
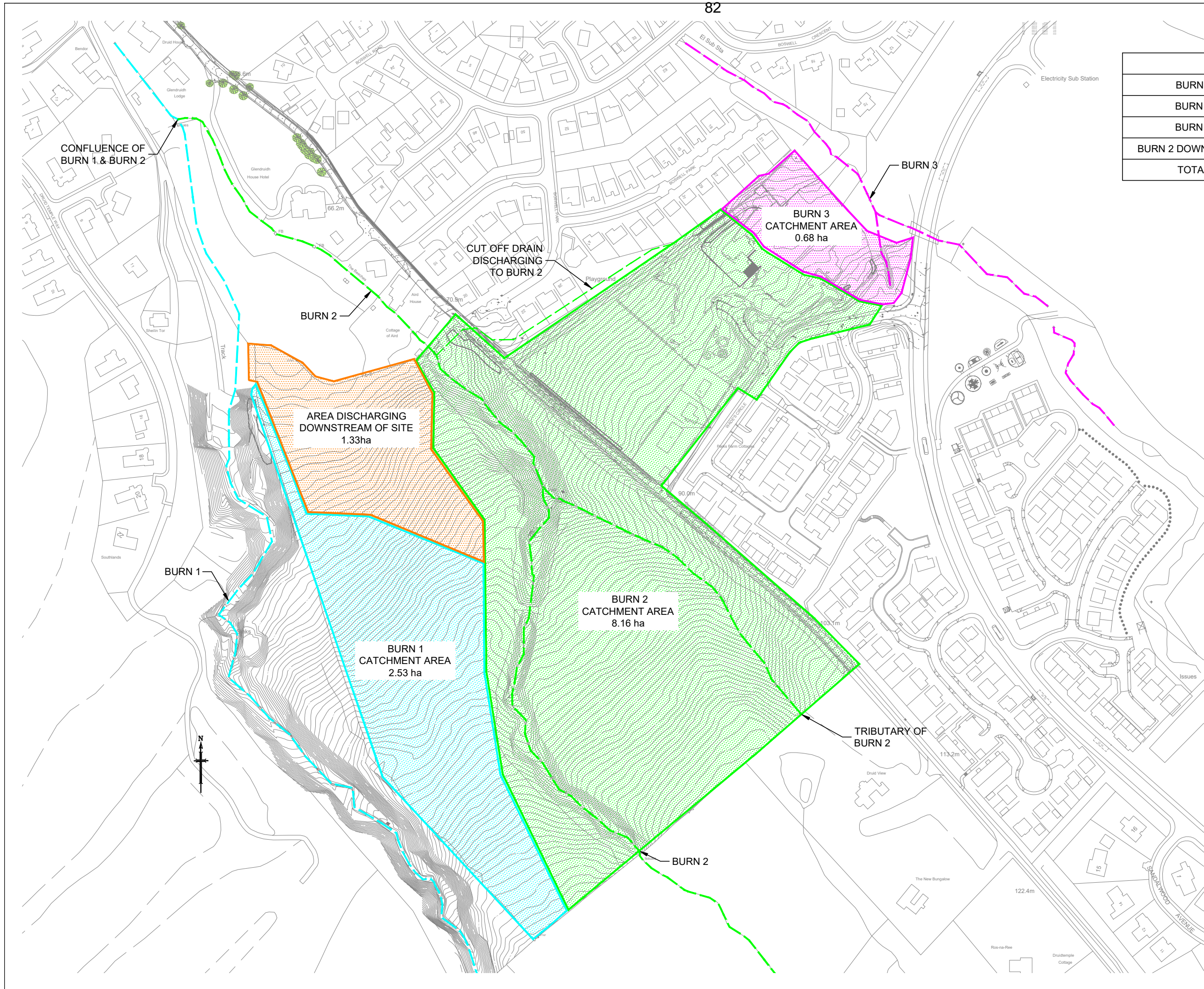


TABLE NO.	004411
3440:135	
REVISED	DATE
<b>APPROVAL DRAWING</b>	
TULLOCH HOMES LTD	
DRUIDS TEMPLE	
LAND DRAINAGE	
DATE	SCALE
10/05/20	1:500 @ A1
DATE	DD MM SCALE
10/05/20	DD MM SCALE
	
TABLE NO.	004411
3440:135	



CATCHMENT AREAS	
BURN 1	2.53 ha
BURN 2	8.16 ha
BURN 3	0.68 ha
BURN 2 DOWNSTREAM	1.33 ha
TOTAL	12.70 ha

Revisions	Date	Drn.

**INFORMATION ONLY**

**TULLOCH HOMES LTD**

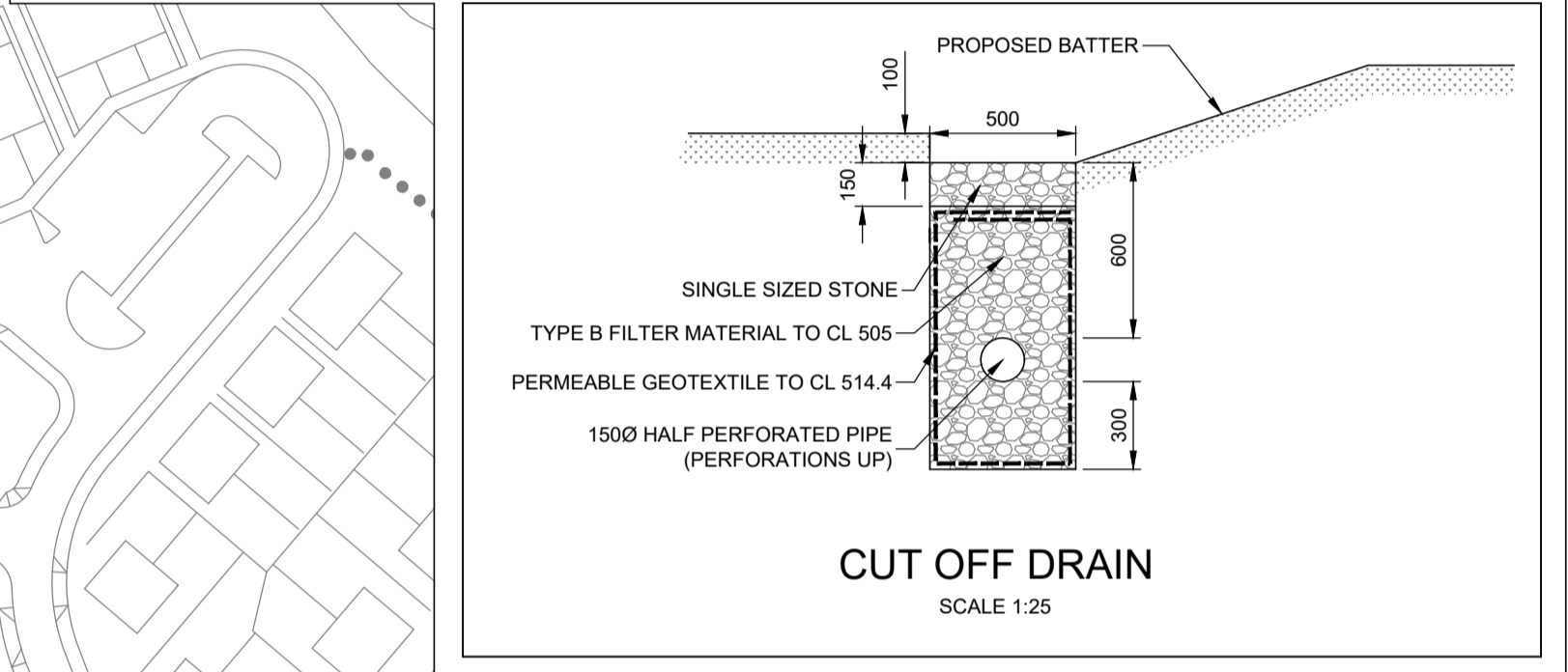
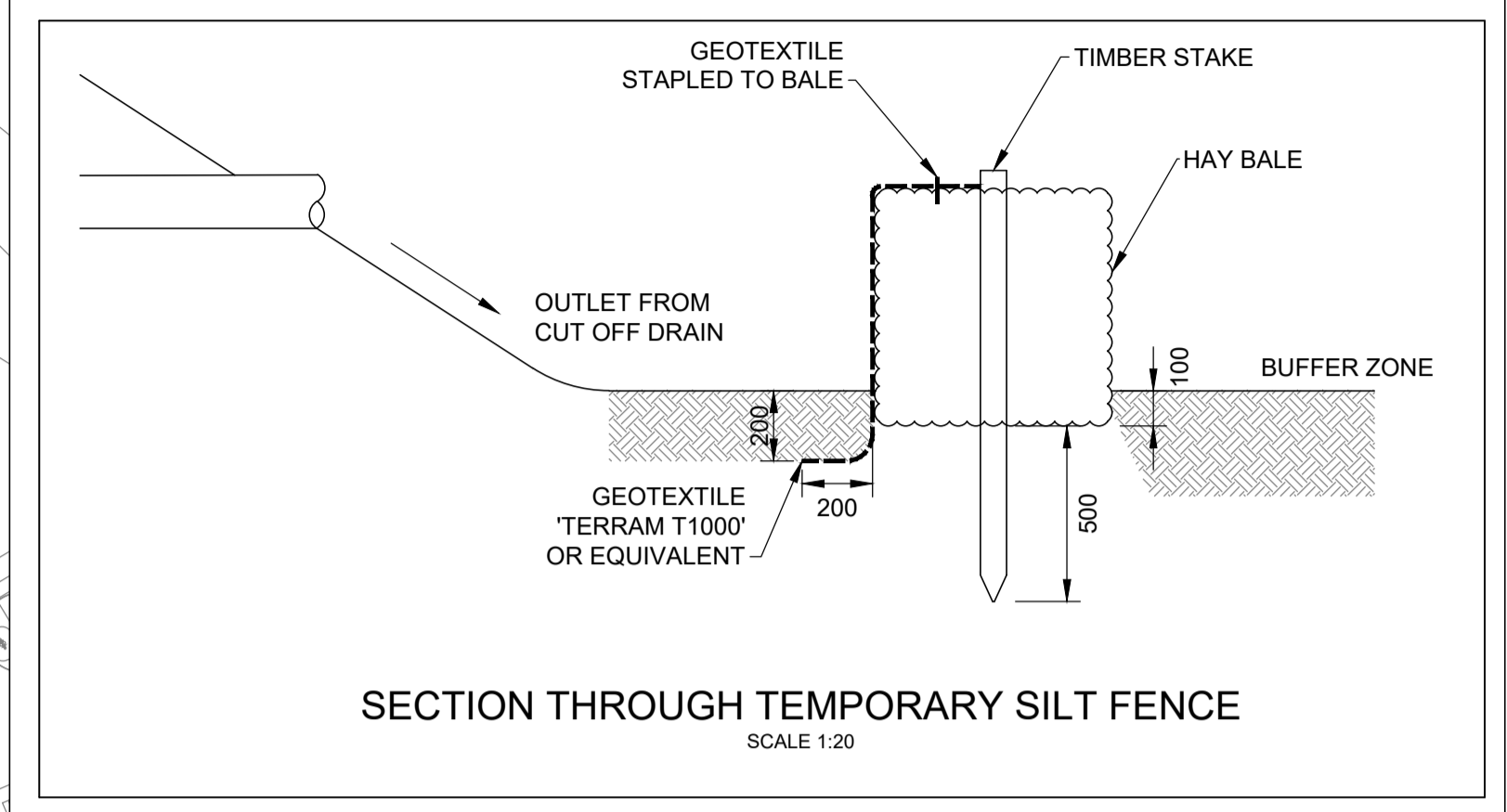
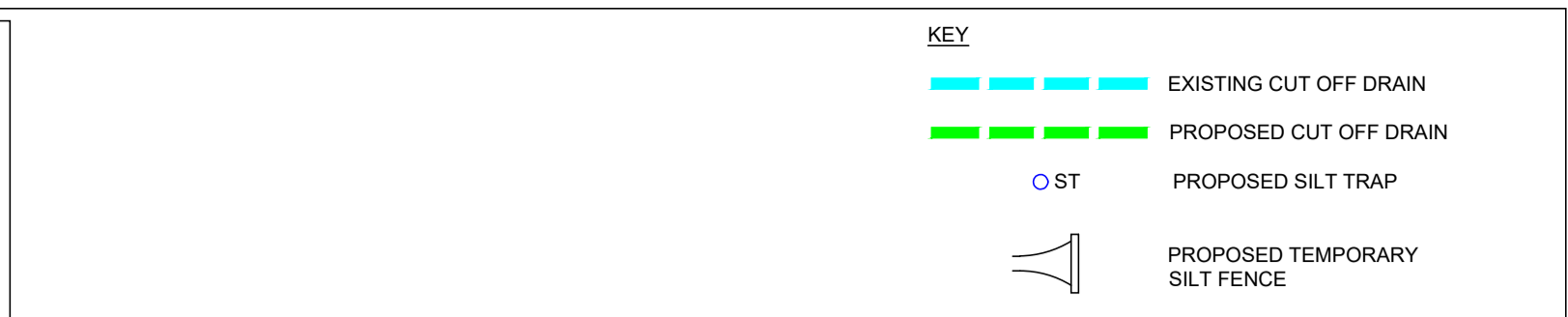
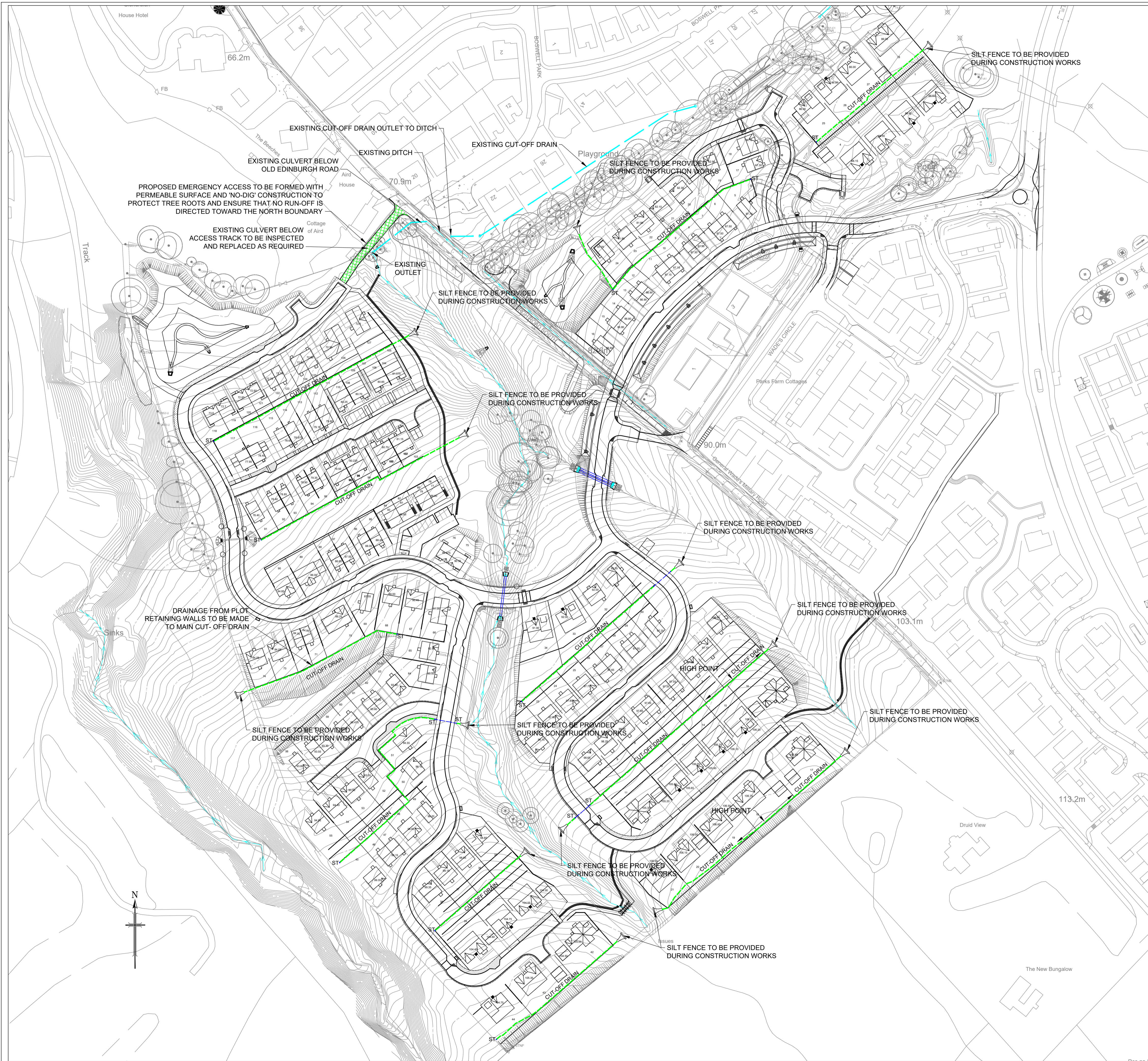
**DRUID'S TEMPLE  
INVERNESS**

**GREENFIELD RUN OFF**

Drawn: IAW	Ckd:	Scale: 1:2500 (A3)
Date: AUG 20	Date:	DO NOT SCALE

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 email: hga@hgagroup.co.uk

Drawing No. <b>3440:206</b>	Revision
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Drawing No.	3440:135		Revision
Revisions	Date	Dm.	

**APPROVAL  
DRAWING**

**TULLOCH HOMES LTD**

**DRUIDS TEMPLE**

**LAND DRAINAGE**

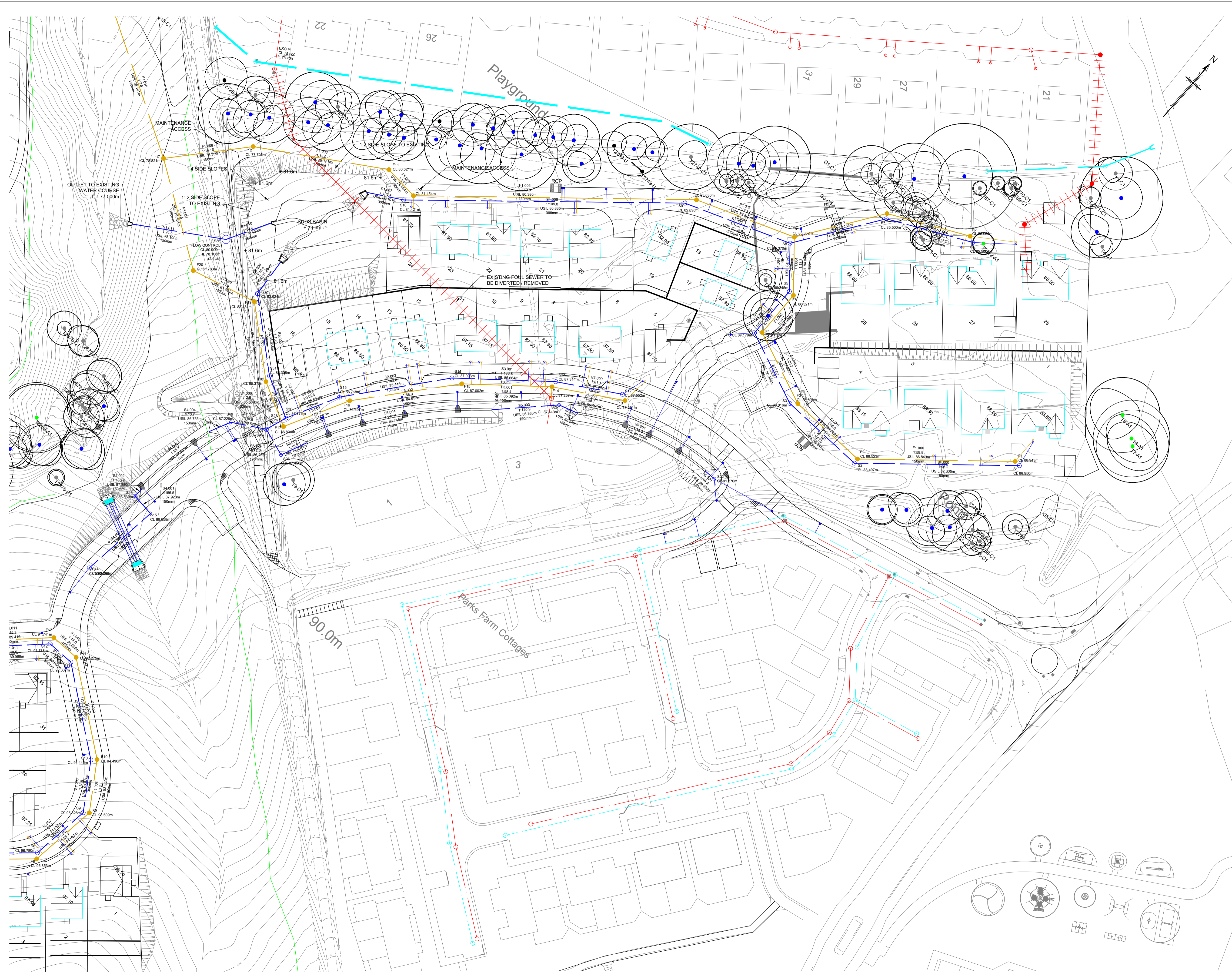
Drawn: MC	Ck'd:	Scale: 1:1000 @ A1
Date: AUG 20	Date:	DO NOT SCALE

consulting engineers

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email: hga@hagagroup.co.uk

Drawing No.	3440:135		Revision
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- KEY**
- +++++ EXISTING FOUL SEWER TO BE REMOVED
  - - - - EXISTING FOUL SEWER
  - EXISTING FOUL MANHOLE
  - PROPOSED FOUL SEWER
  - PROPOSED FOUL MANHOLE
  - - - - EXISTING STORM SEWER
  - EXISTING STORM MANHOLE
  - - - - PROPOSED STORM SEWER
  - PROPOSED SIDE INLET GULLY & 1500 TAIL
  - PROPOSED STORM MANHOLE

- NOTES**
1. ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
  2. LEVELS ARE RELATIVE TO OS DATUM.
  3. FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 105 & 107.
  4. ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
  5. ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
  6. ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
  7. ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
  8. BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
  9. TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 875x75 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
  10. FOR ALL OTHER MANHOLE TYPES REFER TO SPECIFIC NOTES ON LONG SECTIONS.
  11. DISCONNECTING CHAMBERS TO BE 450mm DIA PP WITH PROPRIETARY COVER AND FRAME. WHERE DEPTH EXCEEDS 1.2m, DIAMETER OF OPENING TO BE REDUCED TO 350mm DIA WITH SCREW DOWN COVER.
  12. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
  13. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE CCTV SURVEY AND REPORT IN A FORMAT SUITABLE FOR SUBMISSION TO SCOTTISH WATER.
  14. ALL WORKS TO BE INSPECTED AND APPROVED BY SCOTTISH WATER.

Drawing No. <b>3440:105/01</b>		Revision <b>D</b>
Revisions	Date	Drn.
A SLUDS BASIN & END OF ROAD 6 REVISED	20.11.19	MC
B FOUL & BASIN DETAILS ADDED	04.02.20	MC
C SLUDS AND DRAINAGE DESIGN REVISED TO INCORPORATE T.H.C COMMENTS AND TO MATCH CURRENT ARCHITECTS LAYOUT	11.05.20	MC
D LAYOUT REVISED TO MATCH BSC	08.06.20	MC

**APPROVAL  
DRAWING**

**TULLOCH HOMES LTD**

**DRUIDS TEMPLE**

**DRAINAGE LAYOUT  
SHEET 1 OF 3**

Drawn: MC	Ck'd: Date:	Scale: 1:500 @ A1
Date: JUNE 19	Date:	DO NOT SCALE

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email: hga@hgaagroup.co.uk

Drawing No. <b>3440:105/01</b>	Revision <b>D</b>
-----------------------------------	----------------------



- KEY**
- EXISTING FOUL SEWER TO BE REMOVED
  - EXISTING FOUL SEWER
  - EXISTING FOUL MANHOLE
  - PROPOSED FOUL SEWER
  - PROPOSED FOUL MANHOLE
  - EXISTING STORM SEWER
  - EXISTING STORM MANHOLE
  - PROPOSED STORM SEWER
  - PROPOSED SIDE INLET GULLY & 1500 TAIL
  - PROPOSED STORM MANHOLE

- NOTES**
1. ALL FINISHED FLOOR LEVELS ARE MINIMUM LEVEL TO ENSURE CONNECTION TO PROPOSED SEWERS.
  2. LEVELS ARE RELATIVE TO OS DATUM.
  3. FOR DRAINAGE LONG SECTIONS REFER TO DRAWING 106 & 107.
  4. ALL DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND.
  5. ALL EXISTING DRAINAGE LINES AND LEVELS TO BE CONFIRMED ON SITE AND ANY DISCREPANCY REPORTED TO HGA.
  6. ALL PIPEWORK 150mm Ø TO 450mm Ø TO BE STRUCTURED WALL uPVC TO WIS 4-35-01 UNLESS NOTED OTHERWISE.
  7. ALL PIPEWORK 525mm Ø AND ABOVE TO BE CONCRETE TO BS EN 1916 & BS 5911 UNLESS NOTED OTHERWISE.
  8. BEDDING TO PIPEWORK TO BE IN ACCORDANCE WITH WIS 4-08-02.
  9. TYPE 'A' AND TYPE 'B' MANHOLES TO BE PRE CAST CONCRETE WITH 675x675 DI COVERS TO BS EN 124 CLASS D400. ALL IN ACCORDANCE WITH SCOTTISH WATER STANDARDS DETAILS. FOR MANHOLES TYPES SEE LONG SECTION DRAWINGS.
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  12. ON COMPLETION OF WORKS CONTRACTOR TO PROVIDE AS BUILT SURVEY TO INCLUDE ALL MANHOLE LOCATIONS, COVER AND INVERT LEVELS AND PIPE SIZES.
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Drawing No. <b>3440:105/02</b>		Revision <b>D</b>	
Revisions	Date	Drm.	
A SUDS BASIN & END OF ROAD 6 REVISED	20.11.19	MC	
B FOUL & BASIN DETAILS ADDED	04.02.20	MC	
C SUDS AND DRAINAGE DESIGN REVISED TO INCORPORATE T.H.C COMMENTS AND TO MATCH CURRENT ARCHITECTS LAYOUT	11.05.20	MC	
D LAYOUT REVISED TO MATCH BSC	08.06.20	MC	

**APPROVAL  
DRAWING**

**TULLOCH HOMES LTD**

**DRUIDS TEMPLE**

**DRAINAGE LAYOUT  
SHEET 2 OF 3**

Drawn: MC	Ck'd:	Scale: 1:500 @ A1
Date: JUNE 19	Date:	DO NOT SCALE

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email: hga@hagagroup.co.uk

Drawing No. <b>3440:105/02</b>	Revision <b>D</b>
-----------------------------------	----------------------



- KEY**
- EXISTING FOUL SEWER TO BE REMOVED
  - - - - - EXISTING FOUL SEWER
  - EXISTING FOUL MANHOLE
  - PROPOSED FOUL MANHOLE
  - EXISTING STORM SEWER
  - EXISTING STORM MANHOLE
  - PROPOSED SIDE INLET GULLY & 1500 TAIL
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Drawing No. <b>3440:105/03</b>		Revision <b>D</b>
Revisions	Date	Drn.
A SUDS BASIN & END OF ROAD 6 REVISED	20.11.19	MC
B FOUL & BASIN DETAILS ADDED	04.02.20	MC
C SUDS AND DRAINAGE DESIGN REVISED TO INCORPORATE T.H.C COMMENTS AND TO MATCH CURRENT ARCHITECTS LAYOUT	11.05.20	MC
D LAYOUT REVISED TO MATCH BSC	08.06.20	MC

**APPROVAL  
DRAWING**

**TULLOCH HOMES LTD**

**DRUIDS TEMPLE**

**DRAINAGE LAYOUT  
SHEET 3 OF 3**

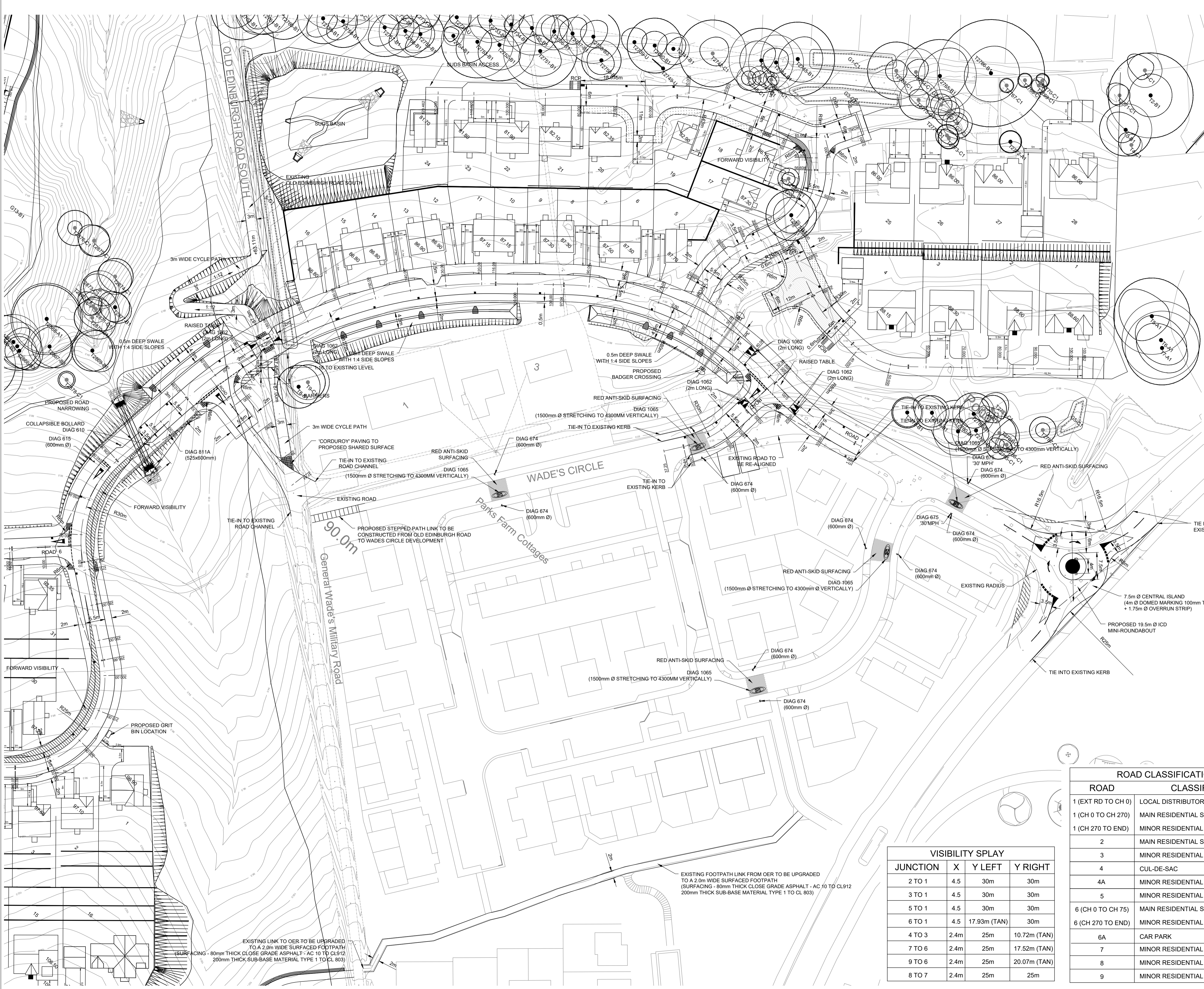
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Date: JUNE 19	Date:	DO NOT SCALE

consulting engineers

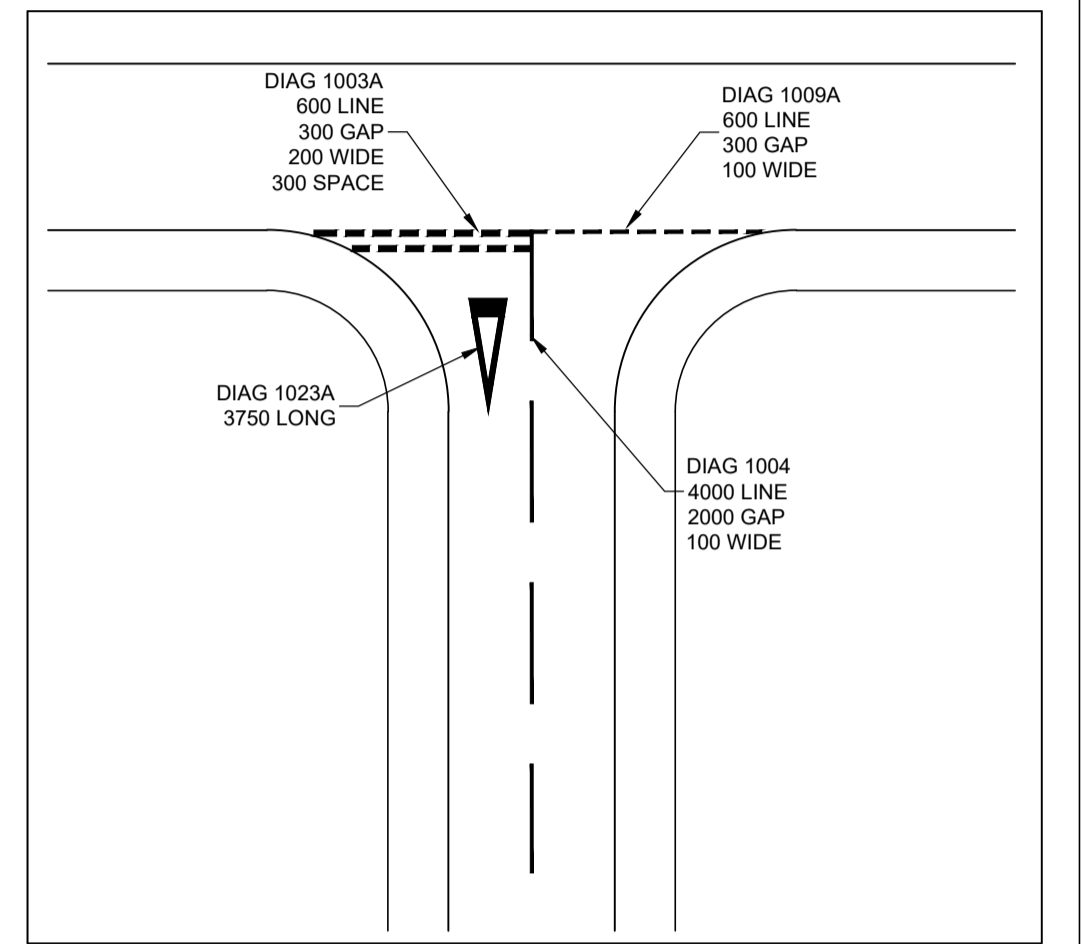
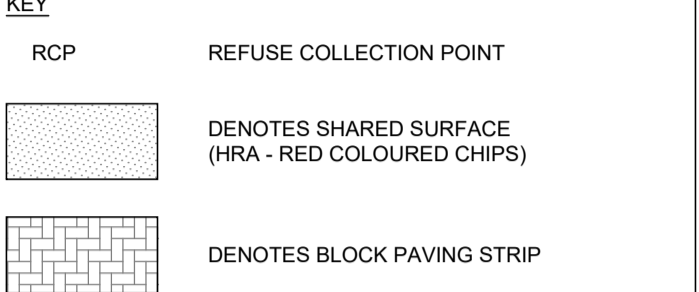
**hga**

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Drawing No. <b>3440:105/03</b>		Revision <b>D</b>
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- NOTES
- ALL ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH MCDHW VOL. 1 SPECIFICATION FOR HIGHWAY WORKS.
  - DESIGN SPEED AND STOPPING SITE DISTANCE
    - MAIN RESIDENTIAL STREET 20 mph / 25 m
    - MINOR RESIDENTIAL STREET 15 mph / 17 m (Note: ALL FORWARD VISIBILITY WITHIN ROAD ENVELOPE)
  - REFER TO DRAWING 3440-102 FOR ROAD LONGITUDINAL SECTIONS.
  - REFER TO DRAWING 3440-103 FOR ROAD CONSTRUCTION DETAILS.
  - ALL DRIVEWAYS TO BE PROFILED TO SHED RUN OFF TO GARDENS AND ENSURE NO RUN OFF TO ADOPTABLE ROAD.



TYPICAL JUNCTION DETAIL  
SCALE 1:250

Drawing No.	3440:101/01	Revision	H
Revisions	Date	Dwn.	
A LAYOUT REVISED.	25.09.19	MC	
B SUDS BASIN & END OF ROAD 6 REVISED	20.11.19	MC	
C T.H.C COMMENTS INCORPORATED.	12.02.20	MC	
D BLOCK PAVING ADDED TO SHARED SURFACE ENTRY BOLLARDS REMOVED FROM EMERGENCY ACCESS ENTRANCE	14.02.20	MC	
E LAYOUT REVISED TO INCORPORATE COMMENTS FROM T.H.C. REVISED TO MATCH CURRENT BSC LAYOUT.	12.05.20	MC	
F T.H.C COMMENTS INCORPORATED	05.06.20	MC	
G T.H.C COMMENTS INCORPORATED	05.07.20	MC	
H BADGER CROSSING ADDED AT ROAD 1	13.07.20	MC	

**APPROVAL DRAWING**

**TULLOCH HOMES LTD**

**DRUIDS TEMPLE**

**ROAD LAYOUT SHEET 1 OF 3**

Drawn: MC	Ck'd: T.H.C.	Scale: 1:500 @ A1
Date: MAY 19	Date:	DO NOT SCALE

Drawing No.	3440:101/01	Revision	H
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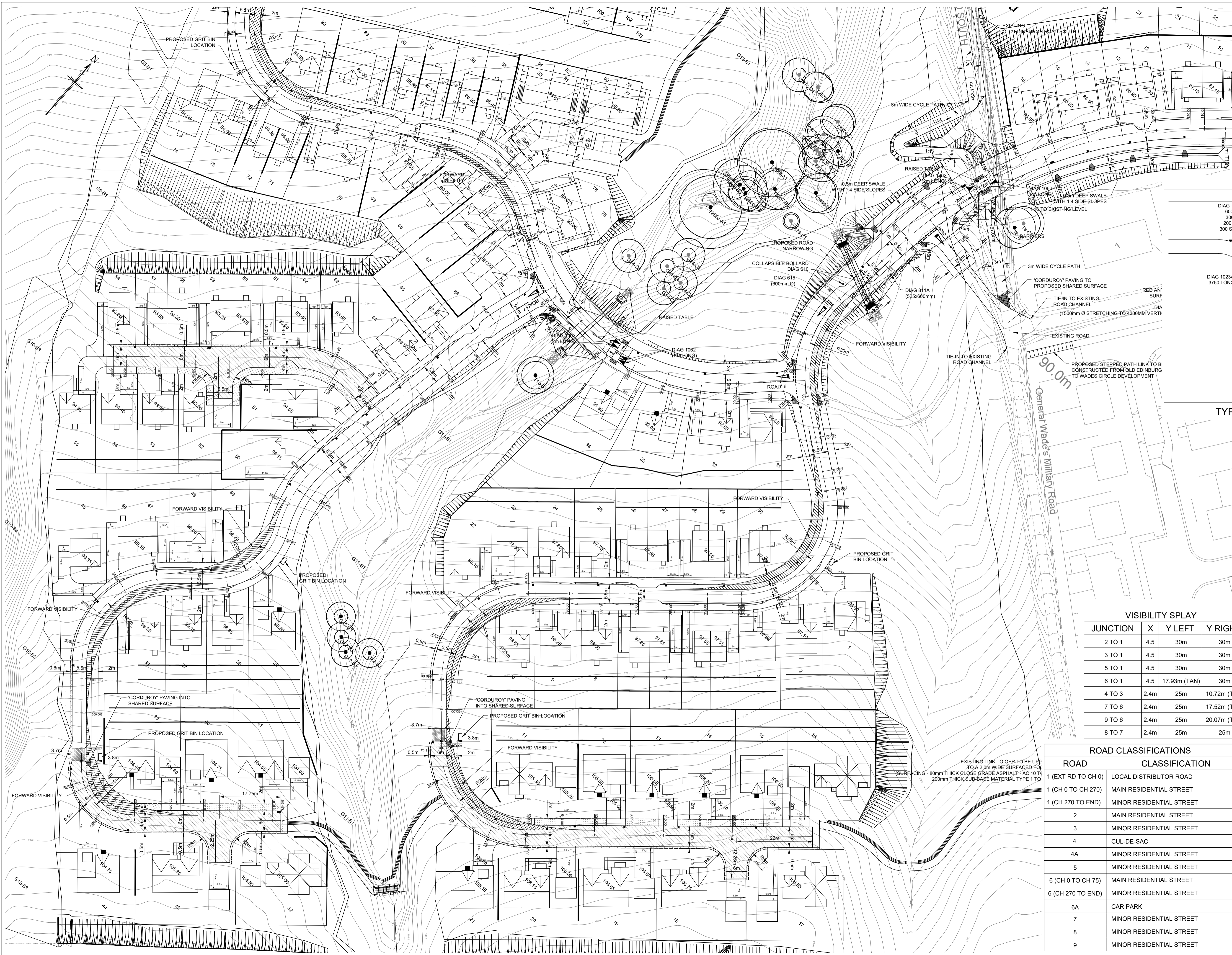
ROAD	CLASSIFICATION
1 (EXT RD TO CH 0)	LOCAL DISTRIBUTOR ROAD
1 (CH 0 TO CH 270)	MAIN RESIDENTIAL STREET
1 (CH 270 TO END)	MINOR RESIDENTIAL STREET
2	MAIN RESIDENTIAL STREET
3	MINOR RESIDENTIAL STREET
4	CUL-DE-SAC
4A	MINOR RESIDENTIAL STREET
5	MINOR RESIDENTIAL STREET
6 (CH 0 TO CH 75)	MAIN RESIDENTIAL STREET
6 (CH 270 TO END)	MINOR RESIDENTIAL STREET
6A	CAR PARK
7	MINOR RESIDENTIAL STREET
8	MINOR RESIDENTIAL STREET
9	MINOR RESIDENTIAL STREET

VISIBILITY SPLAY				
JUNCTION	X	Y LEFT	Y RIGHT	
2 TO 1	4.5	30m	30m	
3 TO 1	4.5	30m	30m	
5 TO 1	4.5	30m	30m	
6 TO 1	4.5	17.93m (TAN)	30m	
4 TO 3	2.4m	25m	10.72m (TAN)	
7 TO 6	2.4m	25m	17.52m (TAN)	
9 TO 6	2.4m	25m	20.07m (TAN)	
8 TO 7	2.4m	25m	25m	

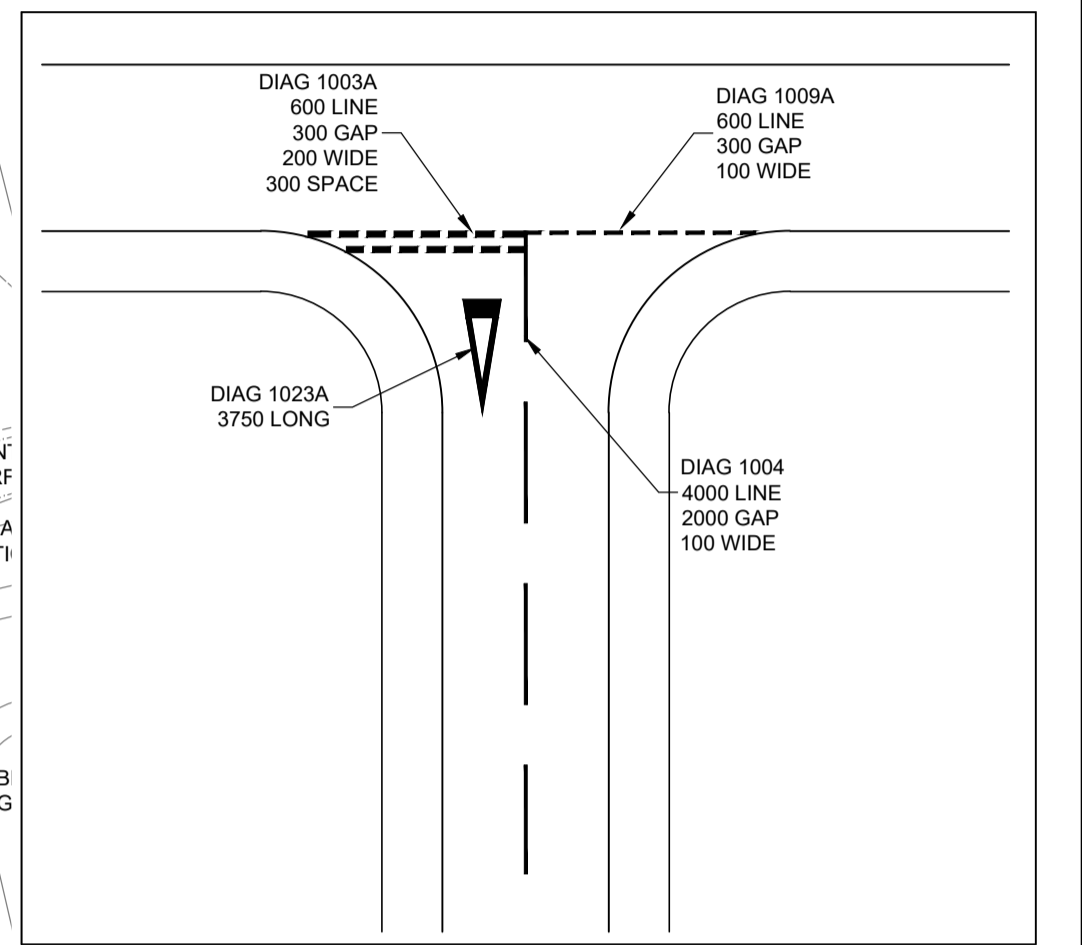
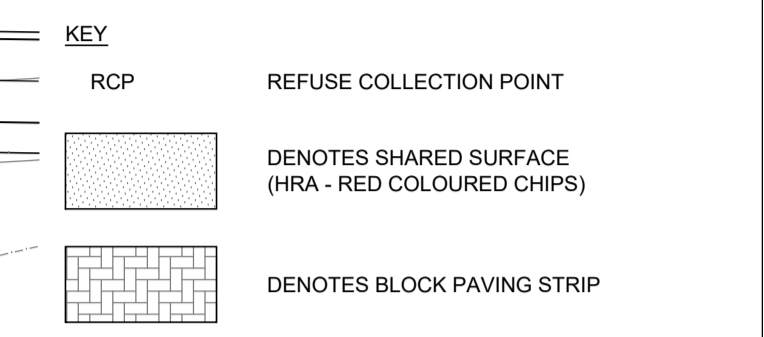
EXISTING FOOTPATH LINK FROM OER TO BE UPGRADED TO A 2.0m WIDE SURFACED FOOTPATH (SURFACING - 80mm THICK CLOSE GRADE ASPHALT - AC 10 TO CL912 200mm THICK SUB-BASE MATERIAL TYPE 1 TO CL 803)

EXISTING LINK TO OER TO BE UPGRADED TO A 2.0m WIDE SURFACED FOOTPATH (SURFACING - 80mm THICK CLOSE GRADE ASPHALT - AC 10 TO CL912 200mm THICK SUB-BASE MATERIAL TYPE 1 TO CL 803)





- NOTES**
- ALL ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH MCDHW VOL. 1 SPECIFICATION FOR HIGHWAY WORKS.
  - DESIGN SPEED AND STOPPING SITE DISTANCE
    - MAIN RESIDENTIAL STREET 20 mph / 25 m
    - MINOR RESIDENTIAL STREET 15 mph / 17 m (Note: ALL FORWARD VISIBILITY WITHIN ROAD ENVELOPE)
  - REFER TO DRAWING 3440:102 FOR ROAD LONGITUDINAL SECTIONS.
  - REFER TO DRAWING 3440:103 FOR ROAD CONSTRUCTION DETAILS.
  - ALL DRIVEWAYS TO BE PROFILED TO SHED RUN OFF TO GARDENS AND ENSURE NO RUN OFF TO ADOPTABLE ROAD.



**TYPICAL JUNCTION DETAIL**  
SCALE 1:250

**VISIBILITY SPLAY**

JUNCTION	X	Y LEFT	Y RIGHT
2 TO 1	4.5	30m	30m
3 TO 1	4.5	30m	30m
5 TO 1	4.5	30m	30m
6 TO 1	4.5	17.93m (TAN)	30m
4 TO 3	2.4m	25m	10.72m (TAN)
7 TO 6	2.4m	25m	17.52m (TAN)
9 TO 6	2.4m	25m	20.07m (TAN)
8 TO 7	2.4m	25m	25m

**ROAD CLASSIFICATIONS**

ROAD	CLASSIFICATION
1 (EXT RD TO CH 0)	LOCAL DISTRIBUTOR ROAD
1 (CH 0 TO CH 270)	MAIN RESIDENTIAL STREET
1 (CH 270 TO END)	MINOR RESIDENTIAL STREET
2	MAIN RESIDENTIAL STREET
3	MINOR RESIDENTIAL STREET
4	CUL-DE-SAC
4A	MINOR RESIDENTIAL STREET
5	MINOR RESIDENTIAL STREET
6 (CH 0 TO CH 75)	MAIN RESIDENTIAL STREET
6 (CH 270 TO END)	MINOR RESIDENTIAL STREET
6A	CAR PARK
7	MINOR RESIDENTIAL STREET
8	MINOR RESIDENTIAL STREET
9	MINOR RESIDENTIAL STREET

Drawing No. **3440:101/02** Revision **H**

Revisions	Date	Drn.
A LAYOUT REVISED.	25.09.19	MC
B SUDS BASIN & END OF ROAD 6 REVISED	20.11.19	MC
C T.H.C COMMENTS INCORPORATED.	12.02.20	MC
D BLOCK PAVING ADDED TO SHARED SURFACE ENTRY BOLLARDS REMOVED FROM EMERGENCY ACCESS ENTRANCE	14.02.20	MC
E LAYOUT REVISED TO INCORPORATE COMMENTS FROM T.H.C. REVISED TO MATCH CURRENT BSC LAYOUT.	12.05.20	MC
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G T.H.C COMMENTS INCORPORATED	05.07.20	MC
H BADGER CROSSING ADDED AT ROAD 1	13.07.20	MC

**APPROVAL DRAWING**

**TULLOCH HOMES LTD**

**DRUIDS TEMPLE**

**ROAD LAYOUT SHEET 2 OF 3**

Drawn: MC	Ck'd: Scale: 1:500 @ A1
Date: MAY 19	Date: DO NOT SCALE

consulting engineers **hga**

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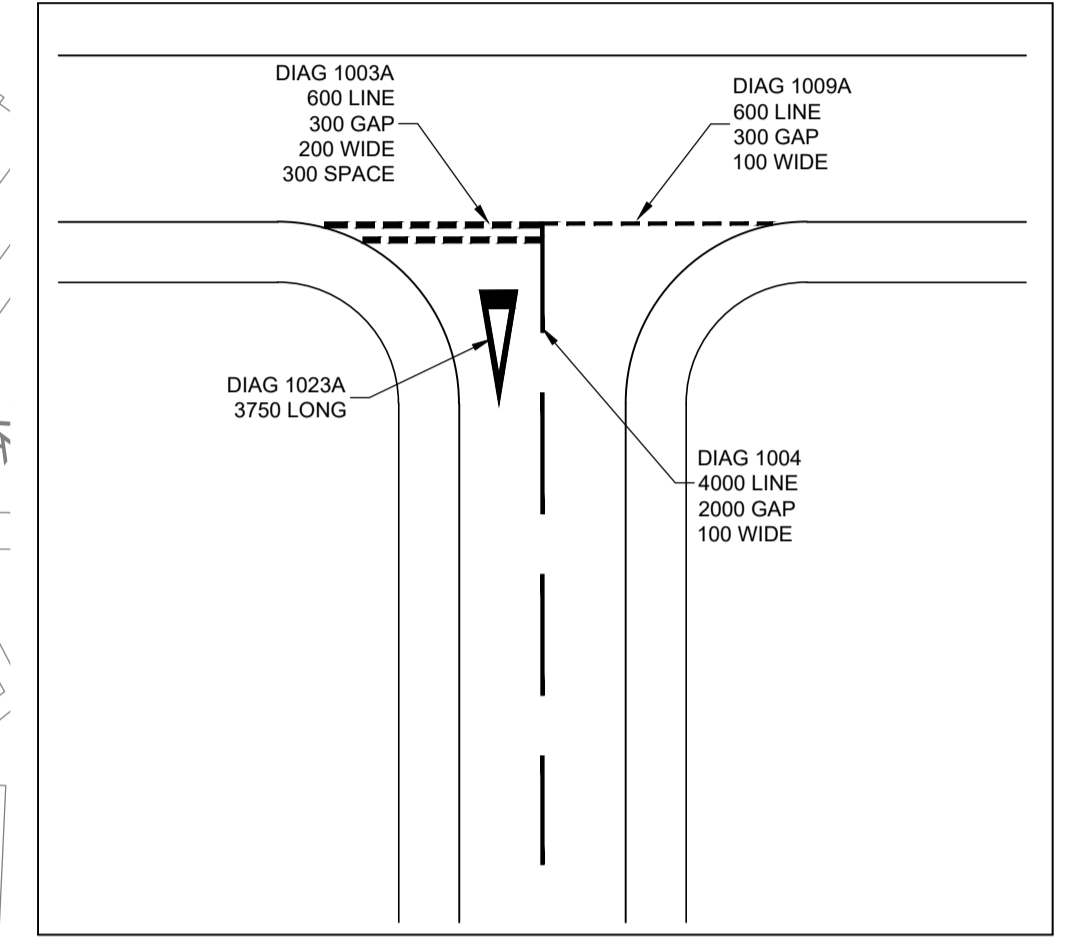
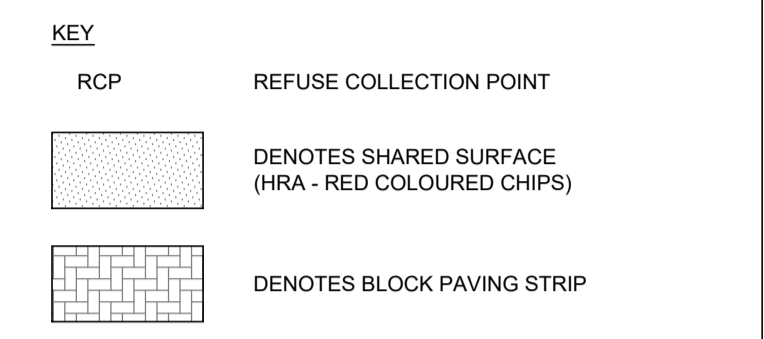
Drawing No. **3440:101/02** Revision **H**



ROAD CLASSIFICATIONS	
ROAD	CLASSIFICATION
1 (EXT RD TO CH 0)	LOCAL DISTRIBUTOR ROAD
1 (CH 0 TO CH 270)	MAIN RESIDENTIAL STREET
1 (CH 270 TO END)	MINOR RESIDENTIAL STREET
2	MAIN RESIDENTIAL STREET
3	MINOR RESIDENTIAL STREET
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4A	MINOR RESIDENTIAL STREET
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6 (CH 0 TO CH 75)	MAIN RESIDENTIAL STREET
6 (CH 270 TO END)	MINOR RESIDENTIAL STREET
6A	CAR PARK
7	MINOR RESIDENTIAL STREET
8	MINOR RESIDENTIAL STREET
9	MINOR RESIDENTIAL STREET

VISIBILITY SPLAY			
JUNCTION	X	Y LEFT	Y RIGHT
2 TO 1	4.5	30m	30m
3 TO 1	4.5	30m	30m
5 TO 1	4.5	30m	30m
6 TO 1	4.5	17.93 (TAN)	30m
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7 TO 6	2.4m	25m	17.52m (TAN)
9 TO 6	2.4m	25m	20.07m (TAN)
8 TO 7	2.4m	25m	25m

- NOTES
- ALL ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH MCDHW VOL. 1 SPECIFICATION FOR HIGHWAY WORKS.
  - DESIGN SPEED AND STOPPING SITE DISTANCE
    - MAIN RESIDENTIAL STREET 20 mph / 25 m
    - MINOR RESIDENTIAL STREET 15 mph / 17 m
 (Note: ALL FORWARD VISIBILITY WITHIN ROAD ENVELOPE)
  - REFER TO DRAWING 3440:102 FOR ROAD LONGITUDINAL SECTIONS.
  - REFER TO DRAWING 3440:103 FOR ROAD CONSTRUCTION DETAILS.
  - ALL DRIVEWAYS TO BE PROFILED TO SHED RUN OFF TO GARDENS AND ENSURE NO RUN OFF TO ADOPTABLE ROAD.



TYPICAL JUNCTION DETAIL  
SCALE 1:250

Drawing No. <b>3440:101/03</b>	Revision <b>H</b>	
Revisions	Date	Drn.
A LAYOUT REVISED.	25.09.19	MC
B SUDS BASIN & END OF ROAD 6 REVISED	20.11.19	MC
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**APPROVAL DRAWING**

**TULLOCH HOMES LTD**

**DRUIDS TEMPLE**

**ROAD LAYOUT SHEET 3 OF 3**

Drawn: MC	Ck'd:	Scale: 1:500 @ A1
Date: MAY 19	Date:	DO NOT SCALE



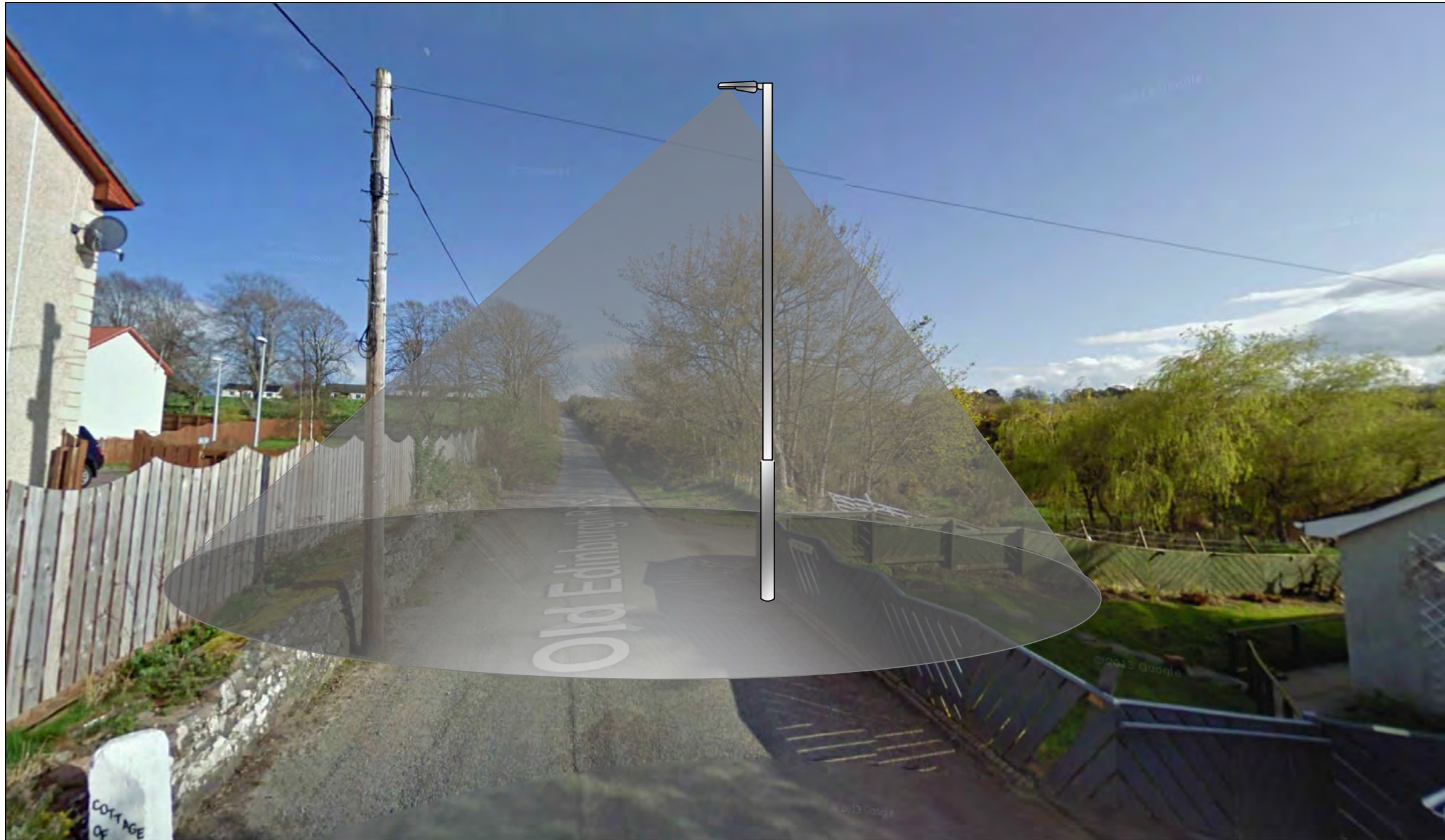
Drawing No. <b>3440:101/03</b>	Revision <b>H</b>
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0.5m DEEP SW. WITH 1:4 SIDE SLOPES  
PRC BADGER CRX

RED ANTI-SKID SURF (1500mm Ø STRETCHING TO 4300MM VERTICALLY)

TIE-IN TO EXISTING KERB

WADE'S CIRCLE



The image depicts an indicative light cast from the proposed street lighting lamp heads. The lamp head has been selected to provide a low energy, directional beam with a dimming option.

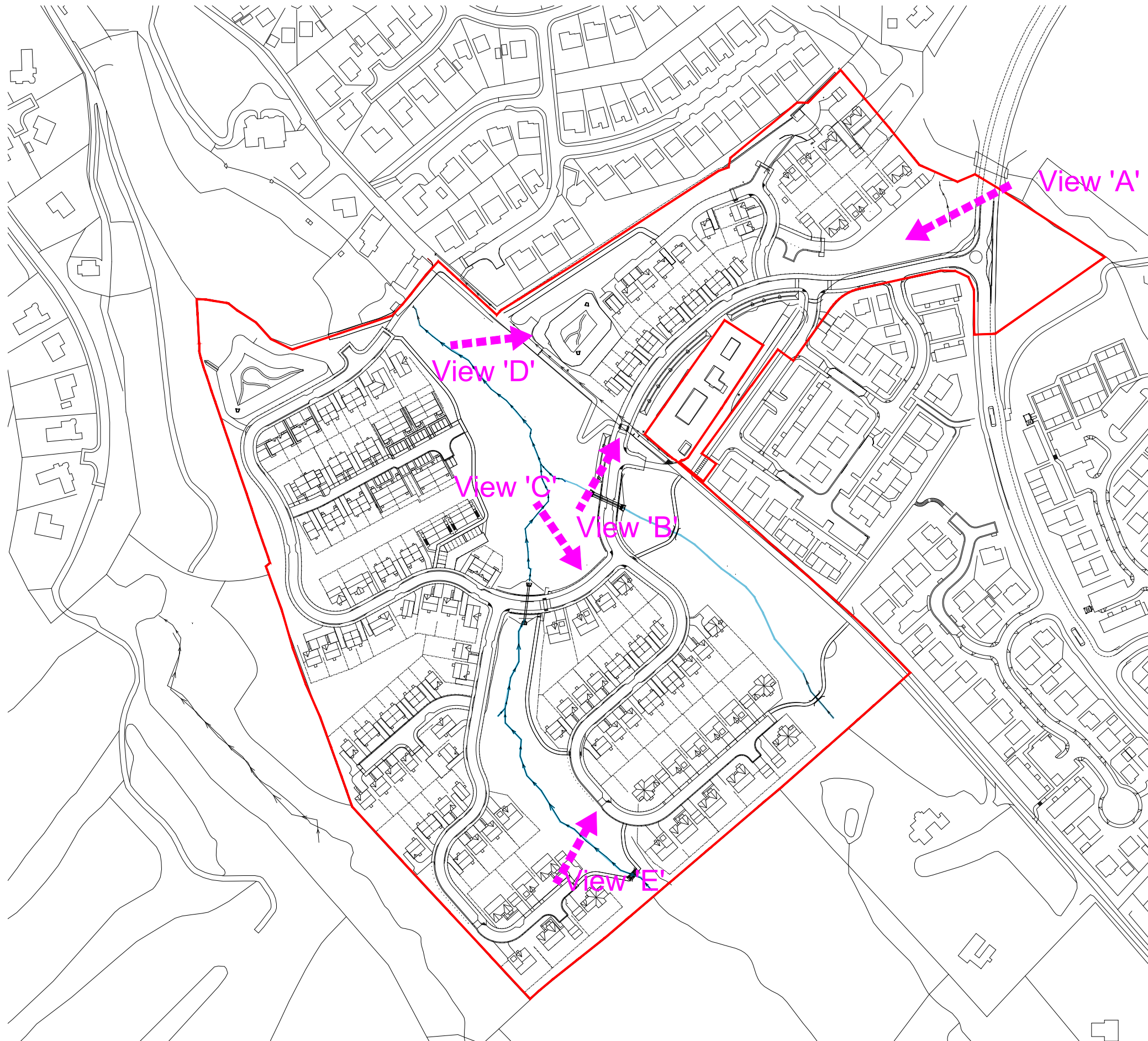
The image identifies the approximate spread of light to a level of 1lux, which is approximated to deep twilight level.

**Bracewell Stirling** CONSULTING

38 WALKER TERRACE, TILlicOLTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING DEVELOPMENT  
 DRUIDS TEMPLE (IN50)  
 TULLOCH HOMES LTD  
 OLD EDINBURGH ROAD  
 INDICATIVE STREET LIGHTING

SCALE:	nts	DRAWN:	-
PAPER SIZE:	A3	DATE:	Aug 2020
DWG No.	4312 / 02 / 100	REV.	-



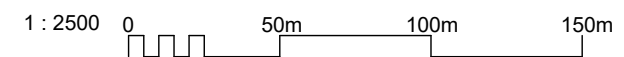
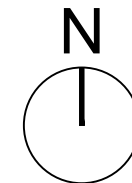
REV	DATE	DESCRIPTION	DRN

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 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID TEMPLE, INVERNESS (IN50)  
 TULLOCH HOMES LTD

DEVELOPMENT VIEW LOCATOR



SCALE:	1 : 2500	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2020
DWG No.	4312-01-902	REV.	A



REV	DATE	DESCRIPTION	DRN
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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID TEMPLE, INVERNESS (IN50)  
 TULLOCH HOMES LTD

---

DEVELOPMENT VIEW 'A'

SCALE:	NTS	DRAWN:	--
PAPER SIZE:	A3	DATE:	Aug 2020
DWG No.	4312-01-910		REV.



REV	DATE	DESCRIPTION	DRN
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 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID TEMPLE, INVERNESS (IN50)  
 TULLOCH HOMES LTD

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DEVELOPMENT VIEW 'B'

SCALE:	NTS	DRAWN:	--
PAPER SIZE:	A3	DATE:	Aug 2020
DWG No.	4312-01-911		REV.



REV	DATE	DESCRIPTION	DRN
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## Bracewell Stirling CONSULTING

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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID TEMPLE, INVERNESS (IN50)  
 TULLOCH HOMES LTD

---

DEVELOPMENT VIEW 'C'

SCALE:	NTS	DRAWN:	--
PAPER SIZE:	A3	DATE:	Aug 2020
DWG No.	4312-01-912		REV.



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling CONSULTING**

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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID TEMPLE, INVERNESS (IN50)  
 TULLOCH HOMES LTD

---

DEVELOPMENT VIEW 'D'

SCALE:	NTS	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2020
DWG No.	4312-01-913		REV.





REV	DATE	DESCRIPTION	DRN
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**Bracewell Stirling CONSULTING**

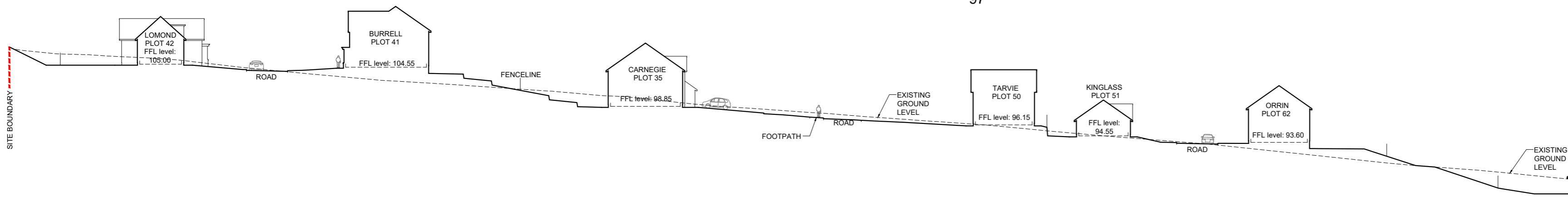
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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
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PROPOSED HOUSING AT  
 DRUID TEMPLE, INVERNESS (IN50)  
 TULLOCH HOMES LTD

---

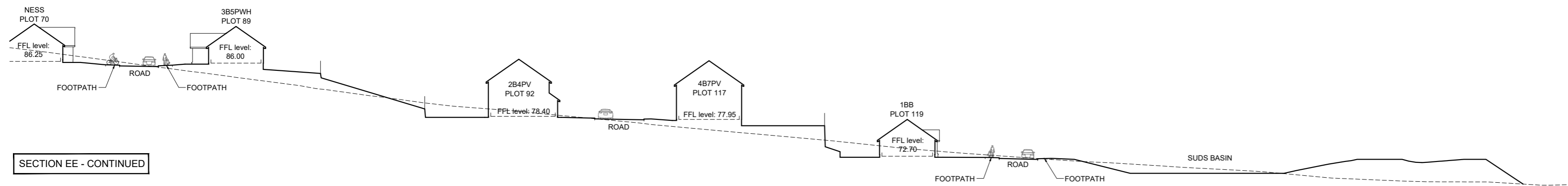
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DWG No.	4312-01-914		REV.



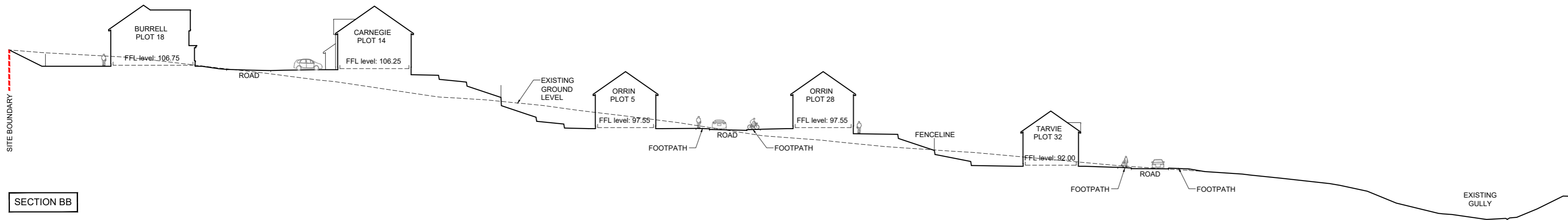
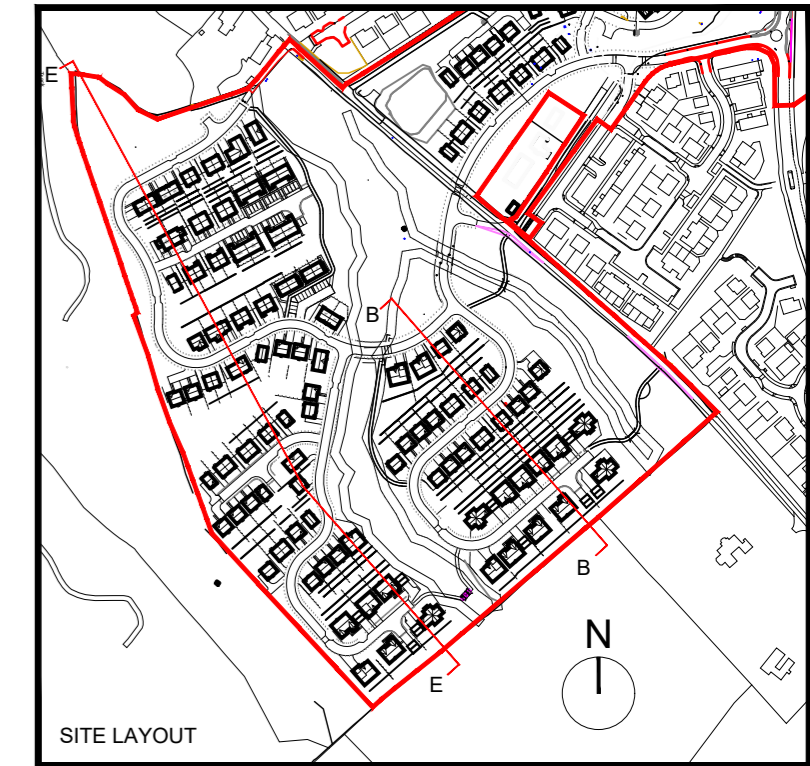
SECTION EE

DATUM 65.0



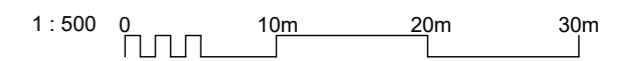
SECTION EE - CONTINUED

DATUM 65.0



SECTION BB

DATUM 80.0



REV	DATE	DESCRIPTION	DRN

**Bracewell Stirling** CONSULTING

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 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

SITE SECTIONS

SCALE:	1 : 500	DRAWN:	PL
PAPER SIZE:	A2	DATE:	Aug 2020
DWG No.	4312-01-800		REV.



Drawing No.	Revision
3440:203/01	D

Revisions	Date	Drn.
A F.F.L's & ROAD LEVELS ADDED.	29.08.19	MC
B SECTIONS UPDATED	31.10.19	MC
C SECTIONS REVISED	05.12.19	MC
D ALL SECTIONS UPDATED TO CURRENT LAYOUT AND SITE LEVELS	05.06.20	MC

**APPROVAL  
DRAWING**

**TULLOCH HOMES LTD**

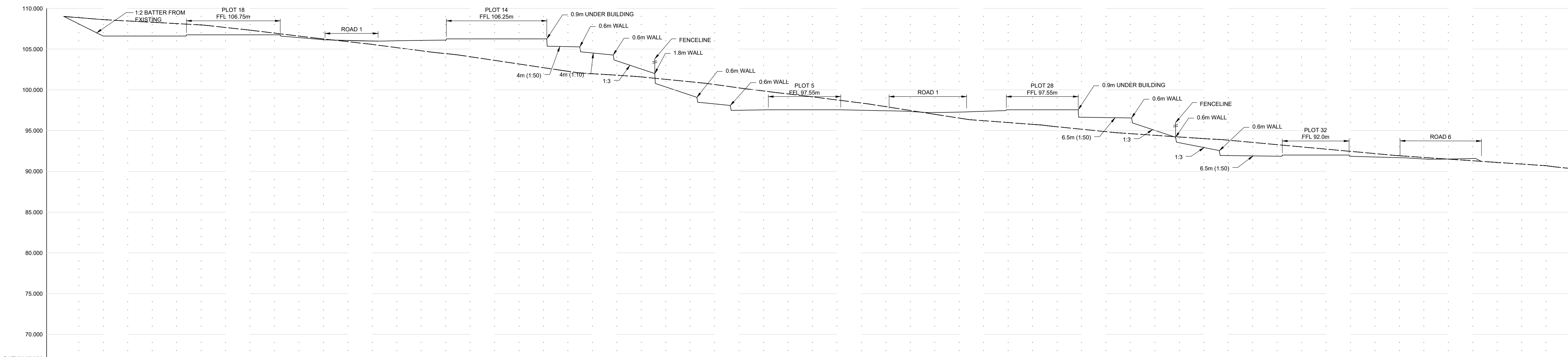
**DRUID'S TEMPLE  
INVERNESS**

**SITE SECTIONS  
SHEET 1**

Drawn:	CK'd:	Scale:
IAW		1:1000 (A1)
Date:	Date:	DO NOT SCALE
APR 19		

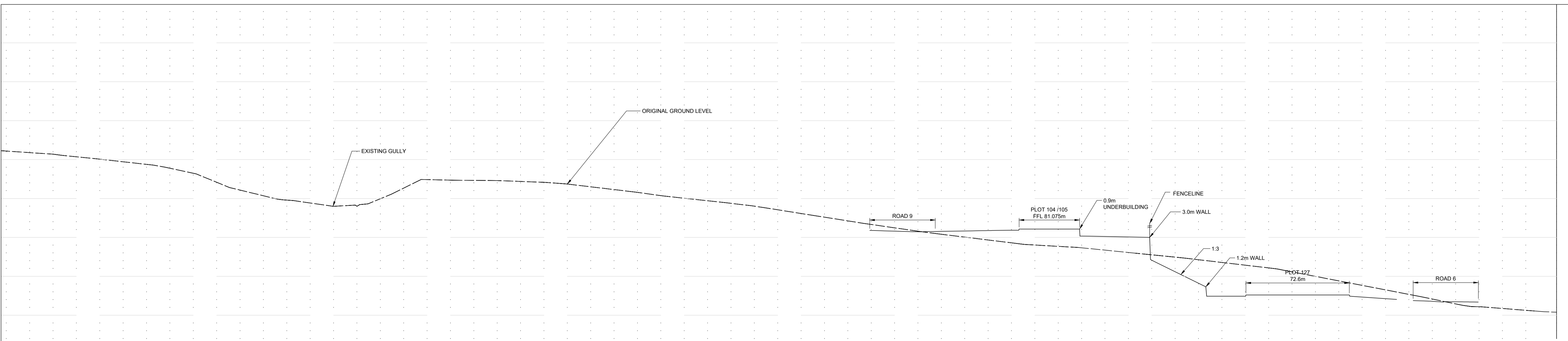

 consulting engineers  
 HGA(UK) Ltd  
 Darach House  
 Stonyfield Business Park  
 Inverness IV2 7PA  
 T: 01463 221717  
 F: 01463 224275  
 email: hga@hgagroup.co.uk

Drawing No.	Revision
3440:203/01	D



CHAINAGE	0.000	2.101	10.000	20.000	30.000	40.000	50.000	60.000	70.000	80.000	90.000	100.000	110.000	120.000	130.000	140.000	150.000	160.000	170.000	180.000
SURVEY LEVEL		109.013	108.450	107.886	106.491	105.964	104.344	102.865	101.784	100.889	99.615	98.375	96.837	95.834	94.886	94.146	93.382	92.448	91.654	90.956
DESIGN LEVEL		109.013	106.600	105.750	106.491	105.964	106.250	106.250	103.539	98.467	97.550	97.494	97.236	97.550	96.598	93.305	91.870	91.845	91.431	91.225

B



CHAINAGE	180.000	190.000	200.000	210.000	220.000	230.000	240.000	250.000	260.000	270.000	280.000	290.000	300.000	310.000	320.000	330.000	340.000	350.000	360.000	370.000	376.905	
SURVEY LEVEL	90.956	89.043	88.660	85.562	84.001	86.849	87.314	86.851	85.538	84.466	83.064	81.512	80.811	81.075	80.096	74.565	76.075	72.600	72.031	71.885	71.832	71.698
DESIGN LEVEL																						

Notes

Revisions	Date	Drn.	Revisions	Date	Drn.
A F.F.L's & ROAD LEVELS ADDED.	29.08.19	MC			
B SECTIONS UPDATED	31.10.19	MC			
C SECTIONS REVISED	05.12.19	MC			
D ALL SECTIONS UPDATED TO CURRENT LAYOUT AND SITE LEVELS	05.06.20	MC			

TULLOCH HOMES LTD

**APPROVAL DRAWING**

consulting engineers  
**hga**

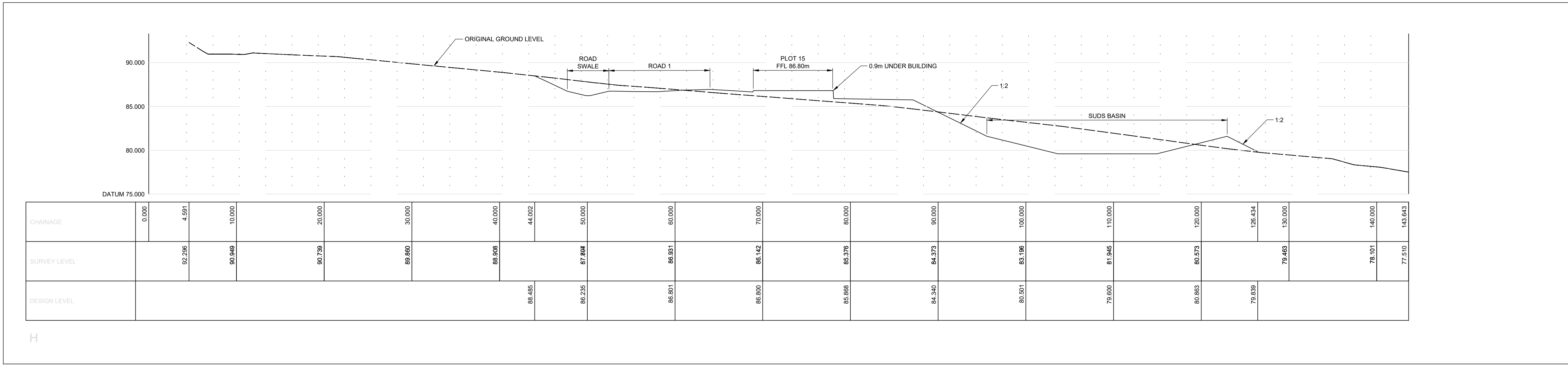
HGA(UK) Ltd  
Dorset House  
Stoneyfield Business Park  
Inverness IV2 7PA  
T: 01463 221717  
F: 01463 224275  
email: hga@hga-group.co.uk

DRUIDS TEMPLE  
INVERNESS

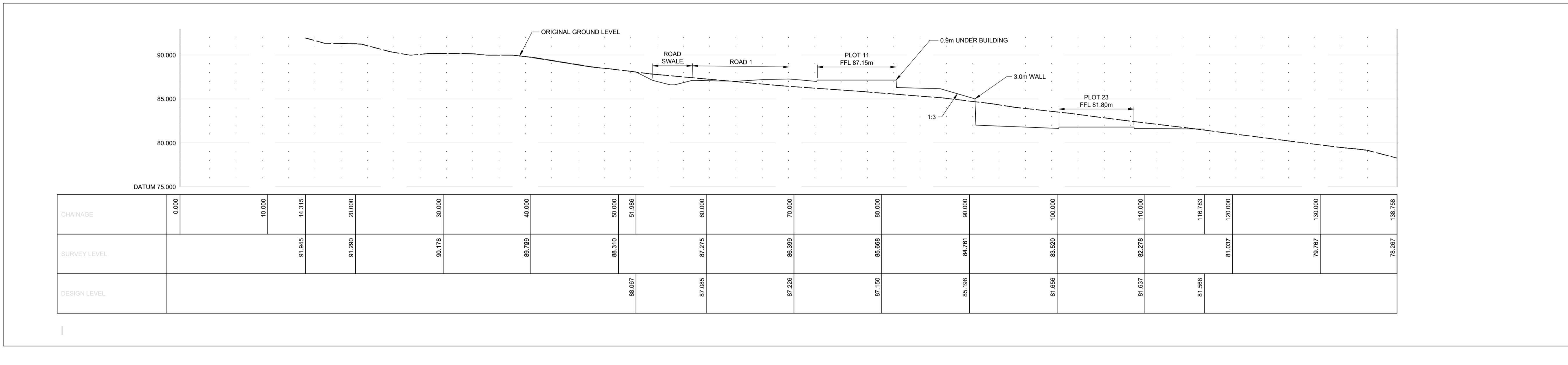
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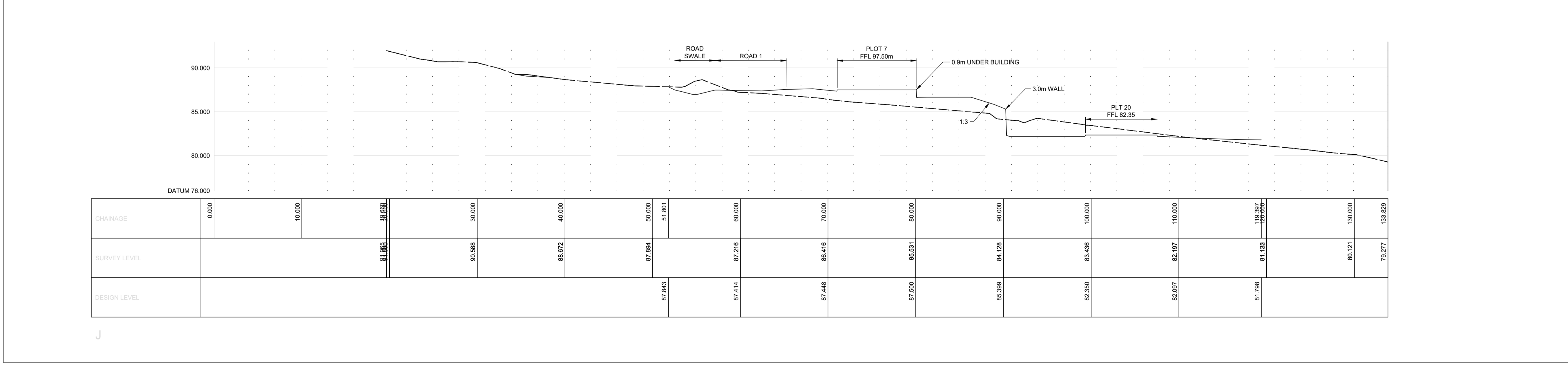
Drawing No. 3440:203/03 Revision D



H



I



J

Drawing No.		Revision	
3440:203/09		D	
Revisions	Date	Drm.	
A. F.F.L's & ROAD LEVELS ADDED.	29.08.19	MC	
B. SECTIONS UPDATED	31.10.19	MC	
C. SECTIONS REVISED	05.12.19	MC	
D. ALL SECTIONS UPDATED TO CURRENT LAYOUT AND SITE LEVELS	05.06.20	MC	

**APPROVAL  
DRAWING**

**TULLOCH HOMES LTD**

**DRUID'S TEMPLE  
INVERNESS**

**SITE SECTIONS  
SECTIONS H-H, I-I & J-J**

Drawn: IAW	Ck'd:	Scale: 1:250 (A1)
Date: APR 19	Date:	DO NOT SCALE

HGA(UK) Ltd  
Darach House  
Stoneyfield Business Park  
Inverness V2 7PA  
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email: hga@hgagroup.co.uk

Drawing No.		Revision	
3440:203/09		D	



- Legend**
- Application Boundary
  - \* Indicates houses with enhanced gables
  - - - Plot division fence
  - - - Screen fence
  - - - Screen wall
  - - - Retaining structures/wa

**Housing Mix: IN43**

<b>Bungalows:</b>		
Ne	Ness	-
Loy	Lochy	-
<b>Villas:</b>		
Or	Orrin	4
To	Torrin	6
Ca	Calder	2
3DV	Corner	3
Et	Etive	3
Ta	Tarvie	2

Car	Carnegie	4
Bur	Burrell	4
<b>Total</b>		<b>28</b>

\* Enhanced Gables

REV DATE DESCRIPTION DRN

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUlTRY, FK13 6EF 01259 750001  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

**PROPOSED HOUSING AT DRUID TEMPLE, INVERNESS (IN50)**  
 TULLOCH HOMES LTD

**PROPOSED LAYOUT IN43**

SCALE: 1:500 DRAWN: --  
 PAPER SIZE: A1 DATE: Jul 2020  
 DWG No. 4312-02-002 REV. P



Mix: IN50		
P.D.		
Alvie Cottage flat	8	
Bungalows:		
1BB 1 bed bung	6	
Ce Cedar	-	
Kg Kinglass	3	
Ne Ness	1	
Lo Lochy	1	
Villas:		
Or Orrin	10	
To Torrin	12	
Ca Calder	3	
3DV Corner	3	
Af Affric	-	
Et Etive	18	
Ta Tarvie	7	
4DV Corner	2	
Lom Lomond	4	
Car Carnegie	10	
Bur Burrell	6	
<b>Total</b>	<b>94</b>	

Mix: IN50		
Affordable		
Cottage flats:		
2BCF	8	
1BCF	8	
Bungalows:		
2BAM	1	
3B5PWCH	1	
Villas:		
2B4PV	8	
3B5PV	5	
5B8PV	1	
4B7PV	1	
<b>Total</b>	<b>33</b>	
<b>Overall Total</b>	<b>127</b>	

- Legend**
- Application Boundary
  - \* Indicates houses with enhanced gables
  - - - Plot division fence
  - Screen fence
  - Screen wall
  - Retaining structures/wa

**Bracewell Stirling CONSULTING**  
 38 WALKER TERRACE, TELLOCALITY, FK13 6EP 01239 750201  
 5 NISS BANK, INVERNESS, IV2 4JF 01462 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01831 359554

PROPOSED HOUSING AT  
 DRUID TEMPLE, INVERNESS (IN50)  
 TULLOCH HOMES LTD  
 PROPOSED LAYOUT IN50

SCALE: 1:50 DRAWN: —  
 PAPER SIZE: A0 DATE: Jul 2020  
 DWG No: 4312-02-003 REV: P

### Finishes Group 01 (Character Areas A1 & A2)

- 01 Precast basecourse and cills
- 02 Dry dash roughcast
- 03 uPVC windows
- 04 uPVC gutters and downpipes
- 05 Concrete roof tiles
- 06 Boarding detail (Hardie Plank or similar)
- 07 Front doors

- Grey colour
- White chip on white render  
White chip with coloured fleck (on corner/focal plots)
- Dark grey colour
- Black colour
- Anthracite colour
- Anthracite Grey  
Iron Grey (on corner/focal plots)  
EveningBlue (on focal plots)
- Anthracite and Burgundy

Typical house front elevation (Etive Type)

### Finishes Group 03 (Character Areas C1, C2 & C3)

- 01 Precast basecourse and cills
- 02 Dry dash roughcast
- 03 uPVC windows
- 04 uPVC gutters and downpipes
- 05 Concrete roof tiles
- 06 Boarding detail (Hardie Plank or similar)
- 07 Front doors

- Grey colour
- White chip on white render  
Buff chip on white render (on corner/focal plots)
- Dark grey colour
- Black colour
- Grey colour
- Grey Slate  
Iron Grey (on focal plots)  
Evening Blue (on corner/focal plots)
- Anthracite, Steel Blue and Dark Green

Typical house front elevation (Etive Type)

### Finishes Group 02 (Character Areas B1, B2 & B3)

- 01 Precast basecourse and cills
- 02 Dry dash roughcast
- 03 uPVC windows
- 04 uPVC gutters and downpipes
- 05 Concrete roof tiles
- 06 Boarding detail (Hardie Plank or similar)
- 07 Front doors

- Buff colour
- Buff chip on a white render
- Dark grey colour
- Black colour
- Grey colour
- Monterey Taupe  
Anthracite Grey (on corner/focal plots)
- Anthracite, Burgundy or Steel Blue

Typical house front elevation (Etive Type)

REV	DATE	DESCRIPTION	DRN
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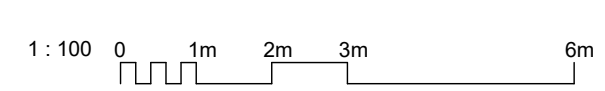
## Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

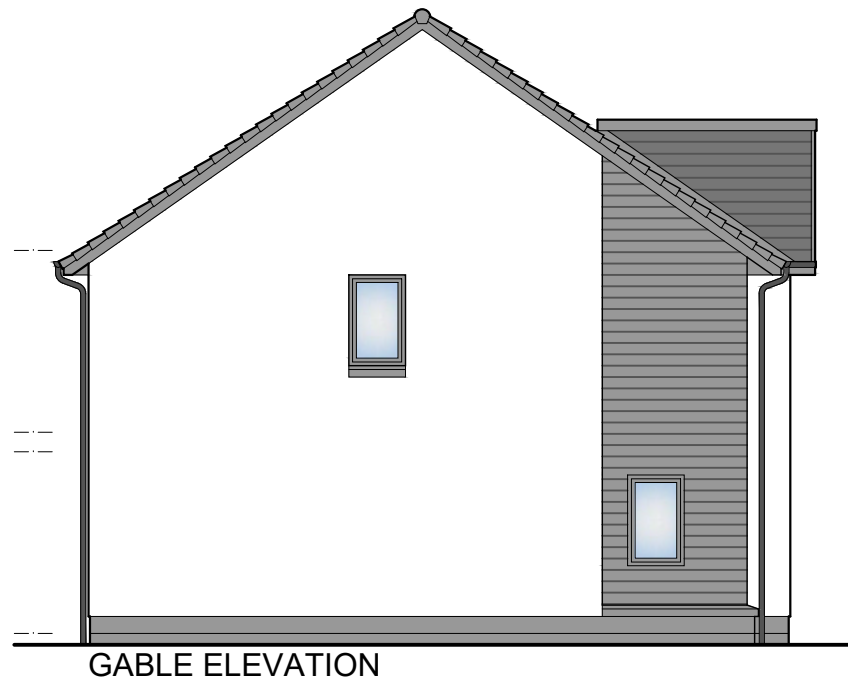
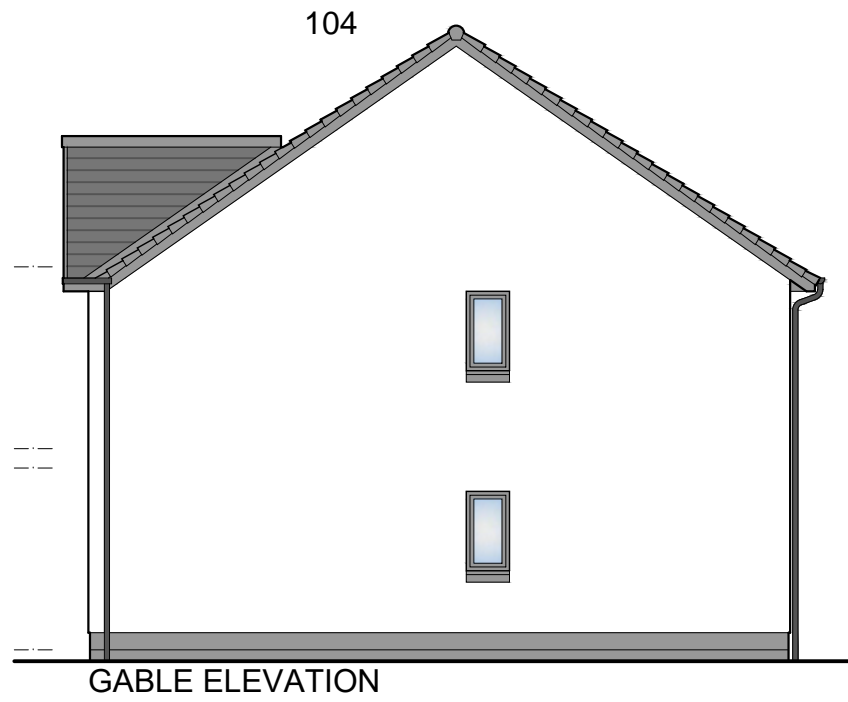
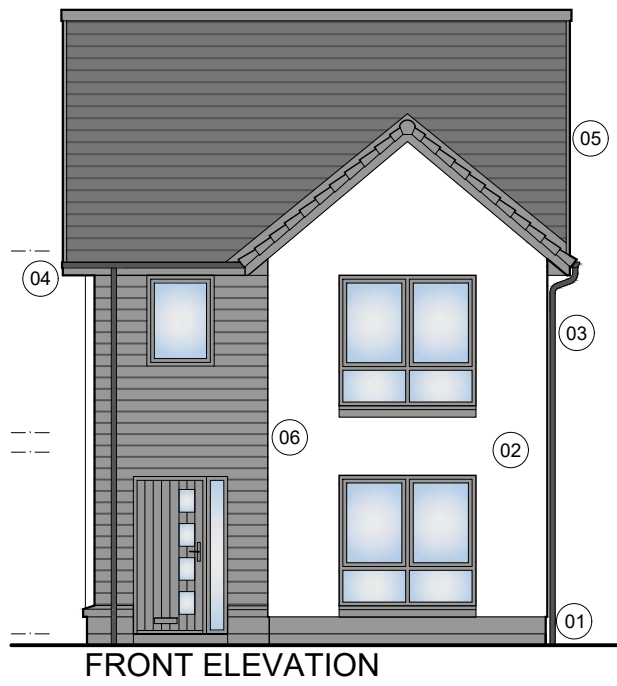
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EXTERNAL FINISHES STYLES



SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Jul 2020
DWG No.	4312-01-900		REV.





- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

REV	DATE	DESCRIPTION	DRN
A	May20	Cladding amended.	PL

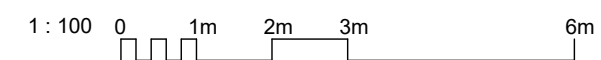
## Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

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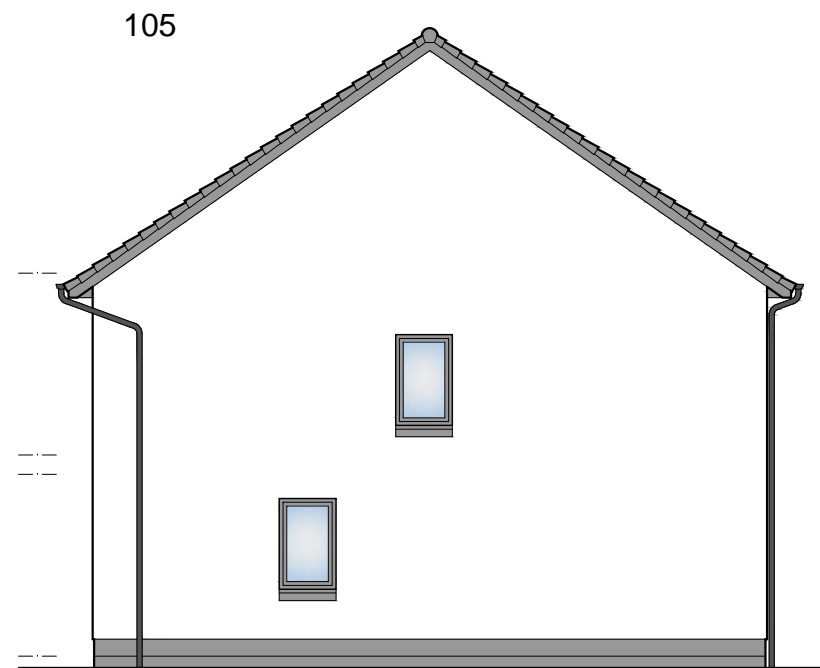
ELEVATIONS - CALDER DETACHED



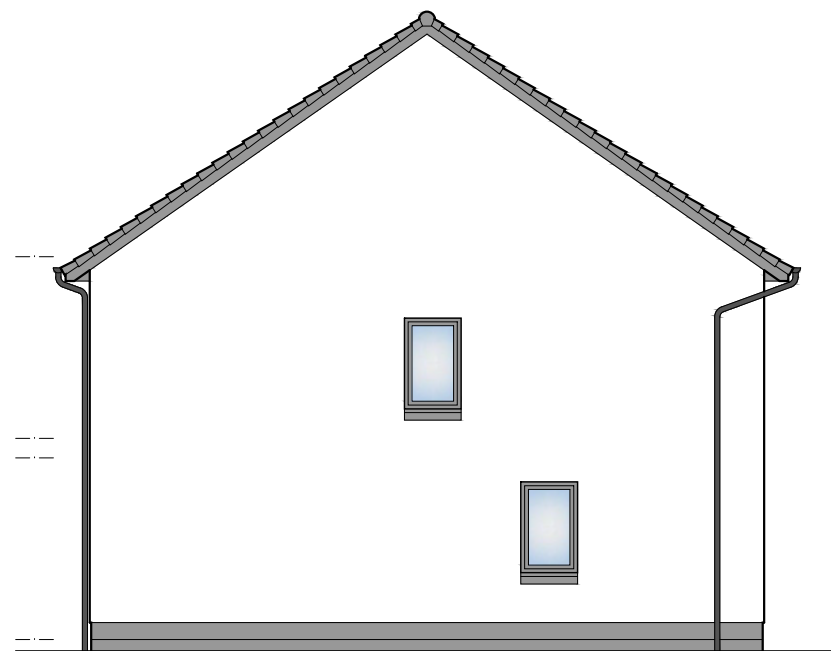
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PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-121	REV.	A



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

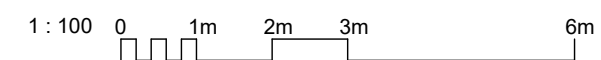
REV	DATE	DESCRIPTION	DRN

## Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

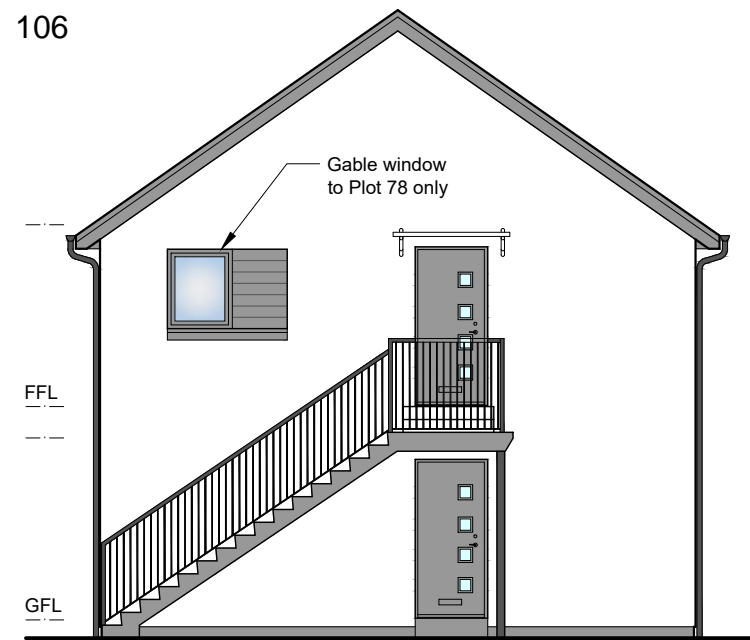
ELEVATIONS - TORRIN SEMI



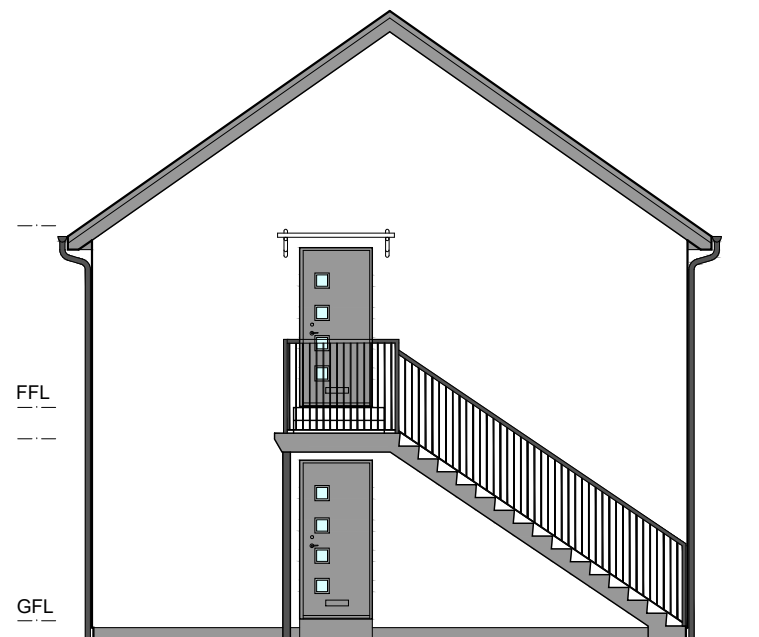
SCALE:	1 : 100	DRAWN:	PL
PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-111		REV.



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION

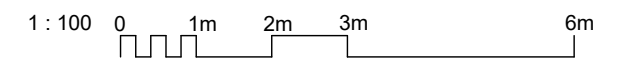


IMAGE 1 - FRONT PERSPECTIVE



IMAGE 2 - REAR PERSPECTIVE

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	DRN

## Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

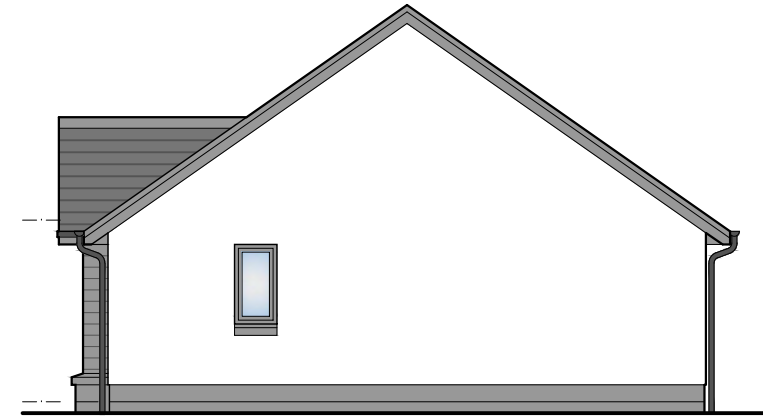
PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - ALVIE COTTAGE FLATS

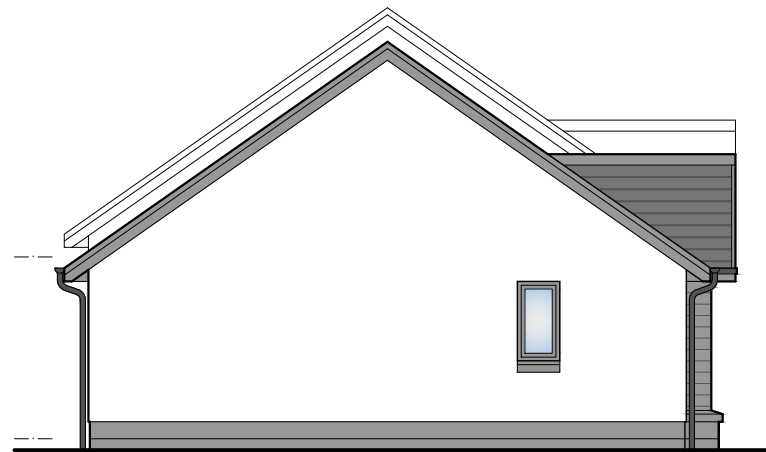
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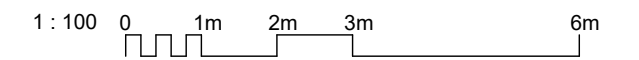
FRONT ELEVATION



- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



REAR ELEVATION



REV	DATE	DESCRIPTION	DRN



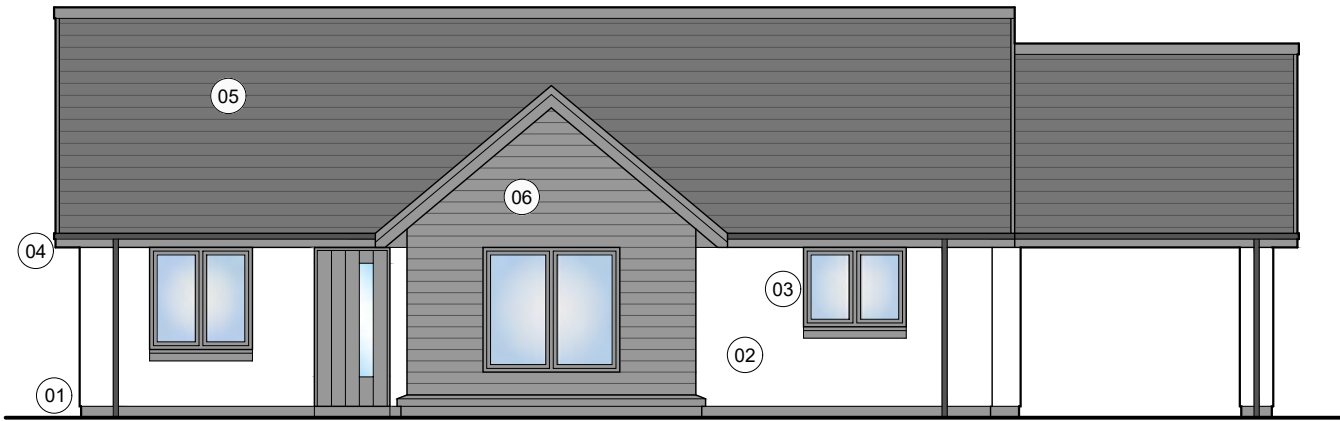
**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

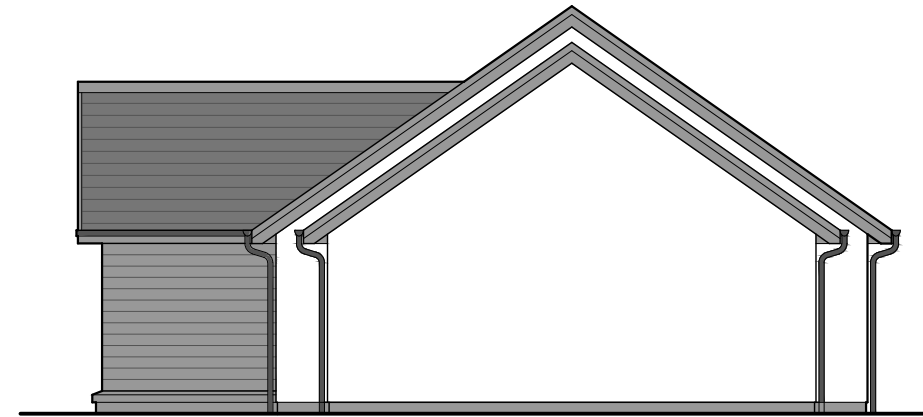
PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - 1SB 49

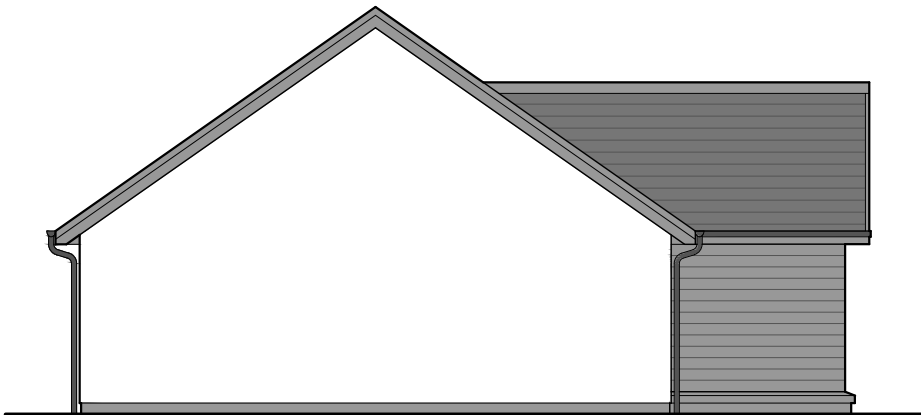
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PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-241		REV.



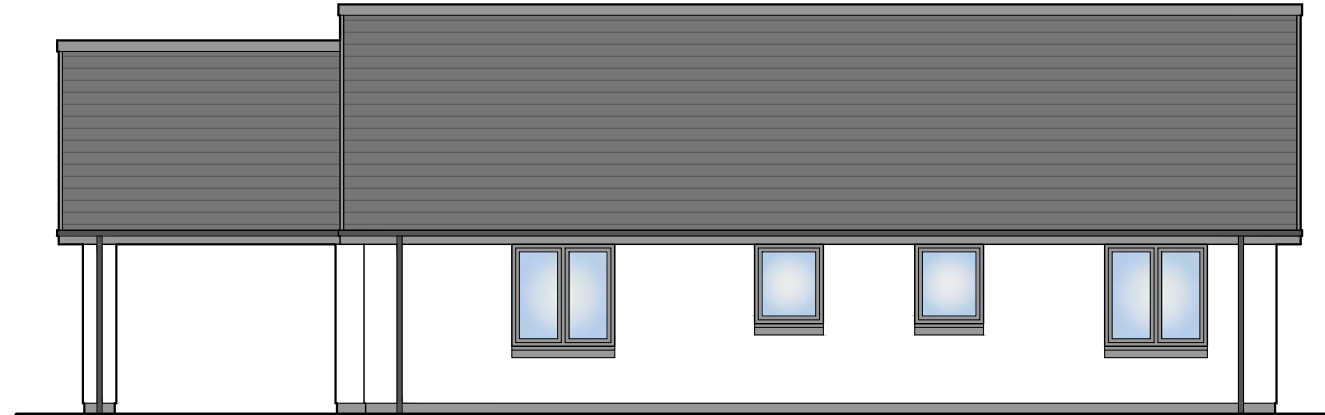
FRONT ELEVATION



GABLE ELEVATION

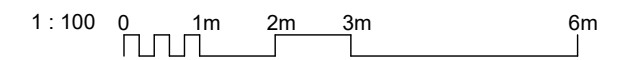


GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule



A	Jun'20	House type handed	PL
REV	DATE	DESCRIPTION	DRN

## Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OLAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - 3B5P WHEELCHAIR  
 BUNGALOW

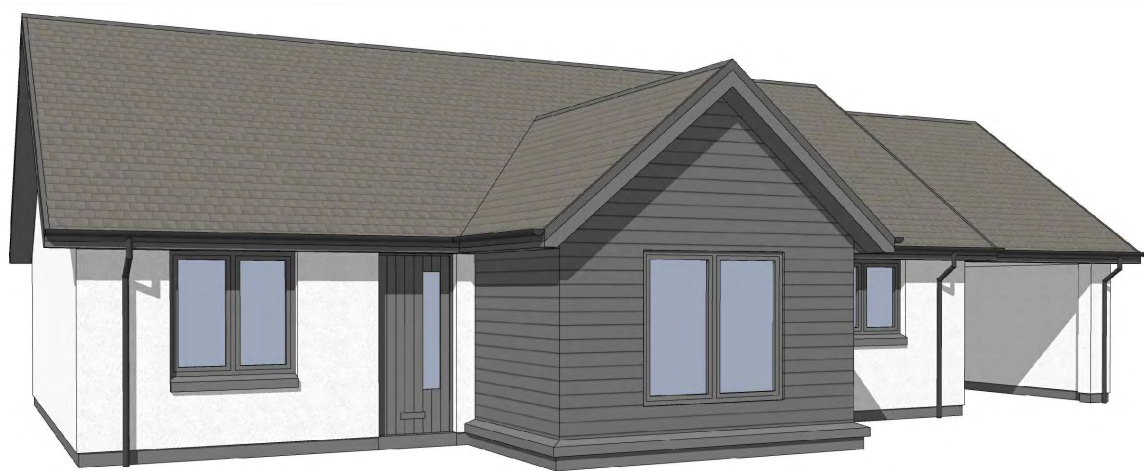


IMAGE 1 - FRONT PERSPECTIVE

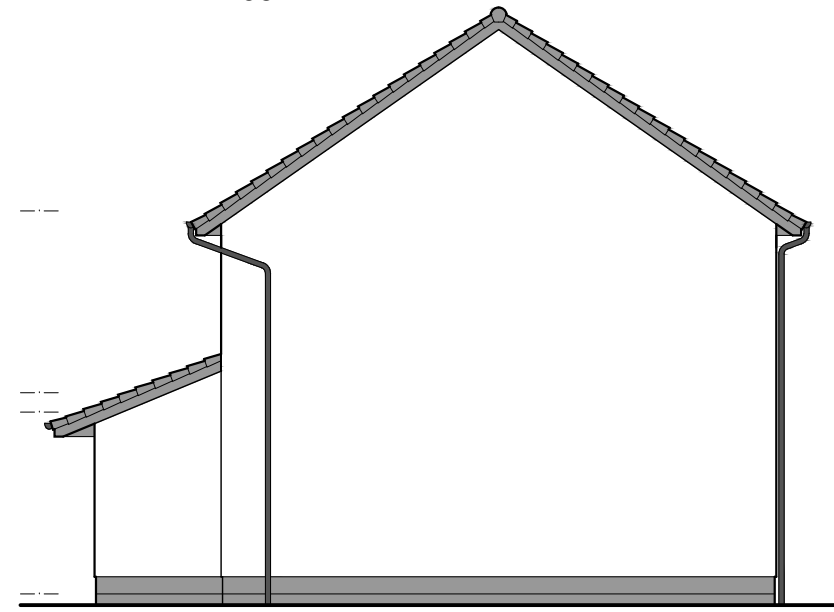


IMAGE 2 - REAR PERSPECTIVE

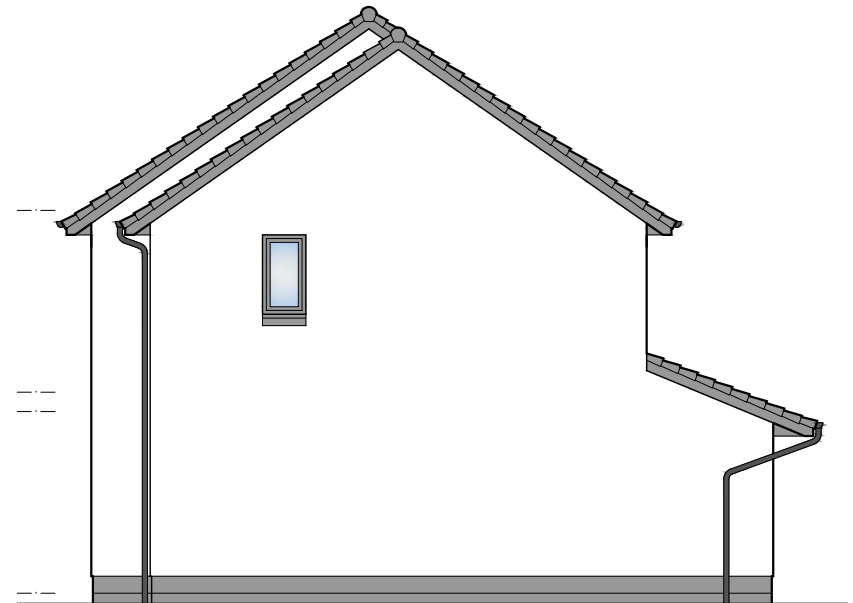
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PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-411	REV.	A



FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
- All colours as External Finishes Schedule

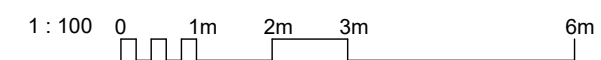
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## Bracewell Stirling CONSULTING

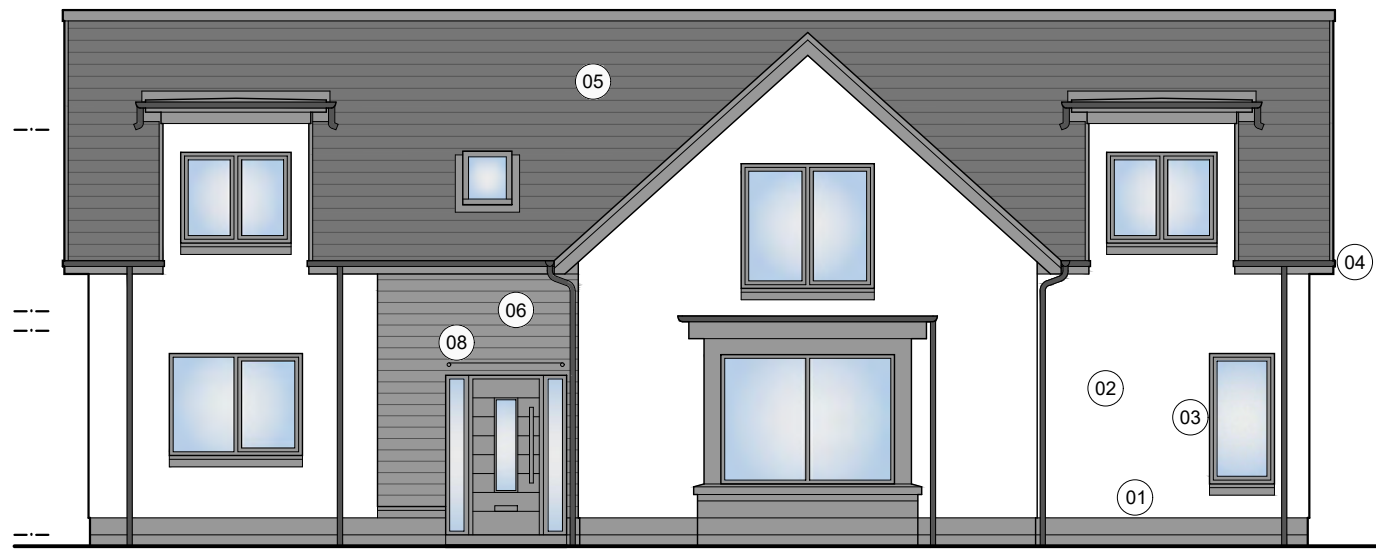
38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

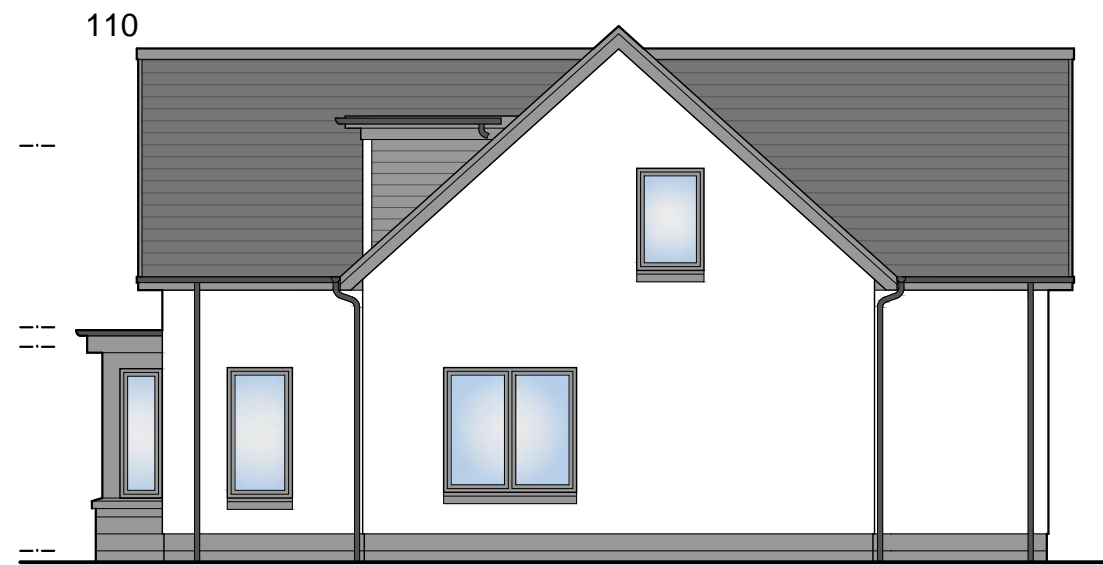
ELEVATIONS - AFFRIC DETACHED



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PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-131		REV.

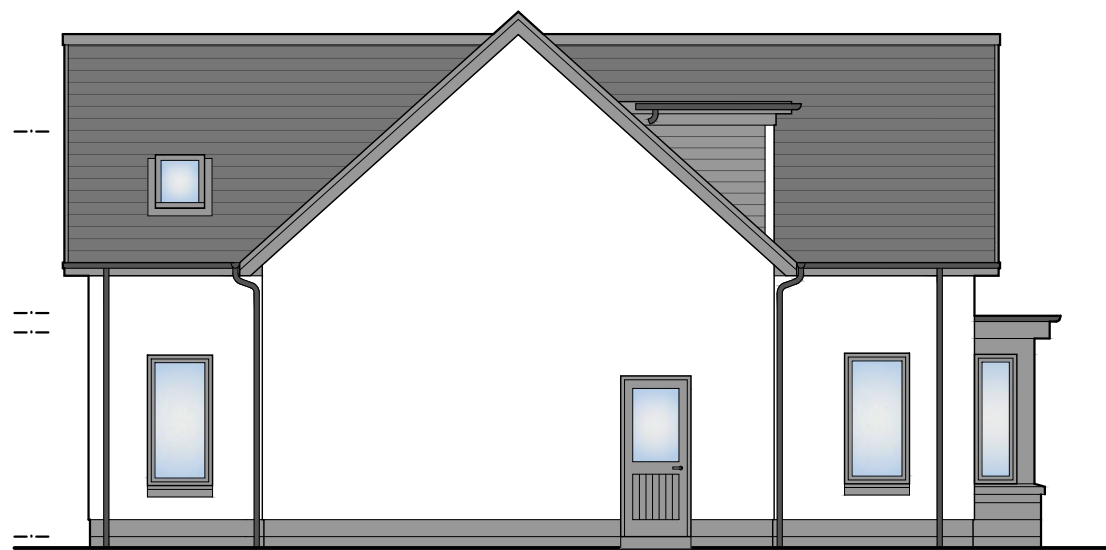


FRONT ELEVATION



GABLE ELEVATION

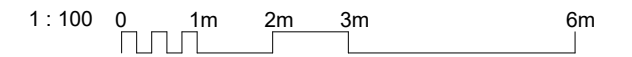
- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
  - 07 Indicative Photovoltaic panel locations
  - 08 Door canopy
- All colours as External Finishes Schedule



GABLE ELEVATION



REAR ELEVATION



REV	DATE	DESCRIPTION	PL	DRN
A	Jun'20	Elevations updated for drawing clarity		



IMAGE 1 - FRONT PERSPECTIVE



IMAGE 2 - REAR PERSPECTIVE

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OLAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

ELEVATIONS - LOMOND

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-321	REV.	A



FRONT ELEVATION



GABLE ELEVATION

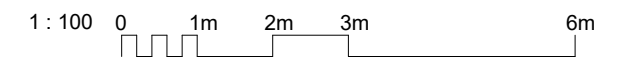


GABLE ELEVATION



REAR ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
  - 07 Indicative Photovoltaic panel locations
  - 08 Door canopy
- All colours as External Finishes Schedule



A	May20	Elevations updated for drawing clarity	PL
REV	DATE	DESCRIPTION	DRN



IMAGE 1 - FRONT PERSPECTIVE



IMAGE 2 - REAR PERSPECTIVE

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

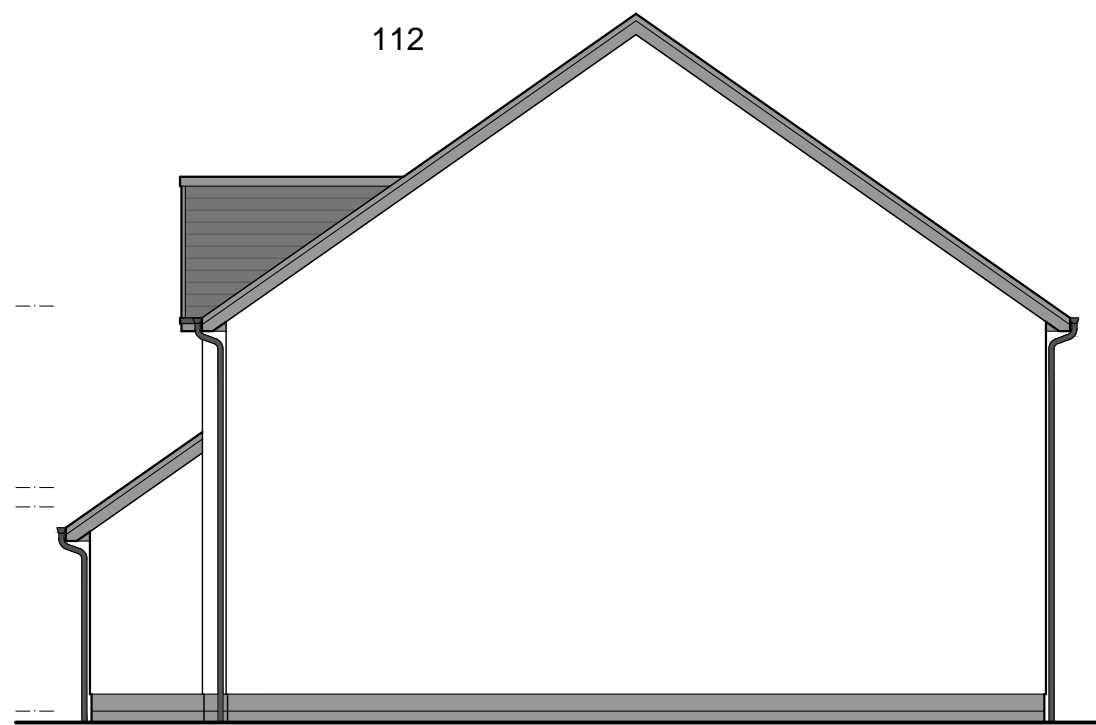
ELEVATIONS - BURRELL

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PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-331		REV. A

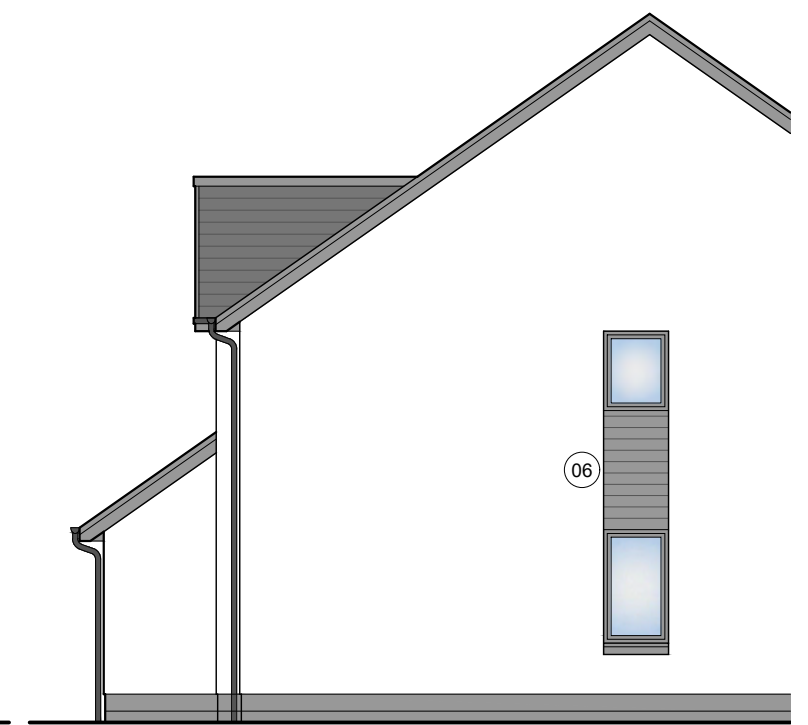




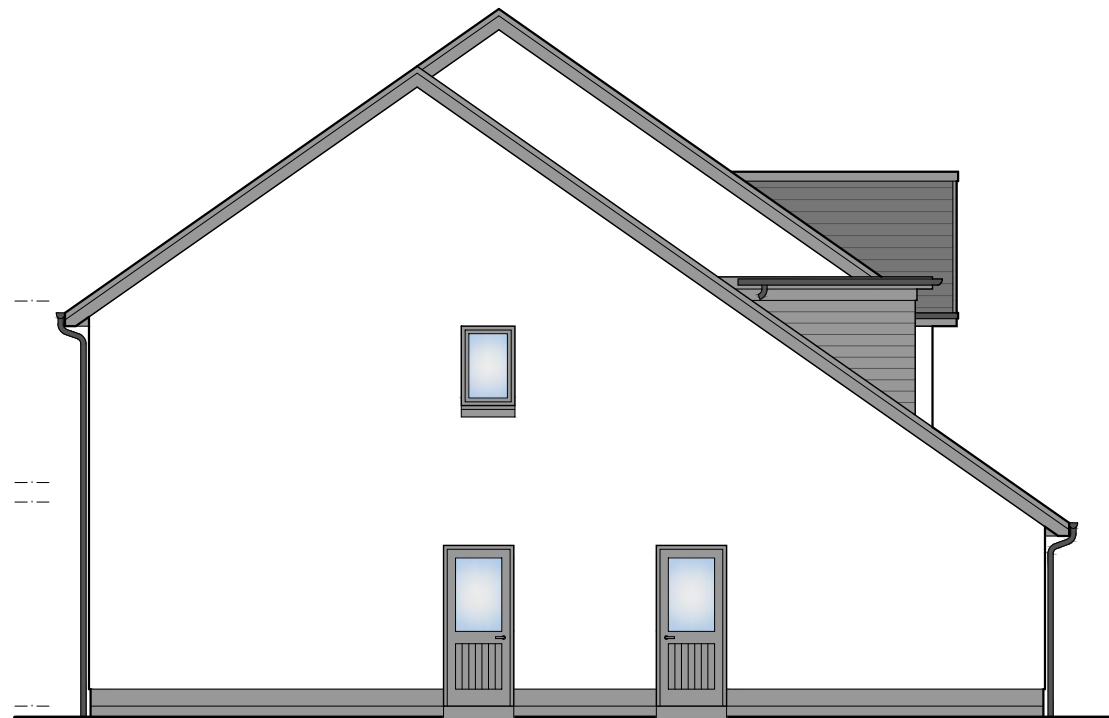
FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION (ENHANCED)

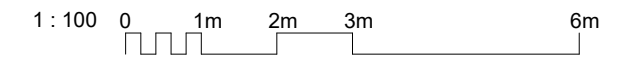


REAR ELEVATION



SIDE ELEVATION

- 01 Precast basecourse and cills
  - 02 Dry dash roughcast
  - 03 uPVC windows
  - 04 uPVC gutters and downpipes
  - 05 Concrete roof tiles
  - 06 Boarding detail
  - 07 Indicative Photovoltaic panel locations
  - 08 Door canopy
- All colours as External Finishes Schedule



REV	DATE	DESCRIPTION	PL	DRN
A	Jun'20	Elevations updated for drawing clarity		PL



IMAGE 1 - FRONT PERSPECTIVE



IMAGE 2 - REAR PERSPECTIVE

**Bracewell Stirling CONSULTING**

38 WALKER TERRACE, TILlicOUNTRY, FK13 6EF 01259 750301  
 5 NESS BANK, INVERNESS, IV2 4SF 01463 233760  
 15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

PROPOSED HOUSING AT  
 DRUID'S TEMPLE, INVERNESS  
 TULLOCH HOMES LTD

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ELEVATIONS - CARNEGIE

SCALE:	1 : 100	DRAWN:	--
PAPER SIZE:	A3	DATE:	Sep 2019
DWG No.	4312-01-311	REV.	A