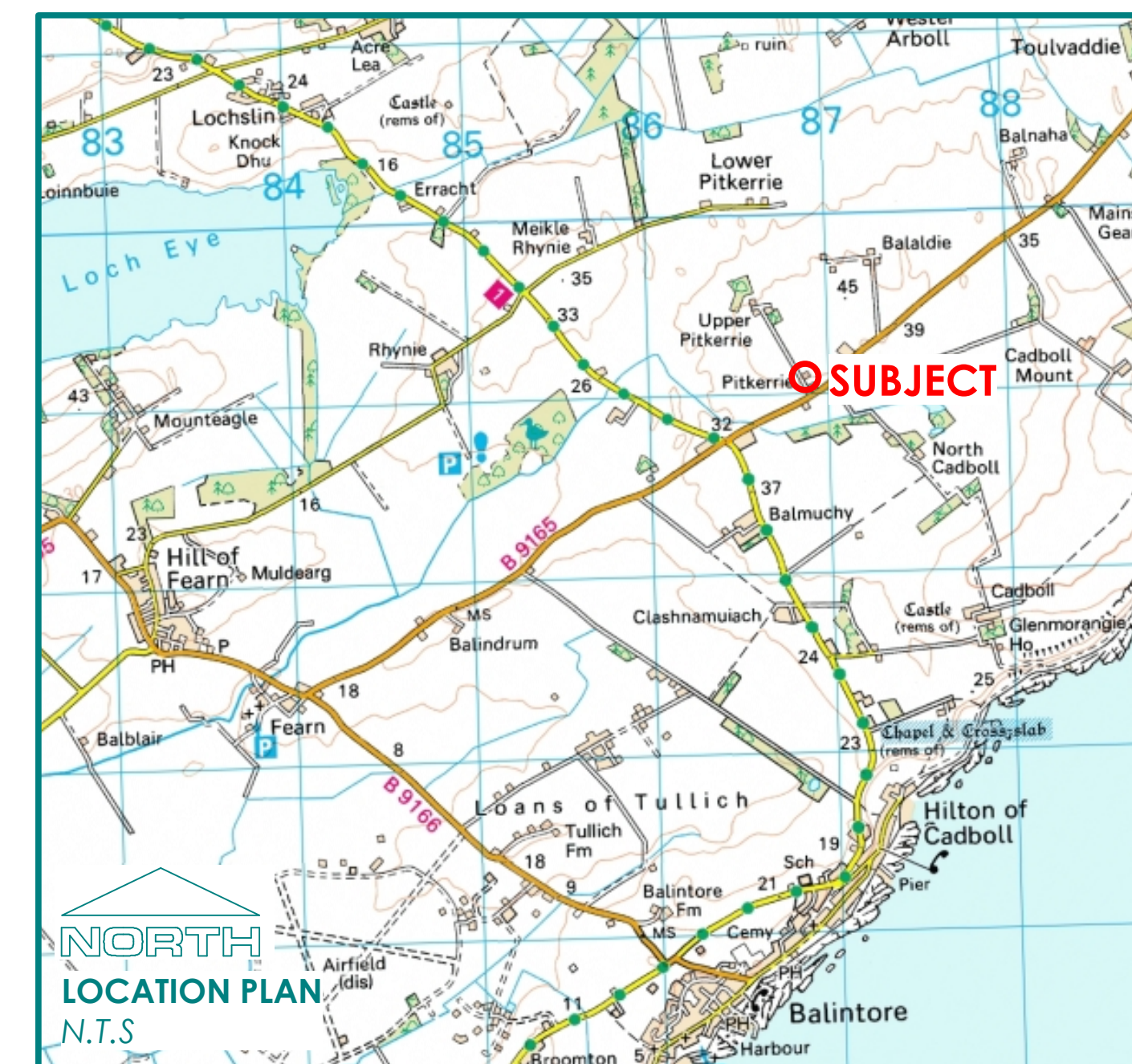
REAR ELEVATION
SCALE 1:50



ACCESSIBLE THRESHOLD DETAIL



NORTH
SITE PLAN
SCALE 1:1250



NORTH
LOCATION PLAN
N.T.S



Client. **MR OLLIE CLOKIE**
Project. **REFURBISHMENT OF PITKERRIE FARM COTTAGES**
Ref. **HHL 14038.BW10**

6 Cameron Crescent
Nairn
IV12 5DY

Tel. **01667 451334**
Mob. **07743 221617**
Email. **admin@hhlscotland.co.uk**
web. **hhlscotland.co.uk**



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All plans are based upon the Ordnance Survey Map with the sanction of the Controller H.M. Stationary Office. Licence Number: 100020449

SECURITY FITTING OF DOORS & WINDOWS:
The level of security of any dwelling can be significantly enhanced by ensuring that all external doors and any windows or glazing in vulnerable locations are manufactured and installed to resist forced entry and also that unauthorised entry into common areas is prevented.

- Doors should be designed and installed to resist forced entry at:
- an external door to a dwelling or common area of a domestic building and
 - an entrance or egress door to a flat or maisonette and
 - a door between a dwelling and a conservatory or garage.

Windows and glazing should be designed and installed to resist forced entry where:

- located at ground floor level and easily accessible or
- where otherwise easily accessible from outside, such as by climbing on building projectors.

There are a number of ways in which this can be achieved:

- by meeting the recommendations for physical security in Section 2 of Secured by Design' (ACPO, 2009) or
- by use of doorsets and windows which are tested and certified by a notified body as meeting a recognised standard, such as, PAS 24:2007 for doorsets or BS 7950: 1997 for windows or
- by use of doorsets and windows manufactured to meet recognised product standards and defined component performance such as:
 - BS 7412: 2007 for uPVC units
 - BS 644: 2009, for timber window units
 - BS 4873: 2009, for aluminium alloy units
 - BS 6510: 2005, for steel-framed units.

Vulnerable windows to be constructed to resist attempts to force frames and, if openable, ironmongery to be fitted with either:

- a keyed locking system that uses a removable key or
- a keyless locking system, together with glazing which incorporates laminated glass or a similarly robust glazing material.

Locks & Hinges:
Single swing doorset to be fitted with at least one and a half pairs of hinges meeting the recommendations of BS EN 1935: 2002 for hinge grade 11 or above. Hinges fitted to an outward-opening door should be of a type that does not permit the hinge pin to be removed unless the door is open. Otherwise, hinge bolts should be fitted to ensure the door leaf will remain secure when closed.

A doorset should include a single-point locking device to BS 3621: 2007 (for keyed egress) or to BS 8621: 2007 (for keyless egress) or a multipoint locking system. A deadlocking facility should be provided. Any lock cylinder should be in accordance with BS EN 1303: 2005, grade 3 key security and grade 2 attack resistance as a minimum.

Communal entrance door to be fitted with an access control system and be self-closing and self-locking, with keyless operation of any lock from within the common area. To accommodate access control systems, a doorset may incorporate electronic or magnetic remote release and a means of access which includes keyless electronic solutions (keypad, proximity swipe, etc).

Access to door locks from outside by breaking of glazing, in or adjacent to a door leaf should be prevented by use of laminated glass or a similarly robust glazing material.

Sliding door to have a multi-point deadlocking system with 3 or more hook or similar bolts. To prevent removal of the door, an anti-lift device should be fitted. Shoot bolts, if used, should locate into the head of the frame.
A doorset with more than one door leaf should include a means of securing any secondary leaf at head and foot to allow the primary leaf to be securely locked.

Installation & Fixings of Doors & Windows
Inadequate fixing into the surrounding structure will significantly affect the security performance of a doorset or window. In most cases, fixings designed to resist normal anticipated loads, such as from wind and accidental impact, will also ensure that a doorset or window is secure against the more common basic methods of forced entry.

To ensure a robust installation, fixing of a doorset or window to be in accordance with:

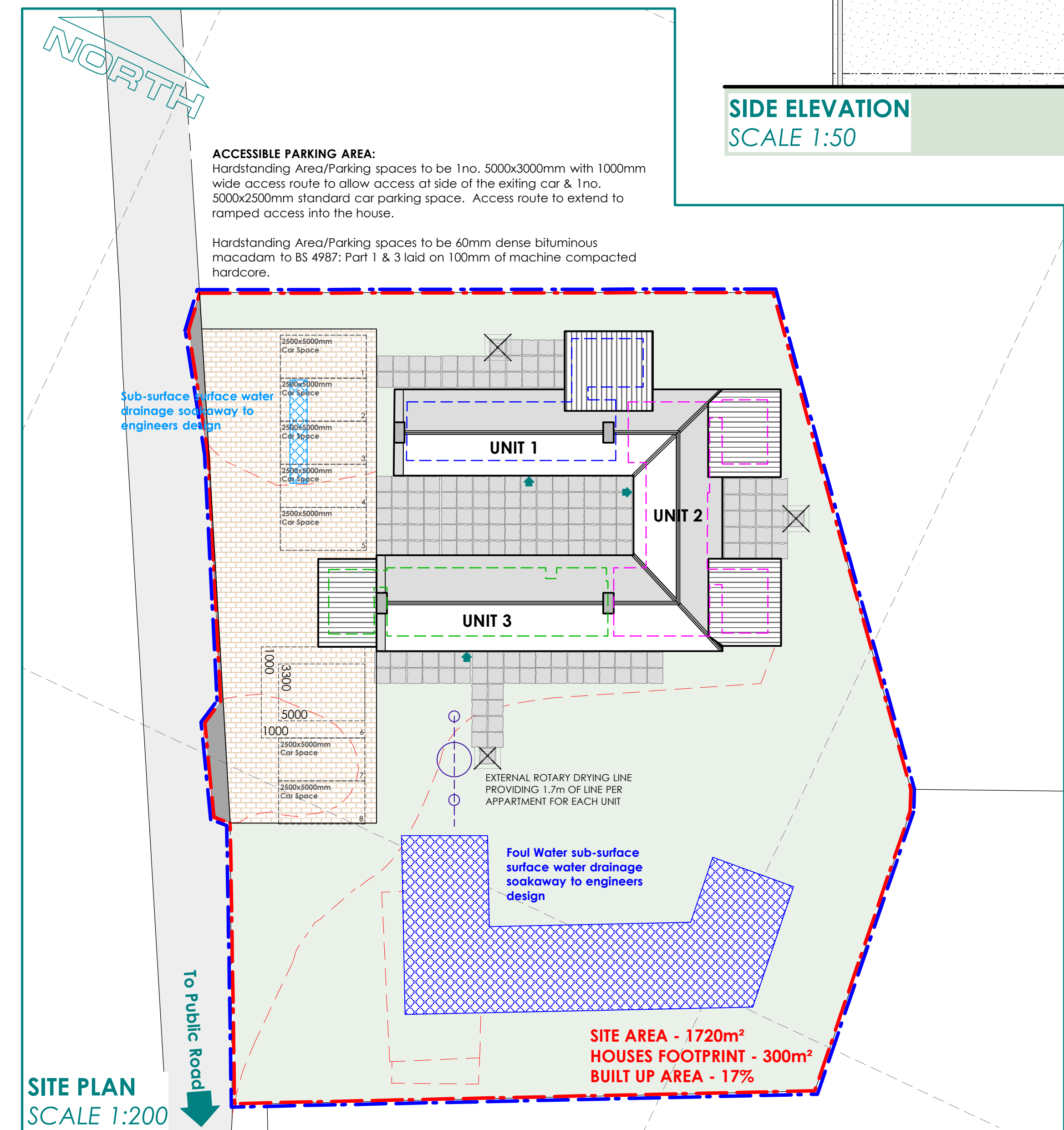
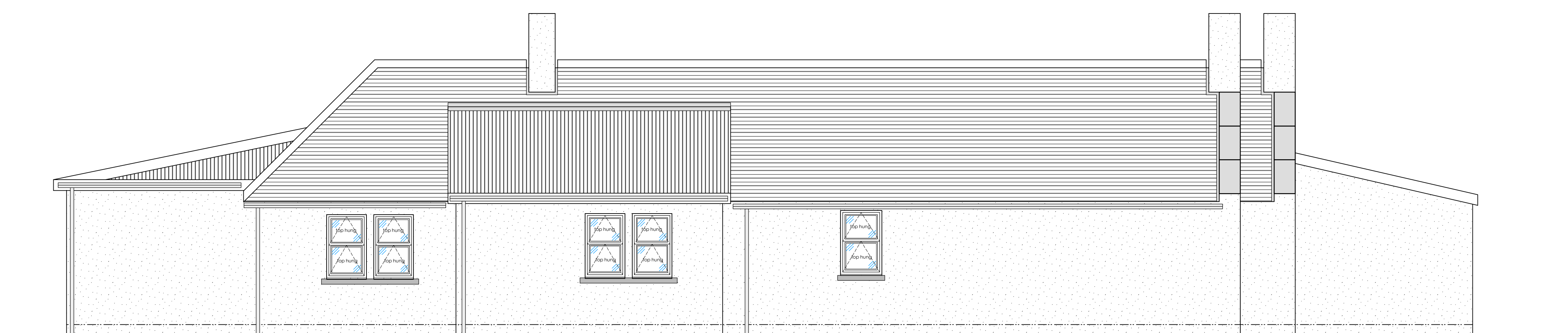
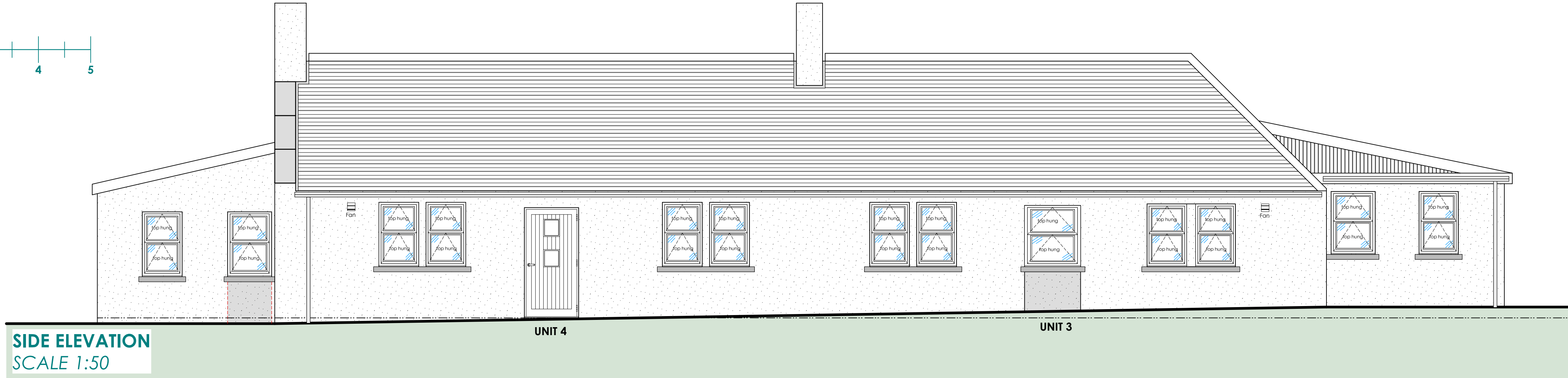
- the recommendations given in section 8 of BS 8213-4: 2007 or
- manufacturer's written instructions where these meet or exceed the recommendation within this British Standard.

ELECTRIC HEATING SYSTEM:
Electric storage heating system to be designed to be capable of maintaining a temperature of 21°C in of least 1 apartment and 18°C elsewhere, when the outside temperature is minus 1°C. Each heater to include an integrated programmer with 7-day automated timer and shut off.



SIDE ELEVATION
SCALE 1:50

SIDE ELEVATION
SCALE 1:50



DOMESTIC FIRE DETECTION & ALARM SYSTEM:
A Grade B system should be installed in all dwellings to comprise of:

- at least 1 smoke alarm installed in every principal habitable room;
- at least 1 smoke alarm in every circulation space such as hallways and landings; and
- at least one heat alarm installed in every kitchen.

The fire detection system to be designed to BS 5839 Part 4 and alarms as follows

- Optical Smoke alarms to BS EN 14604: 2005
- Ionisation Smoke alarms to BS EN 14604: 2005
- Heat Alarms to BS 5446 Part 2: 2003

All alarms to produce a sound output of 85 dB(a) at a 3000mm distance. Smoke/heat alarms to be located in circulation spaces as follows:

- not more than 7 m from the door to a living room or kitchen;
- not more than 3 m from every bedroom door; and
- in circulation spaces more than 7.5 m long, no point within the circulation space should be more than 7.5 m from the nearest smoke alarm

A smoke alarm should within a principle habitable room to be located no more than 7.5 m from the nearest smoke alarm and in the case of a heat alarm, no point in the kitchen should be more than 5.3 m from the nearest heat detector. All dimensions should be measured horizontally.

All alarms to be ceiling mounted and positioned such that their sensitive elements are:

- in the case of a smoke alarm, between 25 mm and 600 mm below the ceiling, and at least 300 mm away from any wall or light fittings; and
- in the case of a heat alarm, between 25 mm and 150 mm below the ceiling.

Smoke alarms and heat alarms should be mains operated and permanently wired to a circuit which should take the form of either:

- an independent circuit of the main distribution board, in which case no other electrical equipment should be connected to this circuit (other than a dedicated monitoring device installed to indicate failure of the mains supply to the alarms); or
- a separately electrically protected regularly used local lighting circuit.

The standby supply for smoke alarms and heat alarms may take the form of a primary battery, a secondary battery or a capacitor. The capacity of the standby supply should be sufficient to power the smoke alarms and heat alarms in the quiescent mode for at least 72 hours whilst giving an audible or visual warning of power supply failure, after which there should remain sufficient capacity to provide a warning for a further 4 minutes or, in the absence of a fire, a fault warning for at least 24 hours.

All smoke alarms and heat alarms in a dwelling should be interconnected so that detection of a fire in any alarm, operates the alarm signal in all of them. Smoke alarms and heat alarms should be interconnected in accordance with BS 5839: Part 6: 2004.

The system should be installed in accordance with the manufacturers written instructions. This should include a limitation on the number of smoke alarms and heat alarms which may be interconnected

CARBON MONOXIDE DETECTION:
New Carbon Monoxide Detector/Alarm to be installed where a new or replacement fixed combustion appliance (including, Boiler, Gas/Coal Fire, Wood burner stove, Gas Cooker or Portable Heater) is installed. Detector/Alarm not to be installed within a cupboard.

Mains powered Carbon Monoxide Detector to comply with BS EN 50291-1:2010 KM 86596 and incorporate a 10 year rechargeable battery backup.

The detector should incorporate a warning device to alert users/occupants when its working life is due to expire.

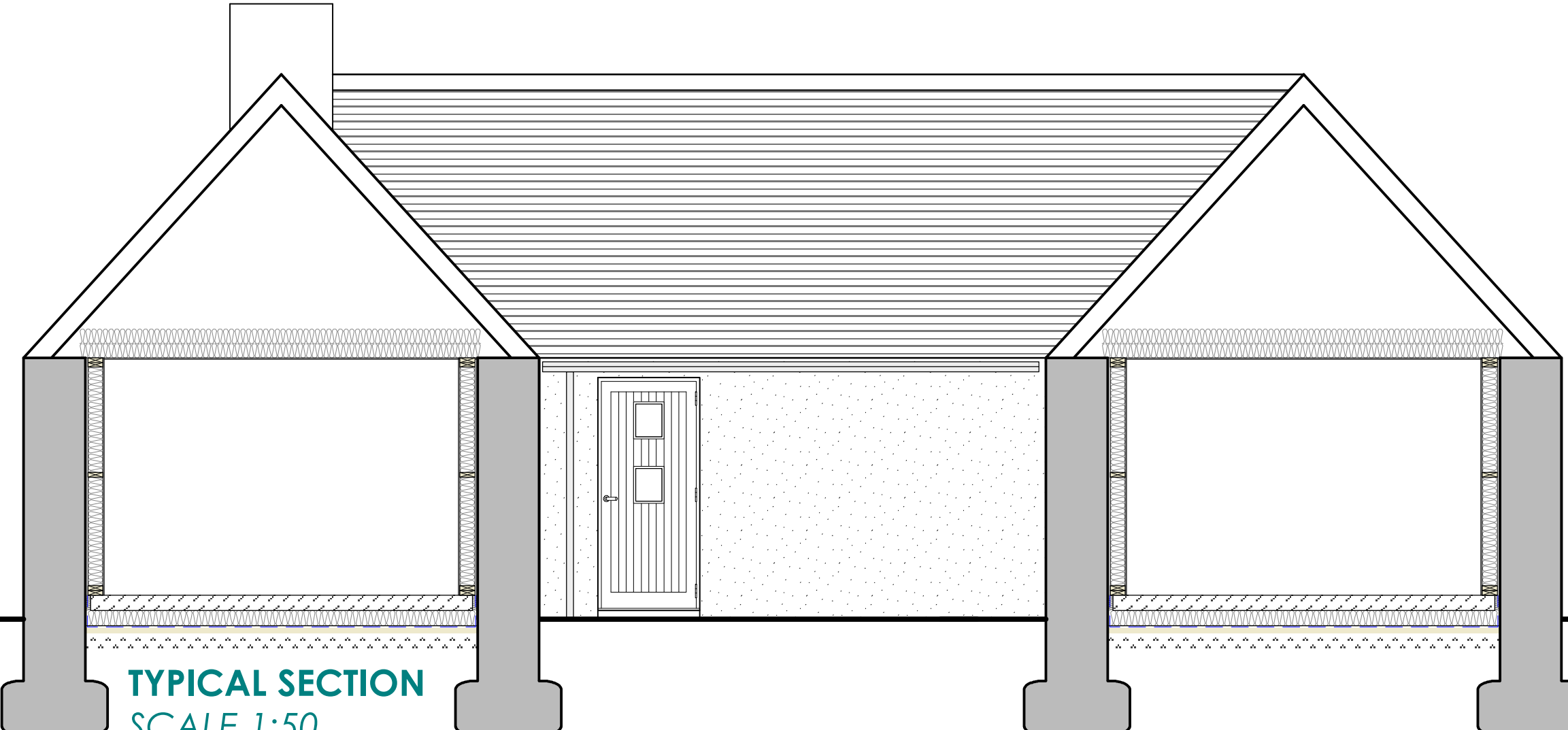
The detector should be installed in accordance with the manufacturers written instructions

SLATE ROOF CONSTRUCTION:
Roof finish to be Grade A Natural Slate (to NF EN 12326) nailed to Daltex Roofshield breathable roofing underlay (in accordance with manufacturers BBA Certificate), over 1450x22mm sarking boards (with 2mm air gap) fixed to existing trusses. Code 5 lead flashing to be provided at all roof junctions.

Gable straps to be Expanel 27.5x5x1200mm galvanised straps at both ceiling tie and rafter level. Fixed over at least 2no. trusses using 5no. Zinc plated no.12 wood screws, with at least 1no. screw 150mm from bottom of the strap. Timber packers fitted between rafter and tie to suit. All in compliance with BS 5248: Part 3.

95mmx25mm longitudinal roof bracing as shown on the drawings, any joints to be overlapped with a min 3no. rafters. Bracing to be nailed to every rafter with 2no. 3.35mm dia. galvanised wire nails.

At ceiling tie level, 200mm Earthwool 35 Insulation between ceiling ties and 200mm Earthwool 35 insulation running perpendicular over ceiling ties. Internally finished with 12.5mm Vapour Check 'Duplex' plasterboard.



TYPICAL SECTION
SCALE 1:50

FINISHES LEGEND	
WALLS - WET DASH RENDER	
ROOF - NATURAL SLATE - METAL PROFILE ROOFING	
WINDOWS - uPVC	
DOORS - uPVC	



Client. **MR OLLIE CLOKIE**

Project. **REFURBISHMENT OF PITKERRIE FARM COTTAGES**

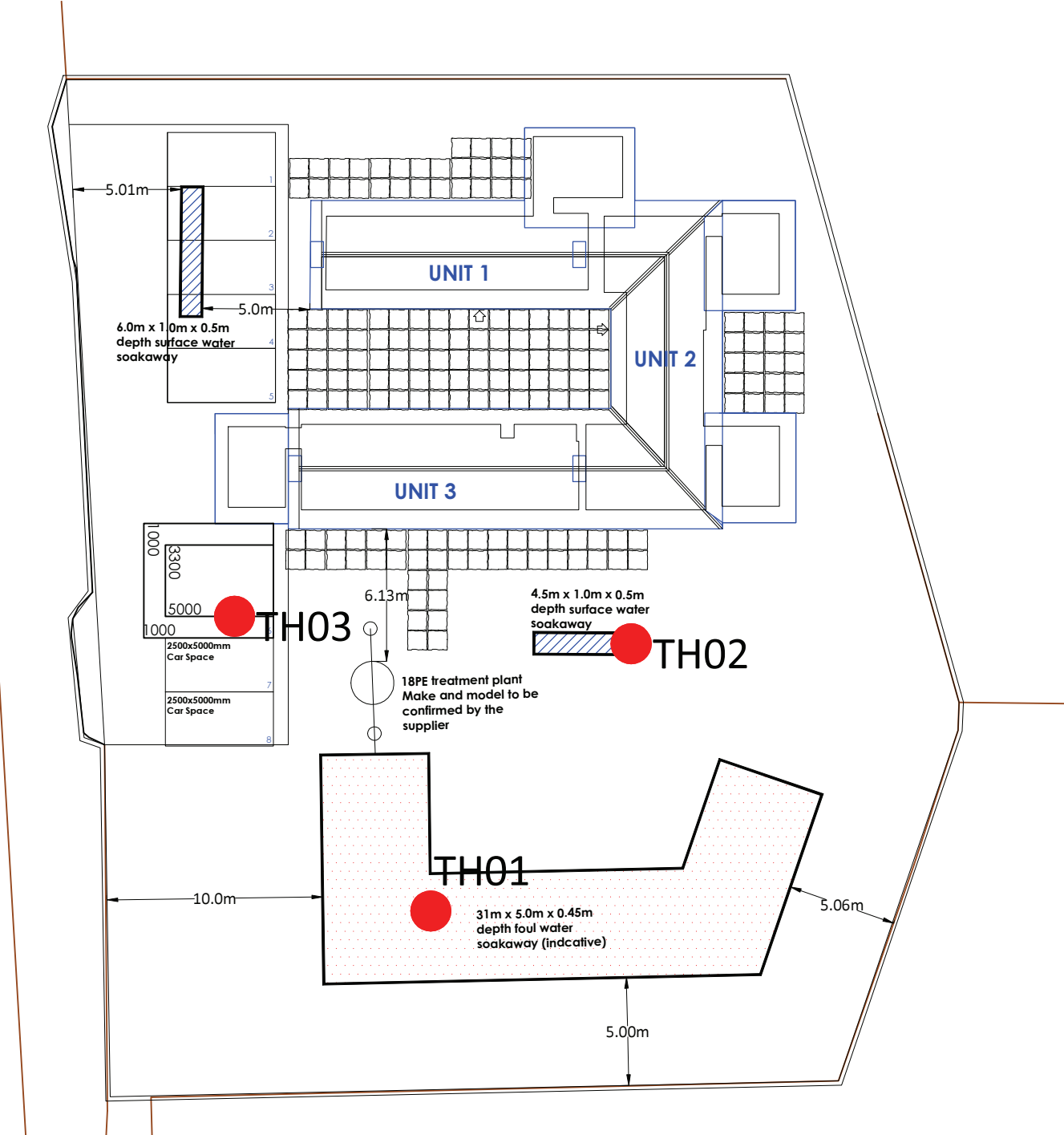
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RTPI
mediation of space · making of place



REV:	DESCRIPTION:	BY:	DATE:
STATUS:		ISSUE	

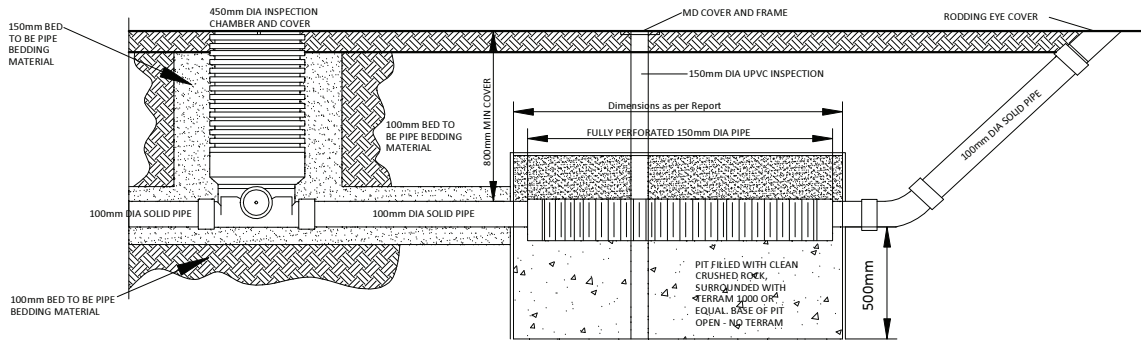
gmcsurveys
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CLIENT: Mr Ollie Clockie

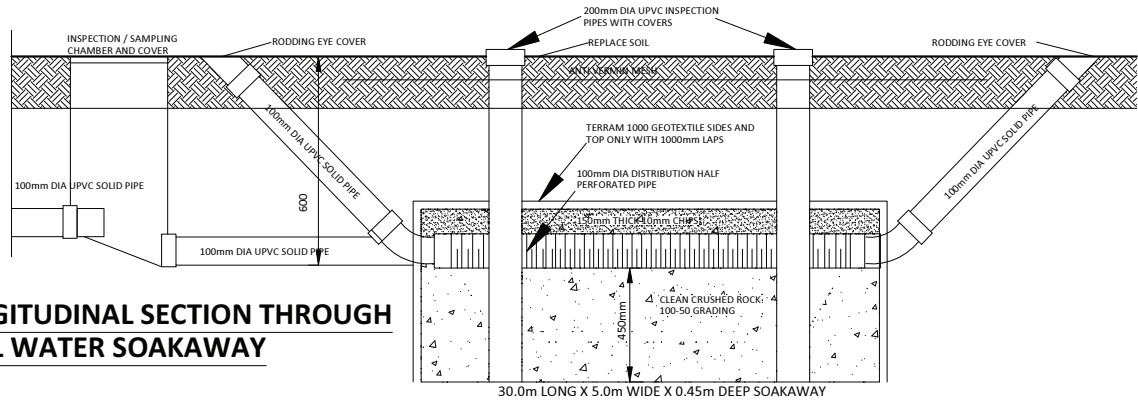
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 Fearn, Tain

TITLE: Site/Test Hole Location

SCALE AT A4:	DATE:	DRAWN:	CHECKED:
NTS	SEPT16	GM	
PROJECT NO:	DRAWING NO:	REVISION:	
0249	Appendix A	-	



LONGITUDINAL SECTION THROUGH RAINWATER SOAKAWAY



LONGITUDINAL SECTION THROUGH FOUL WATER SOAKAWAY

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			ISSUE

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SITE: Pitekerrie Farm Cottages Fearn, Tain
 TITLE: Soakaway Details

SCALE AT A4: NTS	DATE: SEPT16	DRAWN: GM	CHECKED:
PROJECT NO: 0249	DRAWING NO: Appendix B	REVISION:	-