

Agenda Item	6.5
Report No	PLS-061-20

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 08 December 2020

Report Title: 20/02817/LBC: Boleskine House Foundation SCIO
Baile Os-Ceann (Boleskine House), Foyers, Inverness IV2 6XT

Report By: Area Planning Manager – South

Purpose/Executive Summary

Description: Reinstatement of fire-damaged building, with some alterations; not including full internal fit-out

Ward: 12 – Aird And Loch Ness

Development category: Local

Reason referred to Committee: 5 or more representations against

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **Grant** listed building consent as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

- 1.1 Boleskine House is Category B listed and currently stands as a burnt-out shell. This application is for the restoration and re-building of the 'external envelope' of the house; the complex and detailed internal restoration will be a subsequent phase and application for Listed Building Consent.
- 1.2 This application deals purely with the principle and detail of restoring the listed building to its former state. The associated 20/02471/FUL considers the planning issues related to the re-build, as well as the enabling development of holiday accommodation in a nearby field.
- 1.3 Pre Application Consultation: several on-site meetings were held with the agent and applicant at the time of the previous PRE-APP and LBC applications to discuss the principles and technical issues related to re-instating the building. 20/00390/PREAPP gave a favourable response (in principle) to the restoration of the listed building.
- 1.4 LBC (Design & Heritage) Statement, Intended Use Statement
- 1.5 Variations: None

2. SITE DESCRIPTION

- 2.1 Boleskine House sits on the eastern side of Loch Ness, mid-way between Foyers and Inverfarigaig, in a raised position above the B852 roadway in wooded grounds. Boleskine House is a B-listed structure, the original core of which dates to the late C18, but with significant extensions and alterations in later periods of ownership; the House is also very much a composite element of a historic estate, including: a B-listed Gate-house, gate-piers and railings; a B-listed Coach-House; mature woodland/parkland; a courtyard and an elevated formal garden. The house has an interesting history, with early associations to General Wade and later ownerships of Aleister Crowley and Jimmy Page; the house was in private residential ownership until badly damaged by a fire in 2015. Successive arsons have left the building roofless and the interior gutted.
- 2.2 Listing description: B-listed on 05.10.1971. Begun late 18th century and continuously enlarged until circa 1830. Now forms single storey, irregular 7-bay house with projecting outer bays with truncated gables. Pink harled with ashlar dressings and margins (some rendered). Present SE front probably re-cast from NW. Centre projecting pilastered ashlar bay with entrance flanked by narrow side lights; porch linked to outer bays by shallow loggia supported by slender Roman Doric columns; deep continuous entablature. NW elevation; round-headed window in gabled centre bay (probably former entrance) 3-window projecting bowed bays (to right with modern alteration to one window) with bowed piended roofs in bays 2 and 6; outer bays with Venetian windows. Multi-pane glazing; long and short channelled ashlar quoins. Symmetrical pair ridge and panelled end wall-head stacks; slate roofs. East service door masked by later single storey, single bay extension. Interior; long corridor runs full length of house in SE front probably formed in earlier 19th century;

panelled arches and screens flanking centre entrance bay. Simple plaster cornices to 2 public rooms with bowed bay windows giving outlook to NW.

3. PLANNING HISTORY

- | | | | |
|-----|---------------|---|---------------------------------|
| 3.1 | 24 June 2020 | 20/00390/PREAPP: Restoration of Boleskine House and erection of tourist accommodation units in the field to the SW | Pre-App Response |
| 3.2 | 01 April 2020 | 20/01665/LBC: Repair and reinstatement works | Listed building consent granted |
| 3.3 | | 20/02471/FUL: Reinstatement and alterations to fire damaged house; siting of 10 No holiday twin-units, reception, store, car parking; installation of sewage treatment plant. | Pending |

4. PUBLIC PARTICIPATION

4.1 Advertised: Listed Building Consent

Date Advertised: 04.09.2020

Representation deadline: 25.09.2020

Timeous representations: 52 (29 Against, 23 For)

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Adverse impact upon wildlife;
- b) Adverse impact upon historic fabric by selling bags of material on-line;
- c) Procedural confusion over change-of-name of site;
- d) Access roads too narrow for increased traffic;
- e) Should be maintained as a ruin in the landscape;
- f) The proposal is not in-keeping with the nature of the historic building;
- g) Support for the well-researched and detailed conservation-led restoration of the historic building.

4.3 All letters of representation are available for inspection via the Council's explaining portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Historic Environment Team:** The proposal is to reinstate the external envelope of Boleskine House, a fire-damaged listed building that is at considerable risk of being lost. Council policy supports the renovation and re-use of vacant, derelict and At Risk listed buildings. In this case, the proposal seeks a faithful, conservation-led restoration of the building, based on historical research, with a small number of sensitive alterations. The proposal satisfies the relevant statutory tests in the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and

accords with Policy 57 of the HwLDP. As such, in conservation terms, the proposal can be supported.

- 5.2 **Historic Environment Scotland:** ‘We very much welcome these proposals for the external restoration of the house but have some recommendations to make in respect of the detailing. The relatively simple external appearance of the house means that accurate detailing is very important to an appreciation of the building's interest.

Eaves. A proposal for a new eaves detail is included in the application. The eaves detailing at the house seems to vary between the modest detail you might expect of an 18th century highland house and a more elaborate detail which might date from a later 19th century remodelling. Photographs suggest that the bows may have had a simple half-round gutter but the outer wings may have had a more elaborate detail. We recommend that more information is provided to clarify the proposal in the context of an understanding of the historic arrangement around the perimeter of the roof.

Dormers. We recommend that detailed drawings are provided prior to the start of works to confirm that the appearance of the dormers will match those which survived until the fire. In particular, careful consideration should be given to how they will be insulated to replicate the slender appearance of the originals.

Windows. We recommend that detailed drawings are provided to confirm the glazing-bar widths and the pattern of the arched windows.

Doors in NW elevation. The installation of three doors in the NW elevation represents a change to the established character of the house in our view. We recommend that more information is provided to clarify the reasoning behind the new doors on the basis of archival and physical evidence. Where these are agreed, we also recommend that detailed drawings are provided to confirm their appearance because we consider their visual impact is underplayed in the elevations and visuals.’

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 Highland Wide Local Development Plan 2012

28 - Sustainable Design
29 - Design Quality & Place-making
57 - Natural, Built & Cultural Heritage
58 - Protected Species

6.2 Inner Moray Firth Local Development Plan 2015

No site-specific policies, refer to HwLDP

6.3 Highland Council Supplementary Planning Policy Guidance

Highland Historic Environment Strategy (Jan 2013)
Highland's Statutorily Protected Species (March 2013)
Standards for Archaeological Work (March 2012)
Sustainable Design Guide (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Planning Policy (The Scottish Government, June 2014)

Historic Environment Policy for Scotland (HEPS) May 2019

Historic Environment Circular 1 (June 2016)

Historic Environment Scotland – Managing Change in the Historic Environment
Guidance Note Series

8. PLANNING APPRAISAL

- 8.1 Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that, “In considering whether to grant listed building consent for any works, the planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) historic environment

Development plan/other planning policy

- 8.4 Development Plan Policy 57 notes a requirement to judge proposals in terms of their impact upon the natural, built and cultural heritage features identified by the HwLDP. As an application relating to a Category B building Policy 57.1 states that developments are suitable where they can be demonstrated not to have an unacceptable impact on the protected amenity and heritage resource.

Historic environment

- 8.5 This application and the previous 20/01665/LBC were based on a thorough historical and site-based analysis of the building by the agent, LDN Architects (also the agents/architects for Inverness Town-House and currently for Inverness Castle). The historical and site-survey analysis has allowed for a proposed faithful re-creation of the building as it last was (prior to the first fire) with agreed alterations and amendments (such as rationalising modern window openings on the SW-elevation to match originals). The works previously consented under 20/01665/LBC are to stabilise gables, chimneys and masonry openings, to save further degradation of the structure and prepare it for the building restoration.

- 8.6 The reinstatement of the external envelope to Boleskine House will include: entirely new roofs, with replacement timber roof-structure (including first floor joists where required), timber sarking, slatework, lead hips and ridges, dormer windows and rooflights, rainwater goods (connecting to existing drainage); walls - rubble and decorative stonework reinstatement, minor alterations to selected openings, replacement traditional external windows and doors, lime harl, timber framing (to support roof over where required); floors - new solid floor to support timber frame where required. Various photographic and dimensional surveys have been undertaken of the remaining building fabric to generate the proposals. The proposals seek to replicate the traditional detailing and materials where possible. Where building fabric is not available historic photographs and drawings have been used to develop the proposals.
- 8.7 Historic Environment Scotland has noted that the detailing for the eaves, dormers and windows requires further analysis; an aspect that can be controlled by condition for their approval in-writing. It has also queried the introduction of doorways onto the NW-elevation as new elements which can alter the listed building's character. A more pragmatic approach is however considered appropriate here, not only because this proposal is saving a ruinous heritage structure, but because the building has been altered and updated many times in its lifetime. There is already a doorway on the western bay (poorly converted from a window-opening) and this proposal introduces a (correct) symmetrical approach on the eastern bay and central arched window, with reinstatement of the western window-opening. Acceptance of these proposed doorways will rely on the detailing, particularly as to how the upper window-element functions as a door, as well as the interface with the panels below; approval in writing shall be conditioned, to ensure that the character of this garden-façade is not adversely affected.
- 8.9 Otherwise, the proposals represent a well-researched and conservation-led design for the reinstatement of Boleskine House. The proposals for the internal restoration will follow as a later phase once the building is wind and water-tight, and funding is in place. For a comprehensive analysis of the proposed restoration process, a detailed Method Statement, Schedule of Works and Specification shall require written approval via condition.

Other material considerations

1. Adverse impact upon wildlife

- 8.10 A previous Protected Species Survey has found no evidence of any such species using the ruined structure for roosting or breeding.

2. Adverse impact upon historic fabric by selling bags of material on-line

- 8.11 The selling of waste material on-line to help fund the restoration, is not problematic in itself; the material in question is charred timber, broken plaster and tiny fragments of stone, which would all otherwise have ended-up in a landfill site.

3. Procedural confusion over change-of-name of site

- 8.12 The registered postal address uses the Gaelic version of the name, which has seemingly confused the many objectors who are not resident in the Highland area.

4. Access roads too narrow for increased traffic

- 8.13 Access is addressed within the associated 20/02471/FUL.

5. Should be maintained as a ruin in the landscape

- 8.14 This is an interesting hypothetical suggestion, and one which raises many issues for ruined buildings. Structures such as Castle Urquhart and Ruthven Barracks portray historically evocative elements within the landscape, their ruinous state helping to define the historic Highland character, and we would not support proposals to re-instate them. Boleskine House however is a recent ruin, with a well-documented physical history, and a limited impact upon the surrounding landscape (from outwith the site); as such, the re-instatement is the preferred course of action.

Non-material considerations

- 8.15 Comments have been submitted by individuals objecting to the development as it will make the site a place of pilgrimage for Satanists and other followers of Aleister Crowley. This is not the applicant's intention. In any event it is not in itself a material planning consideration. The constraints of the existing infrastructure will be considered under the planning application.

9. CONCLUSION

- 9.1 The proposals seek to sensitively reinstate Boleskine House to its former glory using predominantly traditional details and materials. The reinstatement works are based on detailed investigations of existing fragments of built fabric along with historic photographs and drawings. The works are intended to save the remaining structure from an uncertain future and preserve this important historical asset for many years to come.
- 9.2 The principles involved in restoring this fire-damaged ruin satisfy the relevant statutory tests in the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and accords with Policy 57 of the HwLDP. As such, in conservation terms, the proposal can be supported.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above, it is recommended that listed building consent be **GRANTED** subject to the following conditions:

Conditions and Reasons

1. No development or work shall start on site until a comprehensive and detailed Method Statement, Schedule of Works and Specification for the complete works has been submitted to and approved in writing by the Planning Authority. Thereafter, development and other work shall progress in accordance with the approved document/sample.

The Method Statement shall include a detailed procedure for removing cement pointing/render/raking-out joints (note this will need to be done by hand using hand-tools wherever possible). All re-pointing shall be in a traditional lime-based mix, with a specification submitted, and a sample-panel presented on-site for approval, prior to further re-pointing commencing.

Reason: In order to safeguard the character and qualities of the listed building.

2. Details of the following elements shall be submitted to, and approved in writing by, the Planning Authority prior to the commencement of development. Thereafter, work shall progress in accordance with these approved details.
 - a) Details of the dormer windows in elevation(s) at scale 1:20 and section details at 1:5.
 - b) Details of the eaves detail around the building, including any variations, noting Historic Environment Scotland's consultation comments.
 - c) Details of the proposed new windows as shop-drawings, in section at scale 1:1/1:2 with similar for original windows in comparison.
 - d) Details of the proposed window-doorways on the NW-elevation, and main entrance-doorset, at scale 1:20 in elevation and 1:5 in section.
 - e) Details of the colour finishes to all woodwork and joinery elements.

f) Details of the colour finish to the lime harling.

Reason: In order to safeguard the character and qualities of the listed building.

3. All rainwater goods shall be made of cast iron or cast aluminium and, where originals exist, shall match the detailing/profiles of those existing. All new rooflights shall be 'conservation-style' and fitted as flush to the roofing-slates as possible. All new external vent grilles/outlets shall be in metal and colour-finished black, unless agreed otherwise

Reason: In order to safeguard the character and qualities of the listed building.

4. All works, materials and finishes shall be as noted on the approved drawings. Any internal or external works and finishes, or works for making-good as required, shall be to match original/adjacent materials and finishes.

Reason: In order to safeguard the character and qualities of the listed building.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

TIME LIMIT FOR THE IMPLEMENTATION OF THIS LISTED BUILDING CONSENT

In accordance with Section 16(1) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (as amended), the works to which this listed building consent relates must commence within THREE YEARS of the date of this decision notice. If work has not commenced within this period, then this listed building consent shall lapse.

FOOTNOTE TO APPLICANT

Accordance with Approved Plans & Conditions

You are advised that development must progress in accordance with the plans approved under, and any conditions attached to, this permission. You must not deviate from this permission without consent from the Planning Authority (irrespective of any changes that may separately be requested at the Building Warrant stage or by any other Statutory Authority). Any pre-conditions (those requiring certain works, submissions etc. prior to commencement of development) must be fulfilled prior to work starting on site. Failure to adhere to this permission and meet the requirements of all conditions may invalidate your permission or result in formal enforcement action

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and Scottish Natural Heritage must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from SNH: www.snh.gov.uk/protecting-scotlands-nature/protected-species

Designation:	Area Planning Manager – South
Author:	Norman Brockie
Background Papers:	Documents referred to in report and in case file.
Relevant Plans:	Plan 1 - F1926 L(--) 001 FLOOF PLAN - BASEMENT
	Plan 2 - F1926 L(--) 001 LOCATION PLAN
	Plan 3 - F1926 L(--) 002 PROPOSED GROUND FLOOR PLAN
	Plan 4 - F1926 L(--) 004 ROOF PLAN
	Plan 5 - F1926 L(--) 007 ROOF STRUCTURE LAYOUT
	Plan 6 - F1926 L(--) 008 ROOF EDGE DETAIL PLAN
	Plan 7 - F1926 L(--) 011 VISIAL INFORMATION - PROPOSED NORTH ELEVATION
	Plan 8 - F1926 L(--) 012 PROPOSED ELEVATIONS

Plan 9 - F1926 L(--) 090 VISIAL INFORMATION - AS PROPOSED
EXTERNAL PERSPECTIVES

Plan 10 - F1926 L(MS) 001 EXISTING FROUND FLOOR PLAN

Plan 11 - F1926 L(MS) 011 EXISTING ELEVATIONS

Job Title:
Boleskine House,
Foyers

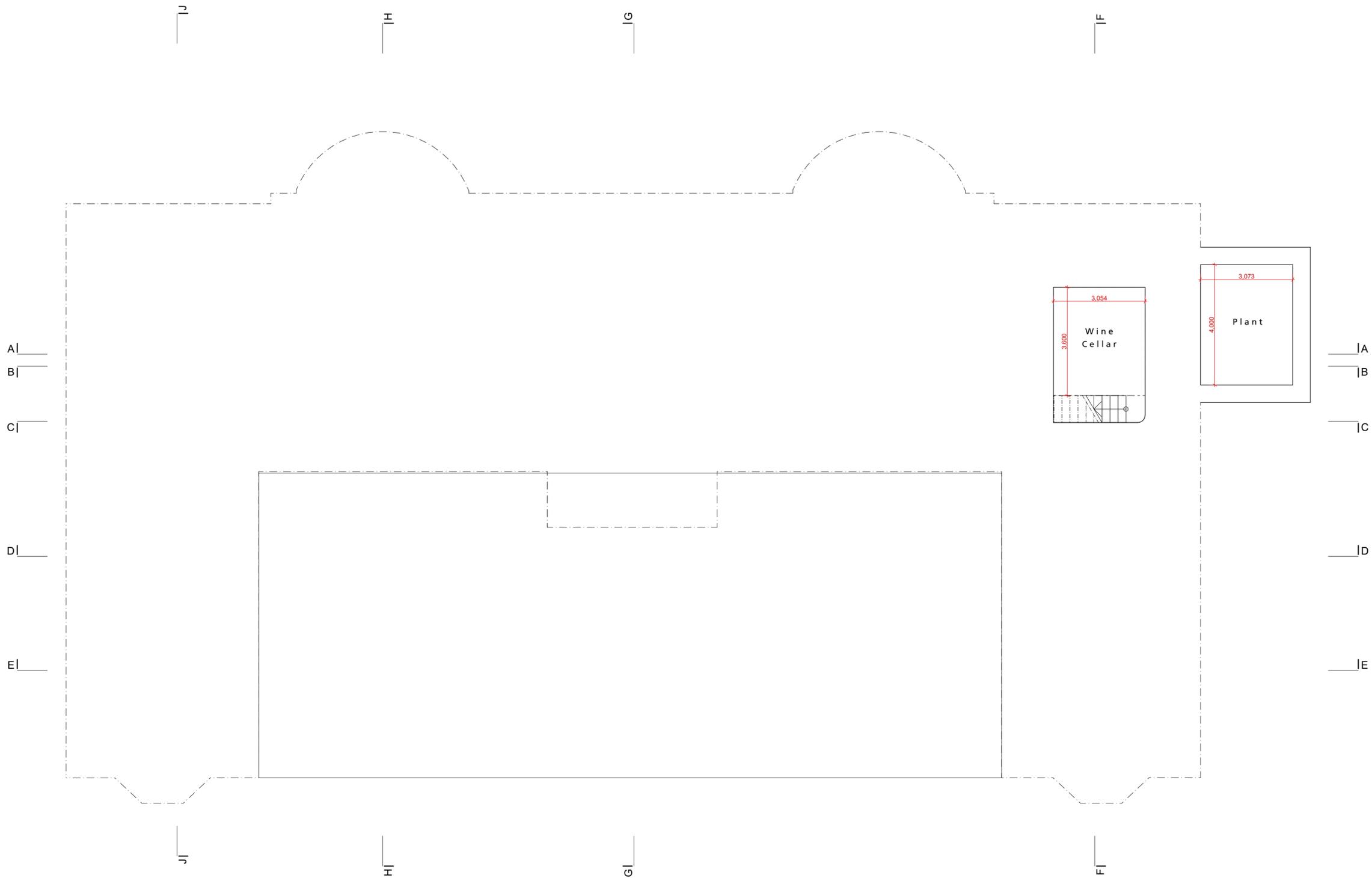
Drawing Title:
PROPOSED
Basement Floor Plan

Drawing Status:
LISTED BUILDING CONSENT

Drawing Number:
F1926 L(-) 001

Scale: 1:100 @ A2 Date: Dec 19 Drawn by: MS Reviewed by:

Revisions:



NOTE:
Do NOT scale from this drawing - if unsure of dimensions then ask architects.
All dimensions are shown in millimetres unless otherwise stated/shown.
This is a CAD produced drawing - do NOT alter manually
© 2019 LDN Architects LLP

Job Title:
**Boleskine House,
Foyers**

Drawing Title:

Location Plan

Drawing Status:

F1926 L(-) 001

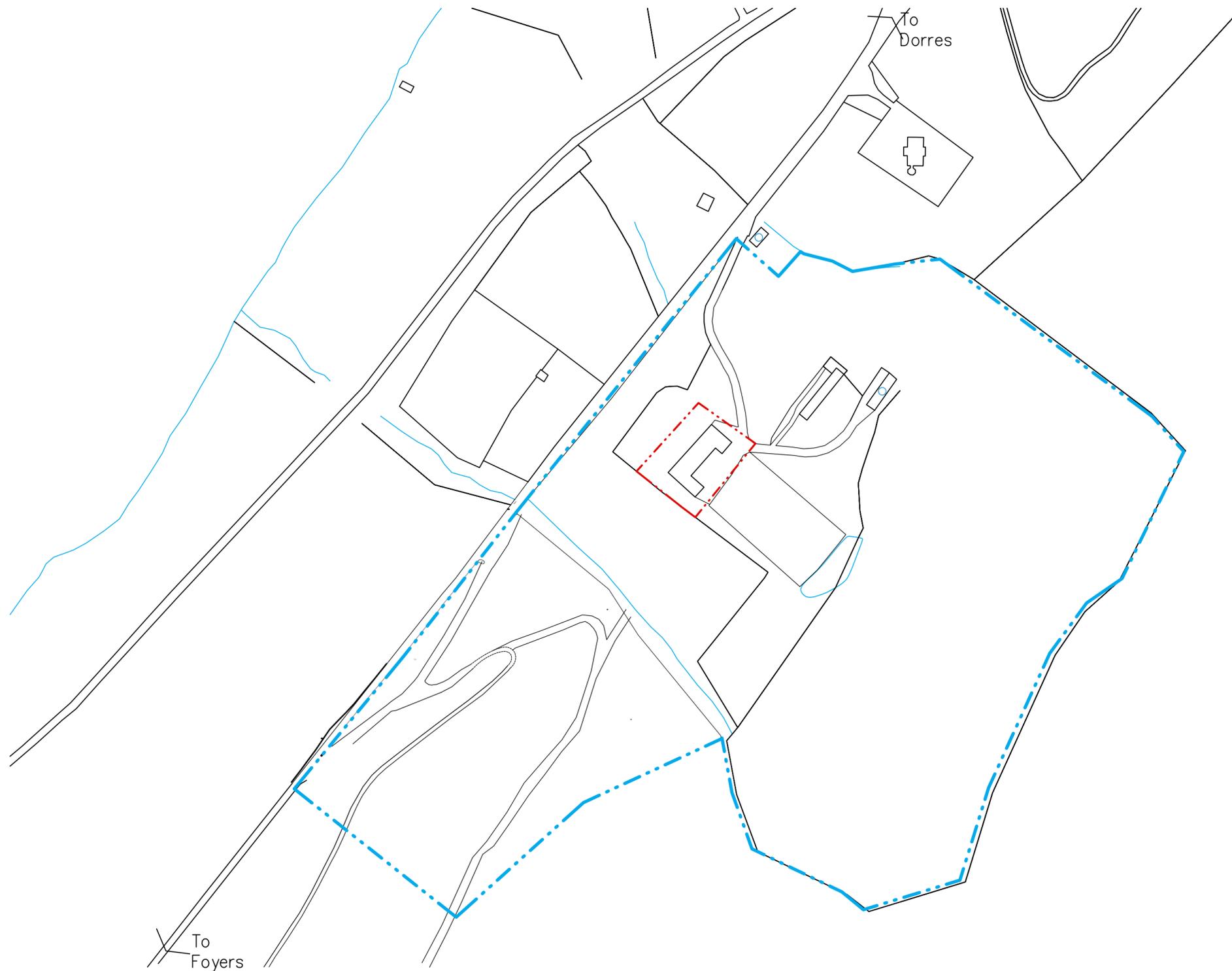
Drawing Number:

(-) 001

Revision:

Scale:	Date:	Drawn by:	Reviewed by:
1:1, 1:2000 @ A2	April 20	AP	SM

Revisions:



— Denotes application site boundary
— Denotes area in applicants ownership



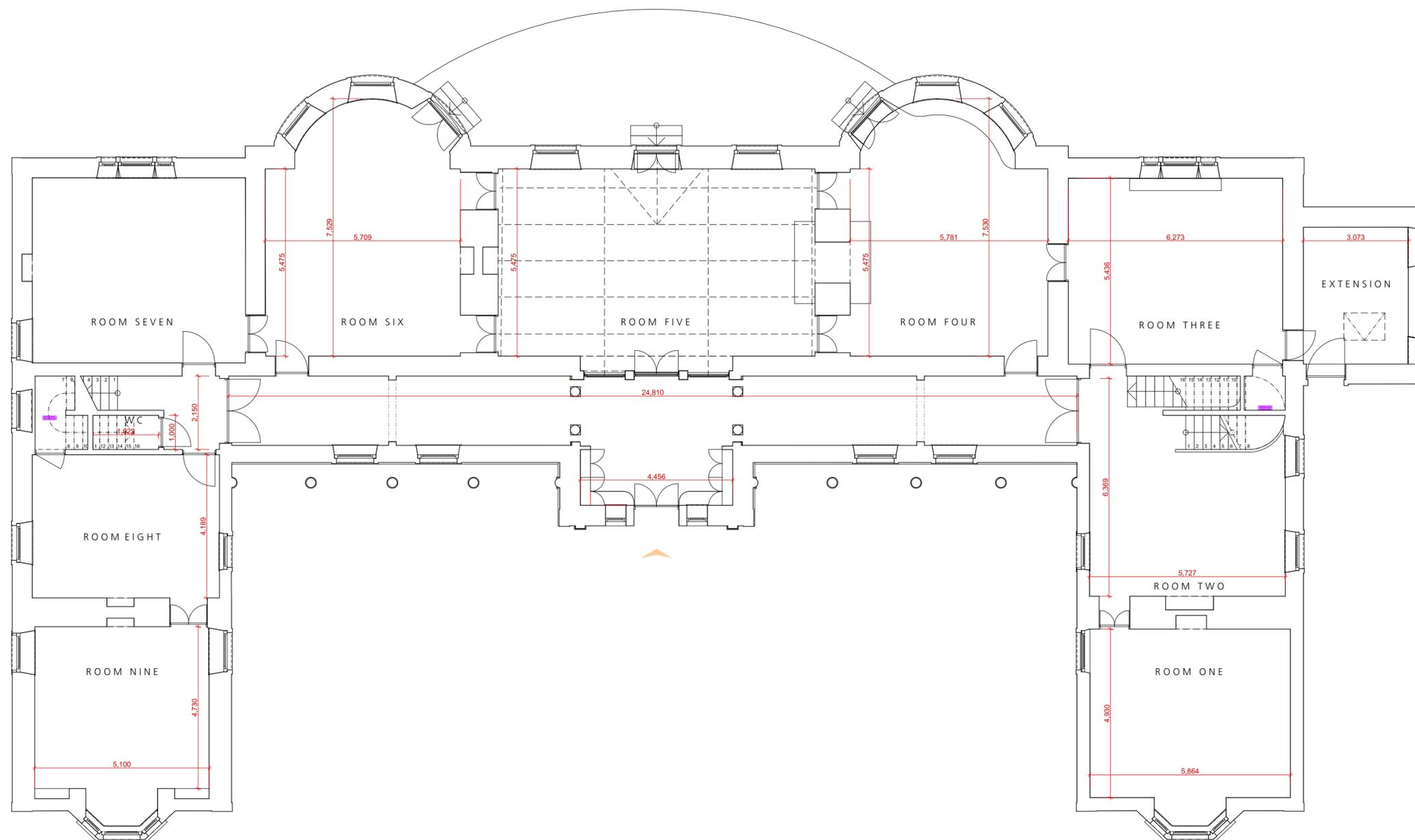
NOTE:

Do NOT scale from this drawing - if unsure of dimensions then ask architects.

All dimensions are shown in millimetres unless otherwise stated/shown.

This is a CAD produced drawing - do NOT alter manually
© 2019 is copyright of LDN Architects LLP

Job Title:
**Boleskine House,
Foyers**
Drawing Title:
**PROPOSED
Ground Floor Plan**
Drawing Status:
LISTED BUILDING CONSENT
Drawing Number:
F1926 L(-) 002 Revision:
Scale: Date: Drawn by: Reviewed by:
1:100 @ A2 Dec 19 MS —
Revisions:



NOTE:
Do NOT scale from this drawing - if unsure of dimensions then ask architects.
All dimensions are shown in millimetres unless otherwise stated/shown.
This is a CAD produced drawing - do NOT alter manually
© 2019 LDN Architects LLP

ROOFING NOTES

Roof Structure:

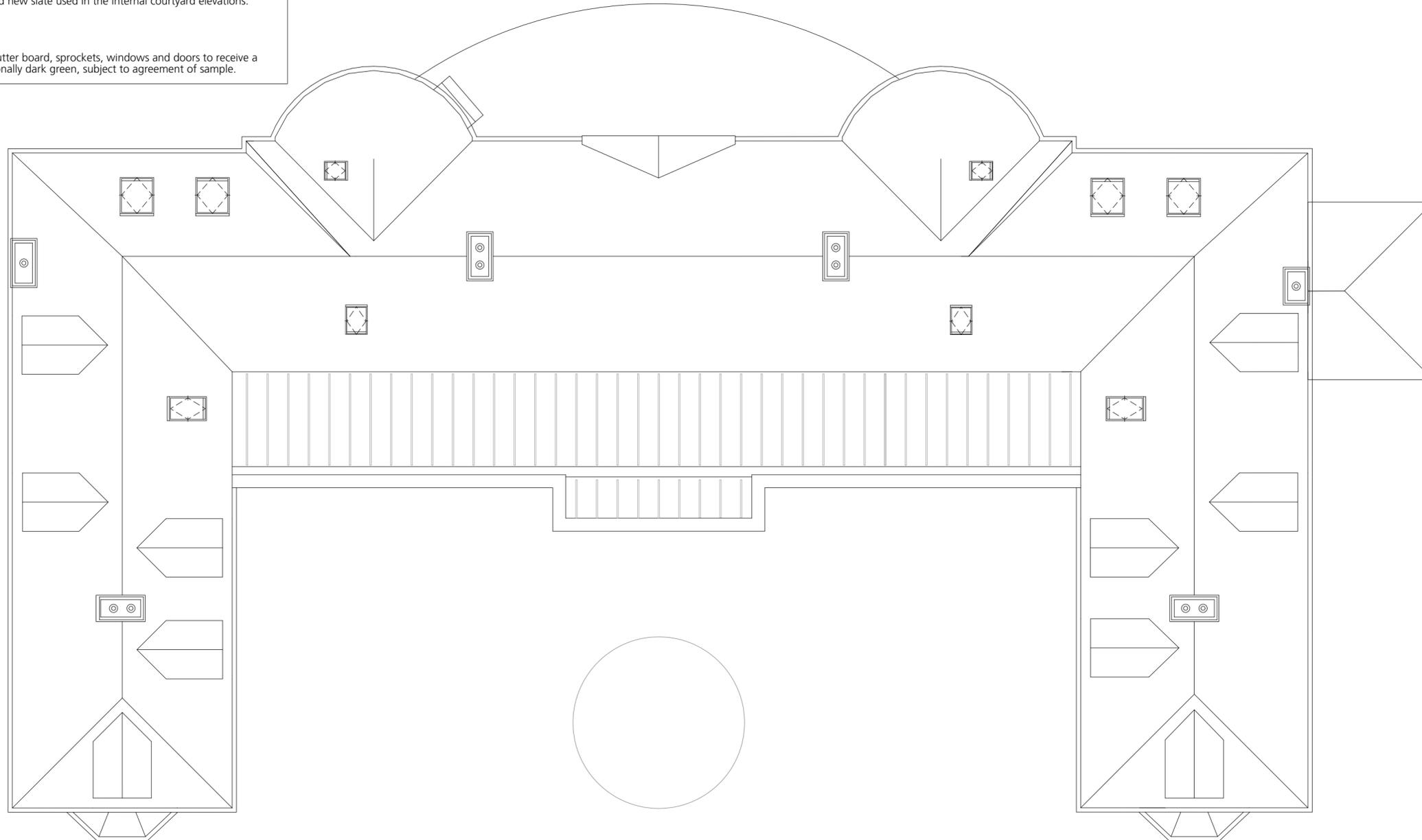
New roof structure with dressed sprockets to project sufficiently to allow harl finish to pass behind and be protected by a dressed timber gutter board with applied timber moulding to carry the new OG profile 5" cast iron gutter. Continuous eaves ventilation behind this gutter board and through ventilated ridge detail. Slates to be applied to traditional timber sarking with breathable felt. Timber gutter board meets timber verge detail.

Roof finish:

Existing suitable scots slate salvaged from site to be used with quantities made up with matching salvaged slate where possible. If sufficient second-hand matching slate cannot be sourced, then quantities will be made up with new Welsh slate such as SIGA 120. From SIGA Slate specifically marketed to suit the Scottish market in a variety of thicknesses, widths and lengths. Replacement slates to be approved by sample by the Planning Authority. As a general principle, where insufficient suitable second-hand slate is available, the elevation facing the loch will be prioritised and new slate used in the internal courtyard elevations.

Timber Finishes generally:

All external timberwork including gutter board, sprockets, windows and doors to receive a gloss finish in a dark colour, provisionally dark green, subject to agreement of sample.



NOTE:

Do NOT scale from this drawing - if unsure of dimensions then ask architects.

All dimensions are shown in millimetres unless otherwise stated/shown.

This is a CAD produced drawing - do NOT alter manually
© 2019 is copyright of LDN Architects LLP

Job Title:
**Boleskine House,
 Foyers**

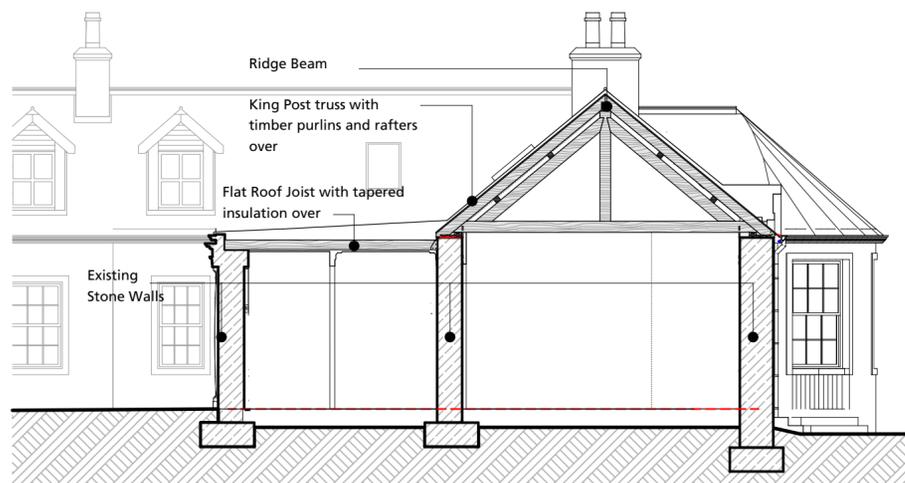
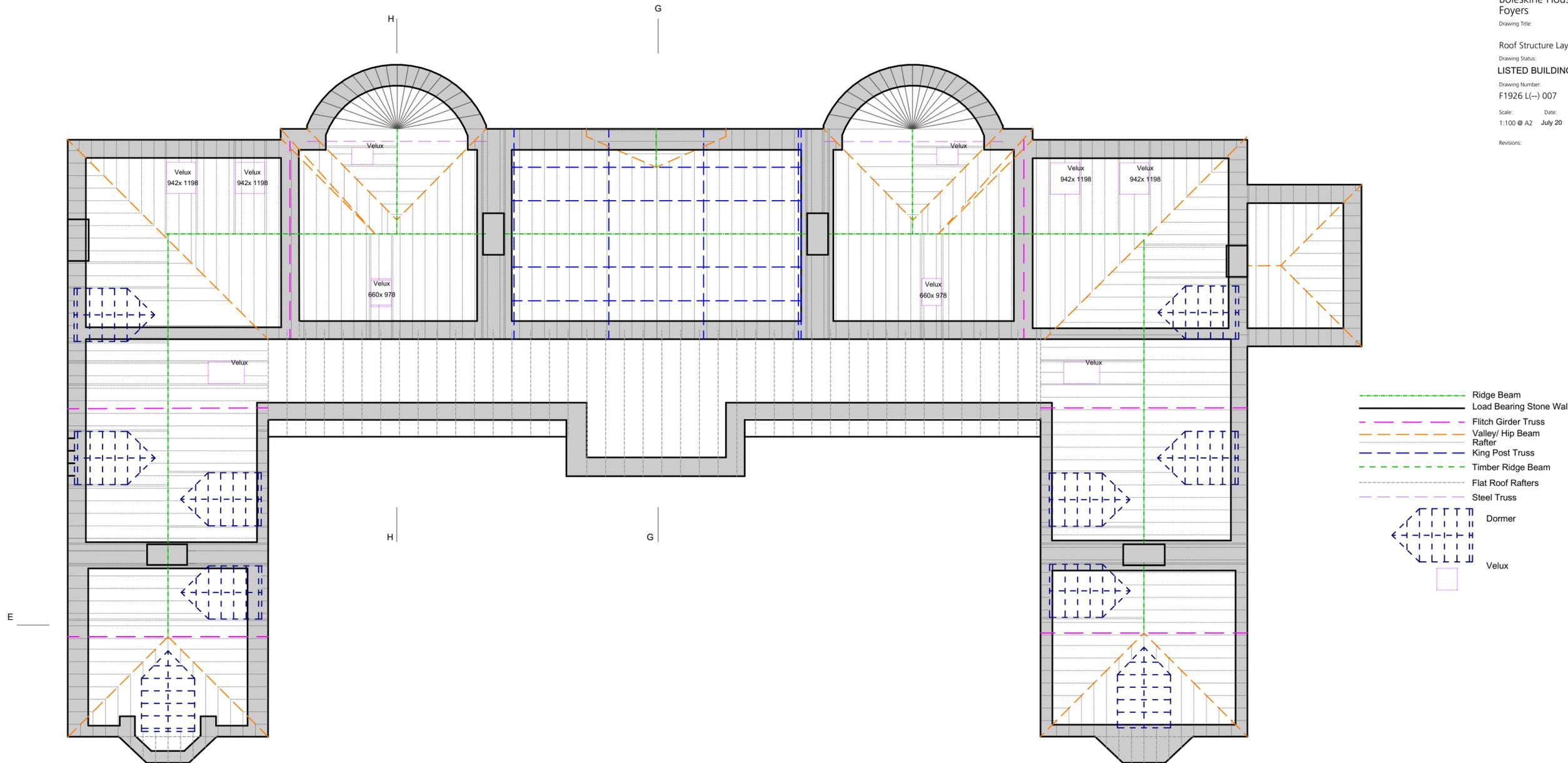
Drawing Title:
Roof Structure Layout

Drawing Status:
LISTED BUILDING CONSENT

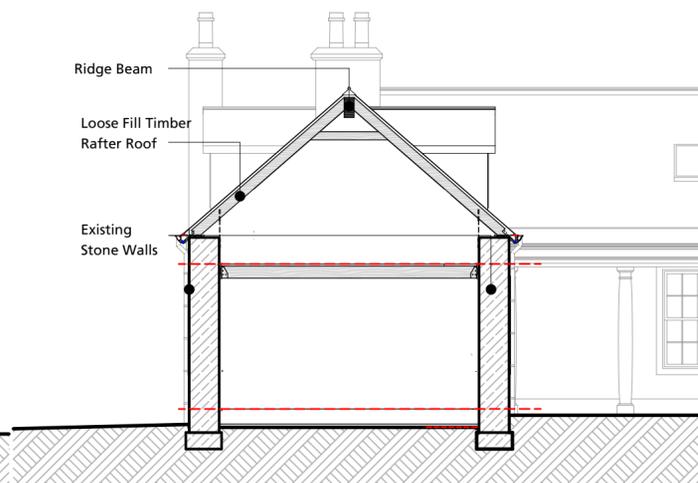
Drawing Number:
F1926 L(-) 007

Scale: 1:100 @ A2 Date: July 20 Drawn by: AP Reviewed by:

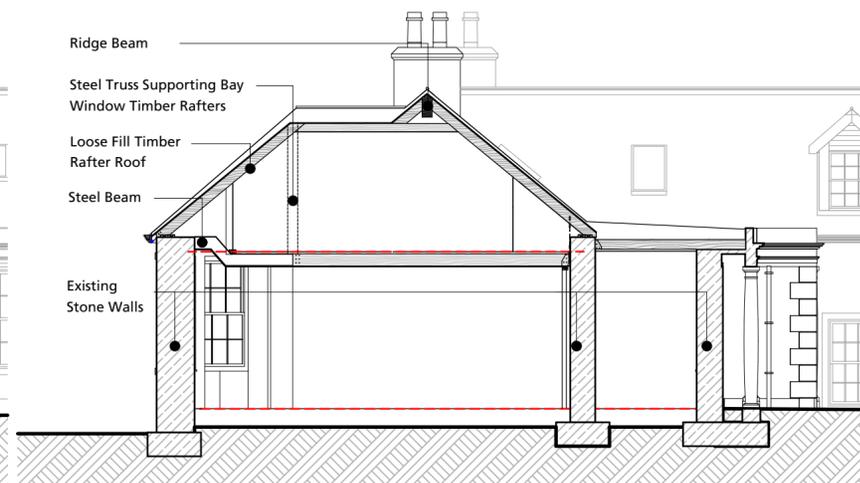
Revisions:



Partial Section GG
 1:100



Partial Section EE
 1:100



Partial Section HH
 1:100

NOTE:
 Do NOT scale from this drawing - if unsure of dimensions then ask architects.
 All dimensions are shown in millimetres unless otherwise stated/shown.

This is a CAD produced drawing - do NOT alter manually. Drawing is copyright of LDN Architects LLP

Job Title:
**Boleskine House,
Foyers**

Drawing Title:

Roof Edge Detail

Drawing Status:

DRAFT FOR COMMENT

Drawing Number:

F1926 L(--)-008

Revision:

Scale:

1:5 @ A3

Date:

JULY 20

Drawn by:

AP

Reviewed by:

Revisions:

Timber Headbinder:

To Engineer's Specification on DPC

Roof Finish:

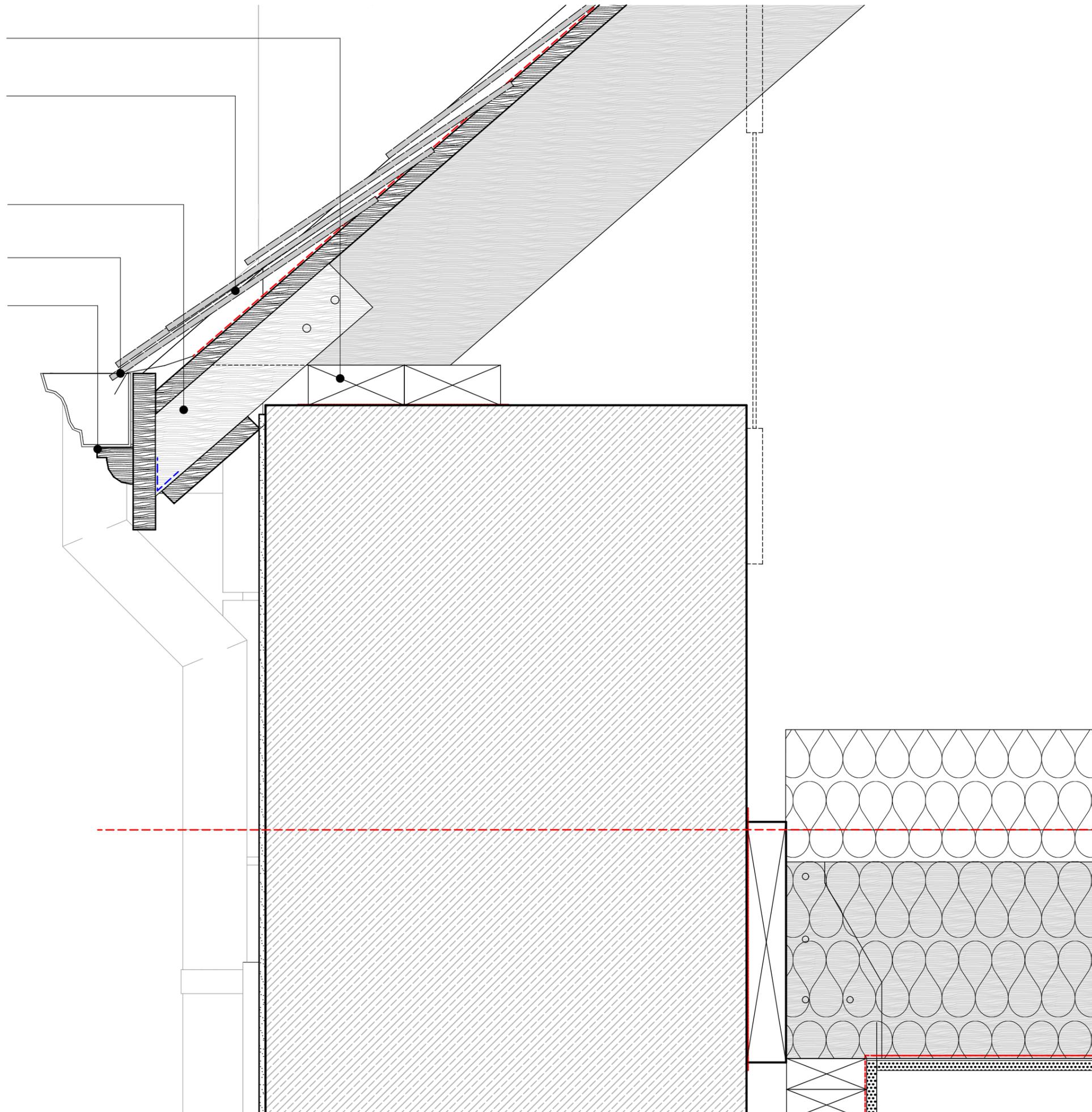
Roof to be finished in slate laid in diminishing courses and random widths in the traditional Scottish manner. See general notes for detail.

Sproket

Fixed to each Rafter end. Insect mesh fitted to barge board junction

125x100 Ogee Gutter

45x45 Moulded Ledge

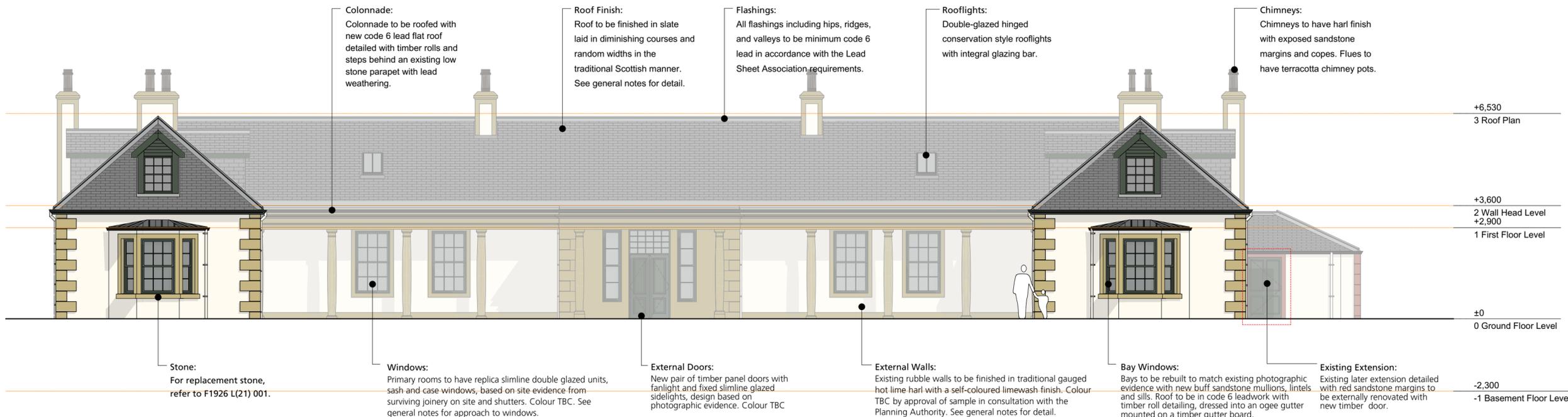


NOTE:

Do NOT scale from this drawing - if unsure of dimensions then ask architects.

All dimensions are shown in millimetres unless otherwise stated/shown.

This is a CAD produced drawing - do NOT alter manually.



SOUTH EAST ELEVATION

GENERAL NOTES

Masonry Wall Treatment:

Existing fire damaged masonry to be taken down where necessary and rebuilt using salvaged rubble. Where dressed stones have been damaged or lost, new matching stone is to be sourced. Where this is buff sandstone it is proposed to use Witton Fell sandstone from Cumbria, subject to a sample being agreed with the Planning Authority.

Please see separate method statement for careful removal of existing painted cement render from underlying stonework.

Existing walls to be raked out and repointed in a lime-based mortar and finished in a hot gauged lime harl. Surviving existing harl exists on the internal walls to provide evidence for this new harl. The harl finish will be feathered to the dressed margins of the window surrounds, corners and chimneys, and against the rusticated quoins.

Roof Structure:

New roof structure with dressed sprockets to project sufficiently to allow harl finish to pass behind and be protected by a dressed timber gutter board with applied timber moulding to carry the new OG profile 5" cast iron gutter. Continuous eaves ventilation behind this gutter board and through ventilated ridge detail. Slates to be applied to traditional timber sarking with breathable felt. Timber gutter board meets timber verge detail.

Roof finish:

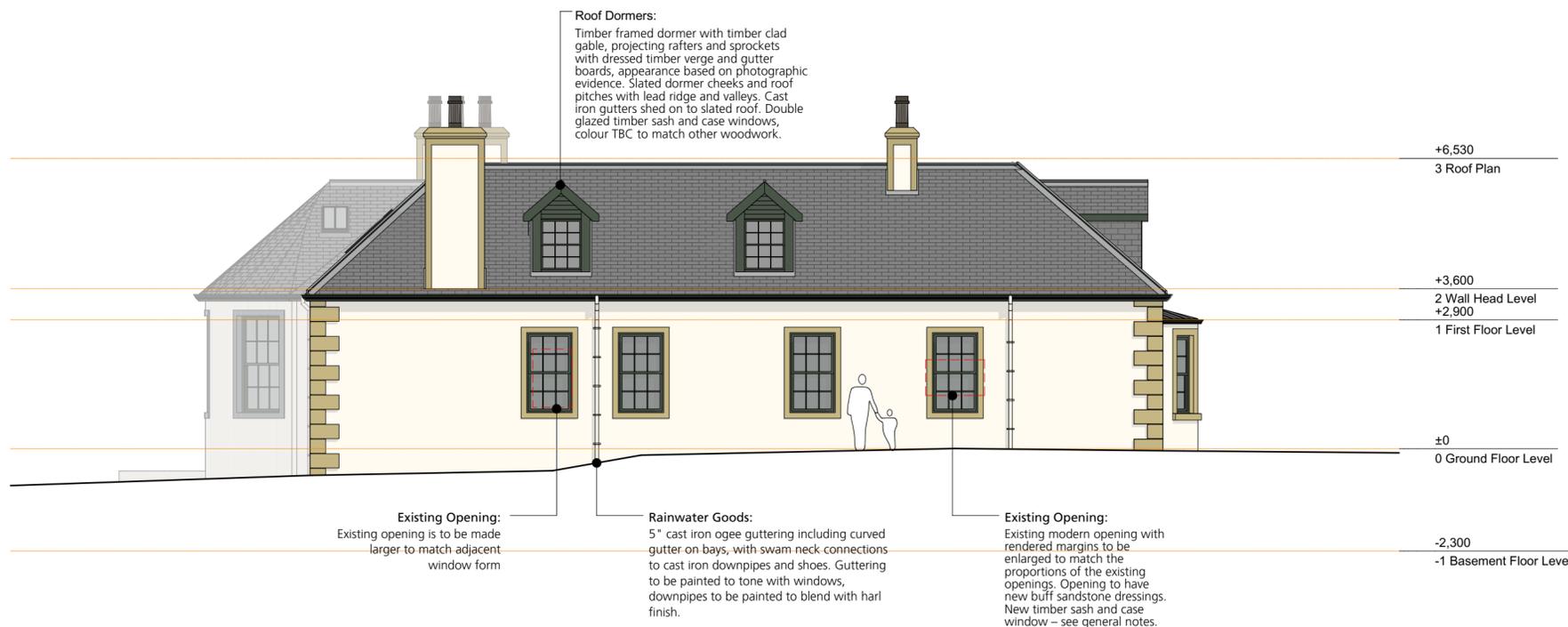
Existing suitable scots slate salvaged from site to be used with quantities made up with matching salvaged slate where possible. If sufficient second-hand matching slate cannot be sourced, then quantities will be made up with new Welsh slate such as SIGA 120. From SIGA Slate specifically marketed to suit the Scottish market in a variety of thicknesses, widths and lengths. Replacement slates to be approved by sample by the Planning Authority. As a general principle, where insufficient suitable second-hand slate is available, the elevation facing the loch will be prioritised and new slate used in the internal courtyard elevations.

Timber Finishes generally:

All external timberwork including gutter board, sprockets, windows and doors to receive a gloss finish in a dark colour, provisionally dark green, subject to agreement of sample.

Windows:

The approach to the windows varies with location. There is surviving evidence on site of the existing sash and case fenestration pattern and mouldings and potentially surviving window boxes that can be reused. Where sufficient parts of a window survive, the intention would be to repair it. In the central rooms and entrance corridor on the ground floor (the primary spaces), the intention is to use the surviving site evidence to replicate the original window frames as far as practicable including the mouldings and combine this with slimline double glazed units and shutters where found originally. In the secondary ground floor rooms in the two wings of the house, where existing windows do not survive, the site evidence will be used to detail sash and case windows, combined with slimline energy efficient double glazed units and hidden trickle ventilation. In the new upstairs dormers, double glazed sash and case windows will be installed.



SOUTH WEST ELEVATION



NOTE:

Do NOT scale from this drawing - if unsure of dimensions then ask architects.

All dimensions are shown in millimetres unless otherwise stated/shown.

This is a CAD produced drawing - do NOT alter manually
© 2019 is copyright of LDN Architects LLP

Job Title:
Boleskine House,
Foyers

Drawing Title:
As Proposed
External Perspectives

Drawing Status:
LISTED BUILDING CONSENT

Drawing Number:
F1926 L(-) 090

Scale: Date: Drawn by: Reviewed by:
July 20 AP

Revisions:



01 - South Perspective View



04 - East Perspective View



03 - West Perspective View



04 - North Perspective View

Please refer to drawings L(-)011 and L(-)012
for detailed specifications of the elevational
treatment

NOTE:

Do NOT scale from this drawing - if unsure of
dimensions then ask architects.

All dimensions are shown in millimetres unless
otherwise stated/shown.

This is a CAD produced drawing - do NOT alter
manually. Drawing is copyright of LDN Architects LLP

Job Title:
Boleskine House,
Foyers

Drawing Title:
As Proposed
External Perspectives

Drawing Status:
LISTED BUILDING CONSENT

Drawing Number:
F1926 L(-) 090

Scale: Date: Drawn by: Reviewed by:
July 20 AP

Revisions:



01 - South Perspective View



04 - East Perspective View



03 - West Perspective View



04 - North Perspective View

Please refer to drawings L(-)011 and L(-)012
for detailed specifications of the elevational
treatment

NOTE:

Do NOT scale from this drawing - if unsure of
dimensions then ask architects.

All dimensions are shown in millimetres unless
otherwise stated/shown.

This is a CAD produced drawing - do NOT alter
manually. Drawing is copyright of LDN Architects LLP

Job Title:
Boleskine House,
Foyers

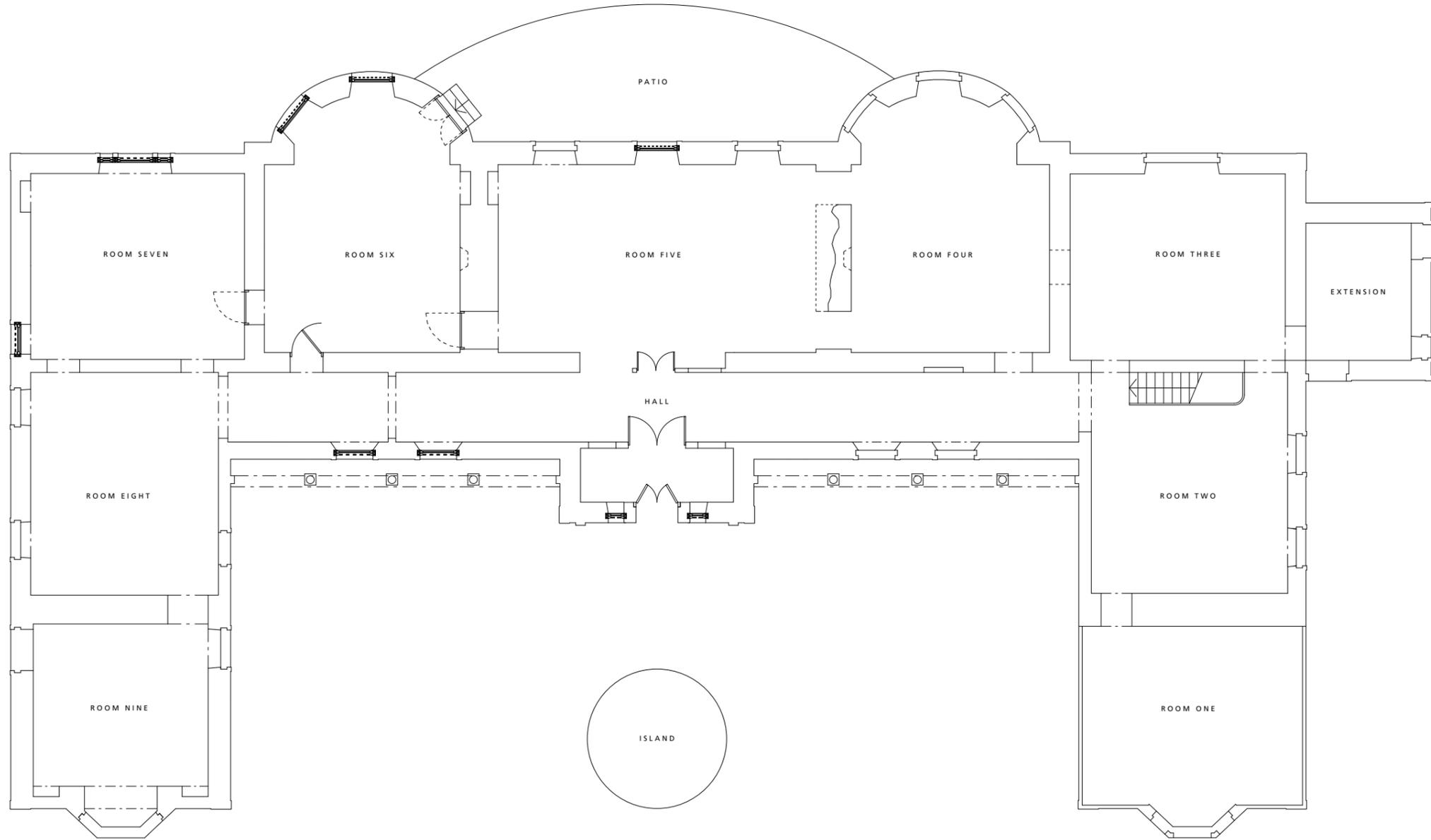
Drawing Title:
EXISTING
Ground Floor Plan

Drawing Status:
INFORMATION

Architects Drawing No:
F1926 L(MS) 001

Revision:
-

Scale:	Date:	Drawn:	Reviewed:
1:100 @A2	Oct 19	HG	SM
Revisions:			



NOTE:

Do NOT scale from this drawing.

All dimensions are shown in millimetres unless otherwise stated/shown. All dimensions MUST be checked before any works take place.

This is a CAD produced drawing - do NOT alter manually.



Job Title:
 Boleskine House,
 Foyers

Drawing Title:
EXISTING
 Elevations

Drawing Status:
INFORMATION

Architects Drawing No:
 F1926 L(MS) 011

Scale:
 1:100 @A2

Date:
 Oct 19

Drawn:
 HG

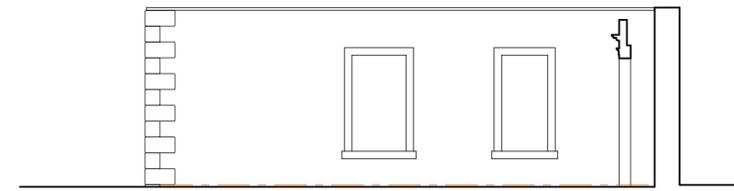
Revision:
 -

Reviewed:
 SM

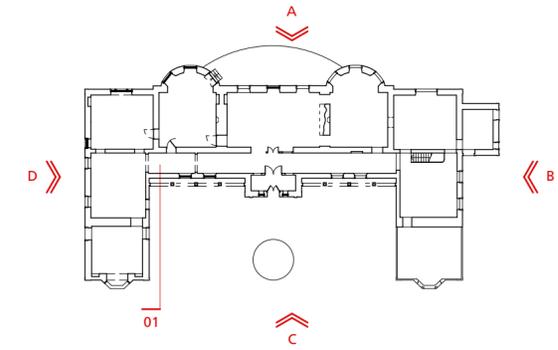
Revisions:



A: NORTH EAST ELEVATION



HIDDEN ELEVATION 01



KEY PLAN



B: SOUTH EAST ELEVATION



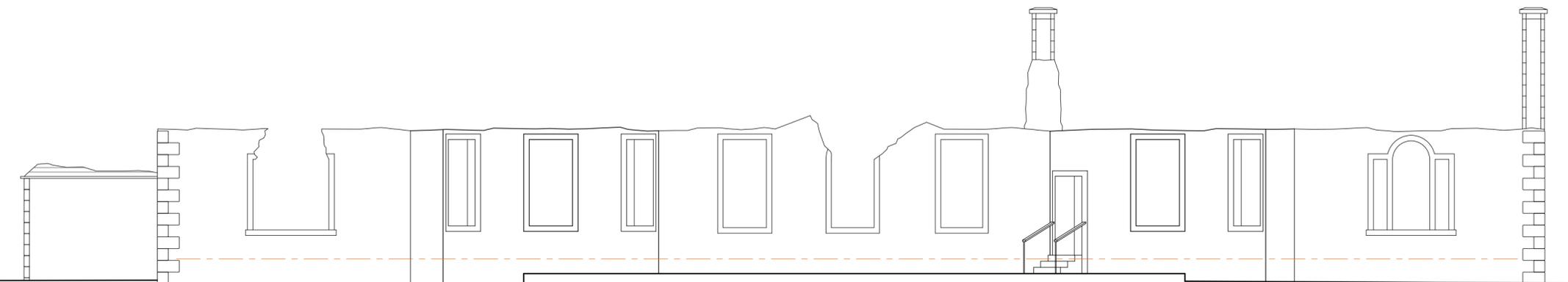
C: SOUTH WEST ELEVATION



3D VIEW NORTH
 © Sketchfab



3D VIEW SOUTH
 © Sketchfab



D: NORTH WEST ELEVATION

NOTE:

Do NOT scale from this drawing.

All dimensions are shown in millimetres unless otherwise stated/shown. All dimensions MUST be checked before any works take place.

This is a CAD produced drawing - do NOT alter manually.

SCALE BAR

