Agen	da Item	6.4
Report No		PLN/066/23

## HIGHLAND COUNCIL

- **Committee:** North Planning Applications Committee
- Date: Tuesday 12<sup>th</sup> September 2023

Report Title: 22/06112/FUL: WildLand Limited

Land 130NE Of St Andrew's Church, Tongue

**Report By:** Area Planning Manager - North

#### **Purpose/Executive Summary**

- **Description:** Health and Social Care Hub including a 15 bed care home, integrated care team administrative base, GP surgery and associated roads, landscaping, garden, paths and infrastructure with relocated junction to A838 and alterations to the access road, parking, yard and landscaping at Tongue Fire Station
- Ward: 01 North, West and Central Sutherland

Development category: Local

#### Reason referred to Committee: Area Manager's discretion

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

#### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

## 1. PROPOSED DEVELOPMENT

- 1.1 The application seeks full planning permission for the erection of a new Health and Social Care Hub at the area of land recognised to be 130m northeast of St Andrews Church, Tongue. The proposal will include a 15 bed care home, integrated care team administrative base, GP surgery within one building and associated roads, landscaping, garden, paths and infrastructure with relocated junction to A838 and alterations to the access road, parking, yard and landscaping at Tongue Fire Station. The proposed Health and Social Care hub is the end result of a long running proposal to replace the Community Care Units located at Talmine and Melvich, both of which were under threat of closure as far back as 2008. The care home at Talmine has recently shut.
- 1.2 The proposed new hub will have an approximate footprint of 92m x 25.5m and a ground to roof ridge height of 11m. The proposed building portrays an elongated and woven layout, with the proposed care home situated on the upper level, with all other associated uses to the application situated on the ground floor. In terms of design, the entire lower ground floor will consist of a plinth formed out of layered concrete topped by a natural roof. The upper ground floor however will consist of the care home bedroom blocks, which appear as 6 building links of various scales that will have a treated copper cladded exterior. Various curtain walls are included in the new structure with sufficient fenestration also proposed throughout. The proposal also entails landscaping proposals in addition to vehicle parking spaces and various access arrangements including the formation of a new shared access road of the A838.
- 1.3 In terms of existing infrastructure, the site is immediately adjacent to the A838 public road situated to the west, with existing access arrangements presently serving the Fire Station contained within the redline boundary and to the rear Kirkyard positioned in the southwest corner. An existing overhead powerline is present which runs along the western side of the site before extending upwards along the northern edge. The application site lies adjacent to the Kirkiboll Burn which runs along the south to southwest of the site boundary and an unnamed watercourse to the north of the site boundary. A field drain is also present within the northeastern corner of the site which carries surface water from the A838, and an existing SUDS road drainage ditch runs along the eastern edge of the adjacent A838, which partially runs parallel to the site to the west.
- 1.4 Pre-application advice was provided by the council on the chosen site under application ref.21/02672/PREMAJ Care Hub including a 15 bed care home, integrated care team base, GP surgery and 6 "Fit Homes" and associated roads and infrastructure, to be delivered in partnership with The Highland Council and NHSH.
- 1.5 The response concluded that the proposed site is allocated in the adopted Caithness and Sutherland Local Development as a 'long term' allocation not intended to be progressed within the Plan period. As such, the proposal does not fully accord with this adopted LDP therefore any application should ensure the following:

1). Demonstrate convincingly why allocated site TG04 cannot and/or should not accommodate the care hub proposals, in planning terms and provide details of the developer's proposals for the use of TG04;

2). Demonstrate convincingly the suitability of the proposed site for the proposed use, with reference to all relevant elements of the Development Plan – including but not limited to landscape and visual impact, setting of Listed Buildings, ease of connectivity by active travel and road vehicle;

3). Help, not hinder, the implementation of other proposals within the Development Plan.

- 1.6 The application is supported by a:
  - Written Scheme of Investigation
  - Winter Roads and Footpaths Maintenance Plan
  - Tree Survey
  - Tree Schedule
  - Transport Statement
  - Surface and Foul Water Drainage Strategy
  - Stage 3 Information Register
  - Site Investigation Report
  - Pre-Application Consultation
  - Planning Statement
  - Narro Drawing Register
  - Landscape Management and Maintenance Plan
  - Landscape Design and Access Statement Part 1, Part 2 & Part 3
  - Figure 1 Zone of Theoretical Visibility, Viewpoints, Landscape Character and Designations
  - Figures 2– 7: Viewpoint
  - Ecological Appraisal
  - Design and Access Statement Part 1 & Part 2
  - Construction Management Statement
  - Archaeological Watching Brief
  - Response to Historic Environment Team
  - 8 x Visualisations from various viewpoints
  - Landscape and Visual Appraisal
  - Flood Survey
  - Sustainability Statement
  - Drawing Information Register
- 1.7 Variations: Various amendments to the submitted plans have been provided throughout the application assessment process, predominantly to accord with consultee remits, the most recent of which was received on the 1<sup>st</sup> June 2023. The variations included roads, landscaping and drainage improvements.

#### 2. SITE DESCRIPTION

2.1 The application site regards a proportion of the allocated development site for Long Term Housing, TG03, which is situated within the Tongue Settlement

Development Area as defined by the Caithness and Sutherland Local Development Plan. The site is located within the Kyle of Tongue National Scenic Area and adjacent to the Tongue House Designed Landscape, with various nearby protected heritage assets, the closest of which is the Category A Listed St Andrews Church which is situated to the southwest of the site. Site TG05 allocated within the CaSPlan for Mixed-Use Development interrupts the site to the northwest corner.

2.2 The site predominantly consists of an area of unused land predominantly covered by scrub and gorse. The site has varying topography, generally sloping downwards to the west. The public A838 is situated along the east and west sides of the site, with no direct vehicle access arrangements serving the middle of the site except to the low-level areas of the Fire Station and the rear Kirkyard access positioned in the southwest corner. The site includes land associated to the nearby Fire Station and the recycling yard situated to the north of the listed church.

## 3. PLANNING HISTORY

None since electronic records began.

#### 4. PUBLIC PARTICIPATION

4.1 Advertised: Schedule 3 development & Unknown Neighbour

Date Advertised: 03.02.2023

Representation deadline: 18.02.2023

Timeous representations: 2

Late representations: 0

- 4.2 Material considerations raised are summarised as follows:
  - a) Inaccessibility for residents in comparison to existing Kyle Centre with a need for transport,
  - b) No regard for pedestrians having to walk further along NC500.
- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet <u>www.wam.highland.gov.uk/wam</u>.

#### 5. CONSULTATIONS

- 5.1 **Tongue & Melness Community Council:** No response.
- 5.2 **Historic Environment Team Conservation:** Objects to the proposal. Stated that this site is currently open fields/rough grazing to the northern edge of Tongue village; with HET interests regarding the site spanning between the Tongue House Garden and Designed Landscape to the north, and the A-listed Church/Church-yard to the SW. HET consider that both of these heritage assets will have their setting adversely affected by this proposal, due to the

over prominence and incongruous nature of the design and siting; with focus on the primary heritage asset, the Church, which is of national significance. Also noted that the site and heritage assets are all included within the Kyle of Tongue NSA, which would require the highest guality of architectural design and the minimum of landscape impacts to be acceptable and concluded that neither criteria is complied with. Mentioned that the proposal is positioned at the highest part of the site, which gives it maximum prominence and landscape impact, and as such questioned why it was not positioned (less obtrusively) further down. Also stated that the prominence is further emphasised by the excessive length and bulk of the proposed building, 190m long and 2-storey + bulky roof high; while the upper level is portrayed as 6 linked buildings. HET feel the visual impact is still of one long industrial/commercial scaled block snaking across the landscape, with repetitive upper facade treatment and overly solid base. In comparison, the overall length of the Church is 20m. Clarified that the form and scale of the building is utterly incongruous to the Tongue community area and makes absolutely no contextual response, which is further exacerbated by the facing materials; copper cladding to the upper walls and roof, and lavered concrete walls to the lower-storey, that will ensure that this building makes no reference to the local built environment. HET stated that the landscape impact, as highlighted by the submitted visuals, is obtrusive; the style, form and positioning of this building is clearly intending to make a design and landscape statement, irrespective of the resultant impacts. Overall HET concluded that these impacts are then assessed for the effect they will also have on the historic environment; which is entirely adverse, with the over-scaled, visually dominant and incongruous nature of the proposal being entirely obtrusive to the landscape setting of the A-listed Church group.

5.3 Flood Risk Management Team: No objection subject to conditions. SEPA's flood maps indicate the site lies outwith the 1:200-year annual flood exceedance extents and therefore potentially at low to medium risk of Fluvial flooding from the Kirkiboll Burn and the unnamed watercourse during the predicted 1 in 200-year (0.5% annual exceedance probability) storm event. However, the application site lies adjacent to the Kirkiboll Burn and an unnamed watercourse which runs along the south to southwest of the site boundary and the unnamed watercourse to the north of the site boundary. Due to the catchment of these watercourses, FRM stated that they have not been included in SEPA's fluvial flood mapping and therefore the flood risk from these watercourses would be unknown. Based on the information provided within the Flood Risk Assessment on flood risk, FRM have no objection to this application subject to conditions. The development site is located on the south side and north side of both watercourses and from the topographical information provided the site falls from east to west at highest level of 61m to lowest level of 41mAOD. Should the watercourse overtop, it is likely to spill towards the development access track, but given the steepness, this will likely naturally follow its route back to the watercourse, therefore giving the development a lower likelihood of flooding from this source. FRM request a condition is attached which states that there will be no raising of ground levels on the site and Finished Floor Levels are to be a minimum of 150mm above surrounding ground levels. According to SEPA's guidance the application site comes under the heading of "Most Vulnerable Uses" and as such, this category of site, located within a low to medium risk area within a sparsely developed area, is generally considered to be unsuitable for additional development except in exceptional circumstances. FRM are satisfied however that the proposed development shown and from the information provided that the proposal will be set back and elevated above the watercourse and therefore unlikely that the proposed will flood from this source. FRM therefore accept the current layout (drawing: 19.0391-PL-701) and have no objection to the application on the understanding that this becomes the approved layout drawing. A minimum buffer zone of 6m should be kept clear between all water features and free from any development which is requested to be secured by condition. FRM support the recommendation within the FRA that the access road track be set at a level 41.25mAOD (which is the predicted 1:200 year +CC peak water level, plus an additional 300mm of freeboard) which will maintain safe and dry access and egress. FRM raised no specific concerns regarding Pluvial flood risk at the development location. Due to the provided topographical nature of the site and given the low likelihood of pluvial flooding FRM are satisfied that surface water can be managed through the site drainage. FRM welcome the use of SuDS and a maintenance regime that is proposed. FRM noted that the initial proposed drainage layout, showed little information on how all the new roads will be drained, with the use of swales proposed, presumed for surface runoff from the road. FRM are satisfied that suitable surface water drainage can be achieved, due to suitable ground conditions and potential for discharge to watercourse after appropriate attenuation, although surface water runoff should be managed to minimise pollutants reaching the watercourse and should be provided with the appropriate levels of SuDS treatments to receive this.

5.4 **Transport Planning** have no objections and provided five consultation responses throughout the application assessment process.

(Final response provided on the 20<sup>th</sup> June 2023)

Regarding the bus service, Transport Planning state that the submitted Transport Statement notes that bus timetables refer to bus stops on the A838 in the vicinity of the Tongue Fire Station and that there is no existing bus stop infrastructure in place. The Council actively support public transport and to enhance future staff, patients and visitors bus travel experiences, the applicant is required to deliver bus stop infrastructure on the A838 in the vicinity of the Health and Social Care Hub. The bus stop infrastructure required on both sides of the road (A838) is: bus stop signage, a bus stop shelter and electronic timetable information. To secure the delivery of bus stop infrastructure by the applicant, all at their cost and is designed to a standard that is acceptable to the Council; require the attachment of a suitably worded condition.

In terms of access Transport Planning note that it is proposed for a new bellmouth type access to be formed on the A838 public road approximately 18 metres to the south of the existing access that serves the Fire Station. The existing Fire Station access would be stopped up and access to it taken from the proposed Health and Social Care Hub access track. Transport planning welcome the formation of a shared use access. Stated that there is an existing car park to the east of the proposed development and there is footway provision on the A838 from the village to the car park. The car park serves as

a recycling centre and parking for the nearby cemetery. The car park access is in close proximity to the proposed shared use access to the Health and Social Care Hub and Fire Station and the car park access is not designed to current design standards. The latest continuous A838 footway proposals include a car park vehicular footway type crossing, and as such, to secure the delivery of a continuous A838 footway with illumination by the Applicant, all at their cost and that it is designed to a standard that is acceptable to the Council, Transport Planning require the attachment of a suitably worded condition. In addition, Transport Planning mention that the Councils Bereavement Services have advised that the pedestrian access gate to the cemetery at the far corner, would have to remain as an access, and that they do not envisage any issue with a path being laid alongside the cemetery as long as the public can still access the cemetery through the gate.

Regarding drainage, the Council acting as the Roads Authority do not support curtilage surface water discharging onto the public road or into its drainage network. To prevent surface water that falls on the site from flowing on to and across the public road the site entrance has been reprofiled, and this amended layout is welcomed by the Council. On the development side of the A838 there is a Council maintained roadside surface water drainage ditch and the latest proposals indicate that the pipe under the existing Fire Station access will be replaced with a roadside ditch which is welcomed. To secure the Fire Station access roadside ditch reinstatement works is delivered by the Applicant, all at their cost and the works are to a standard that is acceptable to the Council, require the attachment of a suitably worded condition. Reason, to maintain the integrity of the public road surface water drainage network and reduce maintenance costs.

Traffic Regulation Order, the Applicant has based the new shared use access visibility of 4.5 metres by 90 metres on a 30mph speed limit. Transport Planning note, the current speed limit on the A838 in the vicinity of the development is 40mph and the new shared use access is in close proximity to the existing car park access. A Traffic Regulation Order (TRO) to change the speed limit to 30mph and extent that limit is required. To secure the delivery of the TRO by the Applicant, require the attachment of a suitably worded condition. Transport Planning request the following points are noted:

- The developer shall cover the costs associated with amending the TRO, provide the appropriate drawings and undertake the site works etc.
- Prior to commencement of any part of the works we require draft TRO proposals to be submitted for our consideration / approval.
- For the avoidance of doubt the development shall not be occupied until such time as the TRO is in place.

To stop up the existing Fire Station access a TRO is required. To secure delivery of the TRO by the Applicant, require the attachment of a suitably worded condition. Transport Planning request the following points are noted:

• The developer shall cover the costs associated with amending the TRO, provide the appropriate drawings and undertake the site works etc.

- Prior to commencement of any part of the works we require draft TRO proposals to be submitted for our consideration / approval.
- For the avoidance of doubt the development shall not be occupied until such time as the TRO is in place.
- 5.5 **Forestry:** No objection, subject to the attachment of a requested condition regarding the employment of a suitably qualified arboricultural consultant to ensure that the approved Tree Protection Plan and Arboricultural Method Statement are implemented to the agreed standard, to secure the successful implementation of the approved tree protection measures.
- 5.6 **Historic Environment Team Archaeology:** No objection. Stated that the application lies within an area of archaeological potential. Recommended that a Written Scheme of Investigation for the required Programme of Archaeological Works has already been submitted and can be approved. Requested a condition is attached to any consent issued which states that no development or work (including site clearance) shall commence until a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.
- 5.7 Landscape Officer: No objections. (First response provided on the 17<sup>th</sup> March 2023) Stated that the landscape and visual Impacts of the proposed development are acceptable, as is the greater part of the landscaping proposals. Although noted the exception to this being the Rose Understorey planting, deemed not appropriate in areas where pedestrians will be in close proximity to the planting, including the locations immediately adjacent to parking spaces or footways. Stated that a hold-back distance of around a metre should be required in these situations to reduce the risk of people being scratched or having clothing snagged. Detailed that this should be reinforced with a requirement in the Maintenance schedule for the hold-back distance to be maintained by cutting back and shaping the rose planting within the boundary of the bed. At present only pruning to remove dead wood and encourage new dense growth is required. Rosa spinosissima varieties spread via basal suckers and as the clump of plant widens it will become increasingly important to ensure that growth does not impinge on peoples ease of access and safety. Mentioned that this suggested hold-back distance would mean that the area currently indicated for Shrub Rose understorey north of the turning head, may not be practicable as it has path on 3 sides. An alternative planting proposal should be made for this area. Shrubs from the Sensory Garden selection may be suitable. Noted that this minor change to the proposals may be agreed with the applicants prior to any consent, or conditioned for action post-consent.

(Second response provided on the 26<sup>th</sup> July 2023) Having looked at the revised plan, happy for the application to proceed on that basis.

#### 5.8 **Development Plans:** No response.

- 5.9 **Historic Environment Scotland:** No objections. Stated that the information received has been considered and do not have any comments to make on the proposals.
- 5.10 **NatureScot:** No objection. Stated that the proposed development is within the Kyle of Tongue National Scenic Area (NSA) and is visible to the west from the Ben Hope Ben Loyal Wild Land Area (WLA). NatureScot have concluded the proposal will not have an adverse effect on the integrity of the Kyle of Tongue National Scenic Area or the objectives of the designation and will not have an impact on the special qualities of the Ben Loyal Wild Land Area. Noted that the building design reflects the other houses in the settlement and the colours will reflect those of the surrounding landscape. Whilst visible within the wider landscape, the proposed development is sited within (and will be perceived as being part of) the clustered settlement of Tongue. The changes will be very localised and are likely to perceived as being in keeping with the surrounding settlement.
- 5.11 **Scottish Water:** No objection, stated that there is sufficient capacity for the proposed development to be served by the fresh public water supply at Loch Calder Water Treatment Works and will be serviced by the public foul drainage network at Tongue Waste Water Treatment Works. Scottish Water records indicate that there is live infrastructure in the proximity of the proposed development area and the applicant should be aware that any conflict with assets identified will be subject to restrictions on proximity of construction. Written permission must be obtained before any works are started within the area of apparatus.

## 6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application:

#### 6.1 National Planning Framework 4

- 1 Tackling the Climate and Nature Crises
- 2 Climate Mitigation and Adaptation
- 3 Biodiversity
- 4 Natural places
- 5 Soils
- 6 Forestry, Woodland and Trees
- 7 Historic Assets and Places
- 12 Zero Waste
- 13 Sustainable Transport
- 14 Design, Quality and Place
- 15 Local Living and 20 Minute Neighbourhoods
- 19 Heat and Cooling
- 22 Flood Risk and Water Management

23 – Health and Safety

## 6.2 Highland Wide Local Development Plan 2012

- 28 Sustainable Design
- 29 Design Quality and Place-making
- 31 Developer Contributions
- 34 Settlement Development Areas
- 41 Business and Industrial Land
- 51 Trees and Development
- 56 Travel
- 57 Natural, Built and Cultural Heritage
- 58 Protected Species
- 59 Other Important Species
- 60 Other Important Habitats and Article 10 Features
- 61 Landscape
- 65 Waste Water Treatment
- 66 Surface Water Drainage

## 6.3 **Caithness and Sutherland Local Development Plan 2018**

Site is located within an allocated site for Long Terming Housing development within the Tongue Settlement Development Area.

### 6.4 Highland Council Supplementary Planning Policy Guidance

Access to Single Houses and Small Housing Developments (May 2011) Developer Contributions (March 2018) Flood Risk and Drainage Impact Assessment (Jan 2013) Highland Historic Environment Strategy (Jan 2013) Highland's Statutorily Protected Species (March 2013) Managing Waste in New Developments (March 2013) Roads and Transport Guidelines for New Developments (May 2013) Standards for Archaeological Work (March 2012) Sustainable Design Guide (Jan 2013) Trees, Woodlands and Development (Jan 2013)

#### 7. PLANNING APPRAISAL

7.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

#### **Determining Issues**

7.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

## **Planning Considerations**

- 7.3 The key considerations in this case are:
  - a) compliance with the development plan and other planning policy
  - b) Justification
  - c) Siting & Design
  - d) Impact on Heritage and Designations
  - e) Amenity
  - f) Access & Parking
  - g) Drainage & Flooding
  - h) Landscaping
  - i) Climate & Nature Crises
  - j) Protected Species
  - k) any other material considerations
  - I) Impact on infrastructure and services and proposed mitigation (developer contributions)
  - m) Minor Departure Justification

# Development plan/other planning policy

7.4 As an application for the erection of a new Health and Social Care Hub which includes a 15-bed care home and GP surgery, the proposals require to be primarily assessed against Policy 23 – Health and Safety. This policy states that development proposals for health and social care facilities and infrastructure will be supported. Furthermore, as the proposed development provides health and social care facilities, which requires to be adequately designed, Policy 14 – Design, Quality and Place of the NPF4 requires to be considered within any planning assessments undertaken. This policy states that proposals will be supported where they are consistent with the six qualities of successful places. Due to the proximity of the application site to a Category A Listed Building with significant potential for the listing to be impacted by this proposal, Policy 7 – Historic Assets and Places requires to be assessed. This policy states that development proposals with a potentially significant impact on historic assets or places will be accompanied by an assessment which is based on an understanding of the cultural significance of the historic asset and/or place. The assessment should identify the likely visual or physical impact of any proposals for change, including cumulative effects and provide a sound basis for managing the impacts of change. Proposals should also be informed by national policy and guidance on managing change in the historic environment, and information held within Historic Environment Records. In addition, the proposed development is situated adjacently to the Designed Landscape of Tongue House, and as such, Policy 7 also states that proposals affecting nationally important Gardens and Designed Landscapes will be supported where they protect, preserve or enhance their cultural significance,

character and integrity and where proposals will not significantly impact on important views to, from and within the site, or its setting. With the proposal also being situated within the Kyle of Tongue National Scenic Area, Policy 4 -Natural Places is required to be taken into consideration, which states that proposals which will affect a National Scenic Area, developments will only be supported where: the objectives of the designation and overall integrity of the area will not be compromised; or, any significant adverse effects for which the area has been designated are clearly outweighed by social, environmental or economic benefits of national importance. Due to the proposed development being situated within the Tongue Settlement Development Area, Policy 15 -Local Living and 20 Minute Neighbourhoods is also of relevance, which states that development proposals will contribute to local living, and to establish this, consideration will be given to existing settlement pattern, and the level and quality of interconnectivity of the proposed development with the surrounding area, including local access to sustainable modes of transport, employment, shopping, healthcare premises, publicly accessible toilets as well as educational and recreational facilities. Additionally in response to the ongoing climate and nature crises, and to enhance biodiversity, policies; 1 - Tackling the Climate and Nature Crises, 2 – Climate Mitigation and Adaptation, and 3 - Biodiversity, of the NPF4 require to be considered. These policies state that when considering all development proposals, significant weight will be given to the global climate and nature crises, with development encouraged to minimise emissions, adapt to current and future risks of climate change, and include appropriate measures to conserve, restore and enhance biodiversity. Other pertinent policy considerations from the NPF4 include policies: 5 – Soils, 6 - Forestry, Woodland and Trees, 12 - Zero Waste, 13 - Sustainable Transport, 19 – Heat and Cooling, and 22 – Flood Risk and Water Management.

- 7.5 As identified by the Caithness and Sutherland Local Development Plan, the application site is a proportion of the allocated development site for Long Term Housing, TG03, which is situated within the Tongue Settlement Development Area. 'Long Term Site' is defined within the CaSPlan as sites identified which indicate the likely preferred direction for growth beyond the period of the Plan. The suitability of these sites for development has been subject of initial consideration through the preparation of this Plan. However, they are not being invited for development within this Plan period and allocated sites are expected to be developed before any long-term sites can be considered. During future reviews of the Plan, the council will consider bringing forward any of those sites as allocations (subject to further assessment and identification of any developer requirements) or whether they still reflect the likely preferred direction for growth and should remain proposed as long term sites. It is stated that the councils will review the Plan at least every five years.
- 7.6 Highland-wide Local Development Plan is also of relevance, as the proposal is located within the Tongue SDA the application required to be primarily assessed against Policy 34 Settlement Development Areas. This policy states that the council supports development within the SDA providing the proposal satisfies the Design for Sustainability requirements of Policy 28 and all other relevant policies of the plan. Proposals will also be judged in terms of their compatibility with: the existing pattern of development, the surrounding

landscape and local character, adjacent land uses, and; the effect on natural, built and cultural heritage. Policy 57 – Natural, Built & Cultural Heritage requires to be considered within any assessments undertaken. This policy states that for features of national importance the council will allow developments that can be shown not to compromise the natural environment, amenity and heritage resource. Where there may be any significant adverse effects, these must be clearly outweighed by social or economic benefits of national importance. It must also be shown that the development will support communities in fragile areas who are having difficulties in keeping their population and services. Other pertinent policy considerations from the HwLDP include policies: 51 - Trees and Development, 56 – Travel, 61 – Landscape, 65 - Waste Water Treatment and 66 - Surface Water Drainage.

## Justification

- 7.7 The application site is an allocated site situated within the Tongue SDA as defined by the CaSPlan. Site TG03 as denoted within the CaSPlan is identified as an allocated Long Term Housing site, with the development of these sites not invited within this Plan period and allocated sites expected to be developed before any long-term sites can be considered. The site is also allocated to provide housing provision rather than the proposed Health and Social Care Hub which ideally would be required to be sited on an allocated Mixed-Use development site, which in the Tongue SDA regards sites TG04 and TG05.
- 7.8 During the initial stages of developing the proposal there was an ambition to locate the new facility close to the existing GP surgery situated in Tongue to consolidate service provision, and as such, allocated site TG04 was earmarked as the preferred location for the new care hub. Site TG04, is situated to the front of the Category B Listed Lundies House, which is located further to the south of the current application site. Wildland Limited, who owns Lundies House, raised significant concerns that the siting of a care hub development to the front of this listed property would adversely affect the setting of this protected heritage asset as well as the iconic views from the village to the surrounding Kyle of Tongue NSA. As such, Wildland have chosen to help support both the NHS and The Highland Council in delivering the new facility, proposing the development to be located on an alternative site within the Tongue SDA, with added value brought to the project by the provision of an additional budget to enhance the new facility. In addition, Wildland have included a new GP facility within the proposed Care Hub, replacing the existing GP surgery within Tongue which is noted in the application as being near the end of useful operation. Therefore, the chosen application site TG03 has been identified as the only potential alternative location for the proposed care hub, with this area of land purchased by Wildland. It is worth noting that Wildland have committed to providing a public open space at site TG04, which would remain undeveloped and in use as a community open space in perpetuity.
- 7.9 Pre-application advice was previously provided by the Planning Authority on the chosen site under application ref. 21/02672/PREMAJ, for the development of a Care Hub and 6 "Fit Homes". The response concluded that the site (TG03) was allocated in the adopted CaSPlan as a 'long term' allocation, and as such

the proposal did not fully accord with this adopted LDP, with any future application requiring to demonstrate convincingly why allocated site TG04 could and/or should not accommodate the care hub proposals, in planning terms and provide details of the developer's proposals for the use of TG04; in addition, to demonstrating the suitability of the proposed site (TG03) for the proposed use, with reference to all relevant elements of the Development Plan. Therefore, as the application proposes the development of an allocated Long Term Housing site, TG03, the required justification has been provided within the supporting information to distinguish reasoning for its chosen siting in comparison to site TG04, and other available allocations within the Tongue SDA.

7.10 In terms of the use of site TG03, it is noted within the application that the design and layout of the development on the chosen site allows the proposal to respond positively to the setting, ensuring that the building enhances the character of the area. In terms of impact on protected heritage features it is also stated that the building form, position, relationship with the topography, orientation, massing, external materials, landscaping and site layout of the proposal have all been fully considered in terms of the relationship with the local Listed Buildings. The site is also justified as being within walking distance to all of the Tongue SDA, with suitable footpath provision provided as well as the availability of the local bus services. Due to the dispersed nature of the population and operational territory for the proposed care hub, the application states that this will inevitably mean that a key public service facility of this type will generate private car use. Although site TG03 is highlighted as a Long-Term Housing opportunity, the provided justification notes that it does lie within the Tongue SDA set out in CaSPlan, and as such, the site could also be considered 'white land', or land with potential to accommodate windfall development. In terms of the availability of deliverable housing land in Tongue this can be deemed as limited, due to constraints of the allocated housing sites; TG01 is wooded in parts and has steep gradients and difficult access, and TG02 is more readily developable but has not been available for development due to probate matters. The provided justification also notes proposals from the applicant for the development of the remaining area of TG03, to the east of this proposal, for the siting of housing to help meet of identified local housing need, which is further justified by the unlikeliness, for the aforementioned reasons, that this need can be met in the short to medium term by other allocated sites in Tongue. It is worth noting that the applicant has a current proposal pending consideration for Pre-application advice from the Planning Authority regarding the erection of 8no. houses and associated new accesses, on the remainder of site TG03, under application ref. 23/03100/PREAPP, which further demonstrates the applicant's commitment to providing housing development. At the time of publication, the CaSPlan was produced at a legislative stage where a 5-year review of an LDP was required. However, due to the change in regulations LDP's are now required to be reviewed every 10 years. Therefore, as the CaSPlan, adopted in August 2018, is now approaching its 5-year review stage it is considered that although regulations have changed, there is perceived justification that the TG03 site can be developed at this time on the basis of housing need and a lack of suitable alternative sites locally.

- 7.11 In terms of the justification for the proposed development not to be sited on the Mixed-Use allocated site TG04, it is stated within the application that the impact of the development on Listed Buildings and the National Scenic Area would have been detrimental. The application indicates that the initial proposal for the siting of a care hub at the TG04 site, due to a restricted project budget prior to Wildlands lack of involvement, the building would have consisted of a simplified block form with standard external materials, in addition to the portrayed limited scope for landscaping and design enhancements. Furthermore, it is noted within the application that the physical characteristics of the TG04 site would have resulted in the building being located roadside, adjacent to the A838, with parking and servicing areas to the east, next to the principal elevation at the Category B Listed Lundies House, with the building position well forward of the Category A Listed Church frontage and building line.
- 7.12 The various perceived impacts on the adjacent Listed Buildings and the relationship of the Tongue village to the surrounding National Scenic Area, if the care hub was to be sited on TG04 have been noted within the application. The justification portrays the impacts as follows;
  - Looking south from a position at the A838 north of the Church, where the care hub would have been visible beyond and in front of the Church in a main view corridor.
  - Looking south from a position at the A838 in front of or south of the Church, where the care hub would have been prominent in the iconic view through the centre of the village towards Ben Loyal and the National Scenic Area. Views to Lundies and the Tongue Hotel would also have been obscured.
  - Looking north from a position south of the Church at the A838, where views of the Church and Lundies would be obstructed.
  - Looking west from Lundies, where the car parking, service areas and rear elevation of the care hub would have been adjacent to the Listed building and grounds, diminishing its setting and interrupting the panoramic view to Castle Varrich and the Kyle of Tongue from the principal rooms.
  - Looking north from the Kyle Centre and the Tongue Hotel, where the development would sit in the foreground of views towards the Parish Church and the Kyle of Tongue.
  - Looking back to the village from Castle Varrich, where the care hub development would have infilled the green space at TG04 which provides a setting for the two adjacent listed buildings and the Tongue Hotel.
- 7.13 Aside from visual impacts, the provided justification also states the TG04 site has the potential to be a key component of the Tongue village. Historically, it has been indicated that the site was former Glebe land associated with the Parish Church, with previous uses including the provision of a village green for community events. The provided supporting information states that CaSPlan notes the expectation that Tongue will grow towards the north over a period of time by allocating development sites, and proposals for the former Burr's

garage site and the Mixed-Use allocated TG05 have been brought forward but not yet delivered. As the village grows towards the north, it is deemed within this application that the TG04 site can consolidate the heart of the village, bringing an attractive and useful open space. Creating a green public space at TG04 as proposed by Wildland is distinguished within the justification as a method to protect the setting of the Listed Parish Church and Lundies House, in addition to the iconic Tongue Hotel. The application details that this opportunity is central to the partnership arrangement between all interested parties, with an agreement provided from Wildland to purchase the TG04 site from the Council and to fund proposals for public open space through a community engagement-led process. Whilst purchase of the site will not conclude until completion of the care hub development, design work for this area of open space is anticipated commence in advance of that date. In addition, Wildland have also agreed to purchase the former GP facility adjacent to TG04 from NHS Highland as part of the arrangement for the construction of a new GP centre within this application.

7.14 Overall, the provided justification concludes suitability for the proposed development to be sited on the chosen TG03 site, given the stated various constraints of the other allocated sites within the Tongue SDA, in particular TG04. In accordance with Policy 41 of the HwLDP, the applicant has demonstrated reasoning to why the proposals cannot reasonably be accommodated on existing allocated sites. Therefore, the siting of the proposed development can be considered acceptable in context of the provided justification, however, this is subject to the assessment of the proposal in terms of other significant materiel considerations below.

#### Siting & Design

- 7.15 The village of Tongue portrays a predominantly clustered settlement pattern with the immediate surroundings of the site demonstrating a mix of housing development, open plots of land and numerous protected heritage assets, the closest of which is the listed St Andrew's Church, as well as some business and industrial development located to the northwest of the site. Therefore, due to the clustered settlement pattern, with various land uses located in proximity to the site it can be considered that the siting of a new care and social hub would be perceived as in keeping with surrounding uses. In addition, by siting the proposal in the chosen location this will allow the development to create new pedestrian links between currently disconnected areas of the SDA. In terms of assessment against the principal policy consideration of the NPF4, Policy 23 Health and Safety, as the proposal regards the provision of health and social care facilities the application can be considered to be supported by this policy.
- 7.16 The proposed care hub is sited to the middle of site TG03 in order to mitigate against the impact of the development on surrounding heritage, but also to allow the development to access an area of the site which is wide enough to accommodate the buildings footprint behind the Fire Station. It is the Planning Authority's view that due to the location of the Fire Station and closer proximity to the nearby listed St Andrews Church of the lower lying areas of the site, the chosen location within the site can be considered acceptable. The proposal

also notes that to make use of the sloping nature, landform and topography of the site, the chosen building form allows the new facility to portray a split-level structure that makes efficient use of the site characteristics. Furthermore, due to the sloping nature of the site, the proposed building requires to have a linear form, with the broad distribution of the development along a contour considered similar to the existing settlement area in which it is situated within.

- 7.17 Although the application site is note designated Croftland the proposal still requires to be assessed in accordance with Policy 5 Soils of the NPF4. Scotland's National scale land capability for agriculture map distinguishes the site to be predominantly Class 4.2 Land capable of producing a narrow range of crops, primarily on grassland with short arable breaks of forage crops. Nevertheless, a small section of the site, located to the southwest is distinguished as Class 4.1 Land capable of producing a narrow range of crops, primarily grassland with short arable breaks of forage crops and cereal. Therefore, it is considered that the application site is not prime agricultural land and as such, the proposed development is considered compatible with Policy 5 of the NPF4.
- 7.18 In terms of design, the proposal will be the largest single development within the Tongue SDA, therefore it is required to be carefully considered. The proposed elongated and woven footprint as well as the varving heights and external material finishes help to break up the overall scale of the new facility, with the proposed landscaping works screening the care hub, ensuring it does not appear obtrusive within its surrounding area. The twists made to the buildings form, to create the aforementioned woven footprint, allows the new facility to create three distinct principal elements, all defined by separate entrances to serve the care home, staff administrative areas and the GP surgery. The operational requirements of the new facility mean that the lower level will contain the GP surgery in addition to other associated uses, with the GP service located here to allow it to be easily reached and located by visitors. In addition, the care home is required to be situated on a single level to ensure ease of access and to meet operational requirements such as supporting residents' independent movements, and optimising care staff movements and visibility. The chosen scale and massing of the new facility is considered acceptable, with the chosen layout helping to provide distinction within the design, breaking up the overall scale whilst ensuring of an effective and smooth operation of the new facility when in use. The proposals design of a solid plinth topped by an upper floor split into 6 blocks, with the misalignment between these lower and upper levels, creates further variation to the building form. In terms of exterior appearance, the adoption of a layered concrete lower level which appears built into the natural landscape is welcomed, with the adoption of green roofs upon this level allowing the development to blend into the natural surroundings whilst also bringing environmental benefits in terms of habitat resource and biodiversity enhancement. The use of copper cladding for the upper level is a modern material which will visually enhance the surroundings it is situated within. The differing material finishes between the lower and upper levels is a further method which will create a degree of contrast between the floors, helping to break up the overall scale of the new facility. The proposed building siting and design, will portray a new facility which appears to have a solid plinth built into the landscape with an upper

level consisting of 6 blocks, helping to give the building distinctiveness and suggest a character much more domestic than institutional. The proposed bedroom blocks along the upper level and the relatively small scale of these helps moderately portray a domestic building identity which is similar to the nearby houses found within the surrounding area, further backed up by the provided visualisations and the comment received from NatureScot. A glazed courtyard brings daylight into the heart of the building, with sufficient fenestration throughout allowing for suitable use of natural light. Due to the perceived design of the new facility, when viewed within the wider landscape, the proposal can be perceived as being in keeping with the appearance of surrounding development. Overall, it can be deemed that in siting and design terms the proposed development can be considered acceptable.

#### Impact on Heritage and Designations

- The closest protected heritage asset to the proposed development is the 7.19 Category A Listed St Andrews Church, approximately 90m to the southwest of the new care hub. Due to its close proximity, it is considered that there is potential for the proposal to significantly impact on the setting of this nearby listing. The councils Historic Environment Team (HET) raised an objection. HET consider that the setting of the nearby listed church will be adversely affected by this proposal, due to the over prominence and incongruous nature of its design and siting. By positioning the care hub at the highest part of the site HET feel this gives the proposal maximum prominence and landscape impact, which is further emphasised by the excessive length and bulk of the proposed building, with the visual impact being one of a long industrial/commercial scaled block snaking across the landscape, with repetitive upper facade treatment and overly solid base. In response to this objection, the applicant has provided further reasoning behind the chosen siting and design in relation to the nearby protected heritage assets.
- 7.20 Whilst the Planning Authority note the comments received from HET which have been fully considered, firstly it can be noted that the chosen site is perceived to have a reduced impact on nearby heritage assets in comparison to the previous earmarked site TG04. As already mentioned, for the reasons stated within paragraph 7.12 of this report, the development of TG04 would be considered to result in an increased level of impact of the proposal on the listed St Andrews Church in addition to Lundies House, when considered against the chosen siting at TG03. The application site lies beyond and behind the listed church and the core group of Listed Buildings, structures and central open space referenced with TG04. Therefore, the integrity of this key grouping of protected heritage assets is not prejudiced by locating the development to the north on site TG03, rather than the previous site, which would have resulted in the new health facility positioned in front of the building line of the listed church, screening views of the Listed Building on approach from the south. Overall, by siting the proposal in the chosen location on the upper level of the application site, this allows the new care hub to maintain a separation distance from nearby listings further mitigating against any perceived adverse impact.

- 7.21 The new health and social care hub has been sited and designed predominantly to meet the operational requirements of the proposal. As stated above the care home and associated facilities need to be self-contained on a single floor and to achieve this, the design locates the care home on an upper level, with a narrower ground floor accommodating other facilities. The building pivots to follow the site contours and the upper floor is divided into six smaller blocks to avoid an over dominant and unaesthetically pleasing single large, blocked structure. Therefore, it is considered that when balancing the operational requirements of the new facility and the constraints of the site, the proposed design will allow the lower level of the development to bed into the sloping nature of the site. As demonstrated by the provided visualisations, due to the embedded nature of the lower level, the overall facility when viewed from a distance will appear as a small row of houses, which coheres to the surrounding area and local character which predominately comprises housing development. The chosen materiality of the development, selected due to the low carbon gualities, demonstrates compatibility in terms of colouring with the surrounding area and village of Tongue, with the proposed copper browning appearing to be compatible with the browns of the bracken and moorland covered slopes which can be viewed from the site, in addition to the surrounding housing. The visualisations in relation to the proposal and the nearby listed church, note that the included landscaping works will further shield the new facility. As such, despite the objection from HET, it is the Planning Authority's view that when taking into account the operational requirements of the new facility and the suitability of the proposed siting and design in comparison to the surrounding area, although the application will impact on the setting of the church, this is not considered to be so significantly detrimental that it would warrant refusal. On balance given the aforementioned considerations, it can be considered to have an acceptable impact on the setting of the nearby protected heritage asset. Due to the location of the development beyond and behind the church, the new care hub and St Andrews Church will only appear together when viewed from the southwest of the site, within or surrounding the nearby heritage asset, further demonstrating the limited impact the development is anticipated to have, which has been further mitigated by the sufficient landscaping. As noted by Policy 57 of the HwLDP where there may be any significant adverse effects on heritage resource, these must be clearly outweighed by social or economic benefits of national importance, whilst also demonstrating that the development will support communities in fragile areas who are having difficulties in keeping their population and services. As Tongue is a designated fragile area as shown by the HIE map, the development can be considered to providing significant social and economic benefits to the area by providing a high-guality health and social care facility, helping to benefit the local community by containing a required service in the village. Therefore, the proposal in terms of features of national importance can be considered to comply with Policy 57.
- 7.22 As the proposal is situated within the Kyle of Tongue National Scenic Area, the special qualities of this designation require to be preserved and not adversely impacted by the proposed development. The provided Landscape and Visual Appraisal in support of the application states that there will be no direct impact on the NSA. The provided assessment notes changes caused

by the development to the existing settlement pattern and coastal scenery will be very localised in the context of this large landscape designation, with the development appearing as an extension to the existing settlement of Tongue. Situated within an area of the NSA which is partially characterised by the village of Tongue and a pattern of houses and Croftland. The provided Landscape and Visual Appraisal concludes that the development has been designed to appear as a series of smaller houses rather than one large health facility, with the colours of the external materials according with the surrounding landscape and existing development. Therefore, as denoted on the provided visualisations the proposed development appears to suitably fit into the surroundings, appearing as a further area of housing cut into the hillside, and in a local context of the NSA which is characterised by scattered houses and crofts on the hillside, the proposal can be considered to not adversely affect the special qualities of the designation. These points made can be further backed up by the consultation response received from NatureScot which also concluded that the proposal will not have an adverse effect on the integrity of the Kyle of Tongue National Scenic Area or the objectives of the designation and will not have an impact on the special qualities of the Ben Loyal Wild Land Area. Noting that the building design reflects the other houses in the settlement and the colours will reflect those of the surrounding landscape. Whilst visible within the wider landscape, the proposed development is sited within and will be perceived as part of the settlement of Tongue. Therefore, despite the comments regarding the impact on the NSA within the councils Historic Environment Team - Conservation objection to the proposal, it is the Planning Authority's view that the proposed design is of a high architectural quality, with the chosen siting ensuring the new health facility coheres with the existing settlement and local character in proximity of the site. As such, in accordance with the comment received from NatureScot and the provided assessments, the application will not disregard the special qualities of the NSA and can therefore be considered acceptable.

7.23 With regards to impact of the development on the protected Tongue House Designed Landscape, located immediately to the north of the site, although the comments provided by HET are noted, it is considered that the proposed development would also not have an adverse impact on this area of designation. In consultation with Historic Environment Scotland, who manage the Designed Landscapes, no objections to the application were made, demonstrating the proposals suitability in being located in proximity to this designation. Similar to the reasons stated above, the proposed development is considered to appear like a row of smaller housing blocks within a surrounding area that predominantly consists of scattered housing development. Due to the considered coherence with the existing local character as well as the sufficient landscaping proposals included within the application which will further screen the development, it is the Planning Authority's view that the proposed care hub will not appear incongruous and over prominent within its chosen siting. Therefore, when fully implemented it is considered that the proposal will blend into the nearby Designed Landscape and not adversely affect the special qualities of this designation. In addition, groups of trees are proposed to be located along the interface with the Designed Landscape, where the original woodland providing shelter from crosswinds has been lost, further screening and ensuring the development blends into the surrounding natural environment. In accordance with Policy 7 of the NPF4, in relation to the nearby Designed Landscape, the proposal is acceptable given that it preserves the cultural significance, character and integrity of the area and does not significantly impact on important views to, from and within the site, or its setting.

Due to the application site being situated within an area recognised for 7.24 archaeological potential, the councils Historic Environment Team -Archaeology was consulted on the application and raised no objections. HET have advised that a Written Scheme of Investigation for the required Programme of Archaeological Works has already been submitted within the application and can be approved. HET request that a condition is attached to any consent issued which states that no development or work (including site clearance) shall commence until a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation. Following further correspondence between the applicant and HET, it has been confirmed that no initial walkover survey is required on this occasion and the provided Written Scheme of Investigation for an evaluation by trenching can proceed.

#### Amenity

- 7.25 The submitted visualisations in support of the application distinguish that in terms of amenity the proposed care hub is considered to be of sufficient distance from any neighbouring property in proximity to the application site. Therefore, it is considered that the proposed development will not result in any invasion of privacy, blocking of daylight or overlooking issues with surrounding properties. However, given the scale of the development proposed, there are concerns regarding the impact of construction activities upon local residents. The provided Construction Management Statement (CMS) in support of the application addresses the amenity concerns associated with noise levels during both the construction and operational phases of the development.
- It is noted that the appointed contractor is to ensure they provide good 7.26 communication and liaison with occupiers of neighbouring properties and the wider community which is welcomed to manage any amenity impacts caused from the construction of the new facility. If works considered of a high noise level are to be undertaken outwith typical working hours, 8am to 7pm Monday to Friday and 8am to 1pm on Saturdays, then a detailed construction noise assessment for the written approval of the Planning Authority shall be submitted prior to the commencement of the associated works, which is recommended to be secured by condition. It is worth mentioning that works with an inaudible associated noise at the curtilage of any noise sensitive property may still be undertaken outwith typical working hours. Regardless of whether a construction noise assessment is required, it is expected that the contractor will employ the best practicable means to reduce the impact of noise from construction activities. The applicant will be required to submit a scheme demonstrating how this will be implemented which shall be secured

by condition and was also advised within the previous pre-application advice provided regarding the development. In terms of noise levels when the new facility is in operation, it is stated within the application that this is unlikely to be a significant issue, but consideration has been given to the siting of plant and equipment in relation to any noise sensitive premises. The plant room will be located to the northwest of the building on the lower level, away from existing the house to the south of the building and any potential further housing development within TG03. A standard noise condition is recommended to be attached which ensures noise levels associated to plant and operational equipment is kept to an acceptable level. The provided CMS also details consideration and control measures for the suppression of dust during construction activities which is further welcomed and is recommended to be secured by condition.

#### Access & Parking

- The proposed development will be accessed via a new bellmouth type access 7.27 of the public A838 road to the west of the site. The proposed new access location will be situated approximately 25m from the existing access serving Burrs Garage and 18m to the south of the existing access that serves the Fire Station. As part of the proposals, the existing Fire Station access of the A838 would be stopped up, with road access to the Fire Station also provided by the proposed Health and Social Care Hub access track. The proposal for a shared access with the Fire Station is welcomed by the council, however, as noted within the consultation response received from Transport Planning, the new shared use access visibility splays of 4.5m x 90m has been established based on a 30mph speed limit along the adjacent public road. The current speed limit on the A838 in the vicinity of the development is 40mph and the new shared use access is in close proximity to an existing car park access. Therefore, as advised by Transport planning a Traffic Regulation Order (TRO) to change the speed limit to 30mph and extent that limit is required, which shall be secured by condition. In addition, to stop up the existing Fire Station access a TRO is required, with a condition also recommended to secure this.
- 7.28 Transport Planning have also noted that there is an existing car park to the east of the proposed development and there is existing footway provision along the A838 from the village to the car park. The car park serves as a recycling centre and parking for the nearby cemetery. The car park access is in close proximity to the proposed shared use access to the Health and Social Care Hub and Fire Station and the car park access is not designed to current design standards. Therefore, the proposed development also includes the instalment of a new footpath between the new shared access junction and the existing car park to the east with a new footway type crossing also formed across the existing car park, including provision to resurface this existing access junction and bellmouth as required by the councils Transport Planning team. It is considered that the new continuous footway provision will assist in encouraging lower traffic speeds and thereby, creating a safer environment for all pedestrians and cyclists which is of significant importance. Therefore, to secure the delivery of a continuous A838 footway with illumination by the applicant, it is recommended a suitable condition is attached to any consent.

- 7.29 In terms of parking, it is proposed for a total of 51 vehicle parking spaces to be provided within the curtilage of the site. The lower parking area to the southwest of the site will accommodate 21 vehicle parking spaces and one space for a motorcycle, with the remainder of the parking provision located to the upper level of the site with 20 spaces provided for GP patients, 7 spaces for care home visitors in addition to 3 accessible blue badge spaces and a bay for drop-off, deliveries and service vehicle use. The proposed parking arrangements are considered to comply with the councils Roads and Transport Guidelines for New Developments and can therefore be considered acceptable, with the recommendation that a condition is used to secure the proposed parking provision. With regards to vehicle turning provision, a turning area will be provided at the northern end of the access road, and the submitted drawings demonstrate the suitability of the proposed arrangements for larger vehicles such as fire engines and refuse trucks. Therefore, the proposed parking and turning arrangements are considered to comply with the council's guidelines and can therefore be considered acceptable, with the recommendation that a condition is used to secure the proposed arrangements.
- 7.30 In terms of pedestrian routes provided within the site, the main pedestrian approach is via stepped access from the car park or a step-free alternative footpath following the existing cemetery wall. Following concerns raised by the Planning Authority regarding a lack of step free pedestrian access connecting the lower car park to the new care hub, with no initial provision for people utilising this car park to access the provided pedestrian step free route, and concerns this would result in people walking along the access road. Two crossing points have been included within the vicinity of the lower parking area, to connect to the relevant pedestrian route, all of which ensures of sufficient step free pedestrian access throughout the site. In addition, the proposal entails the resurfacing of the existing route to the east of the Parish Cemetery as well as a new link path across the adjacent recycling point to connect the proposal to existing footpath provision which leads to the Tongue village. Therefore, the proposed development will be accessible by pedestrians and cyclists, with the inclusion of bicycle storage provision within the site, all ensuring active travel links are promoted within the development. As such, with regards to the representations received, the proposed development for the community of Tongue, with footpath provision from the village ensuring there is no requirement for vehicle use. The use of public transport is also encouraged by the council, and as noted within the submission as well as the response received from Transport Planning, local bus timetables refer to bus stops on the A838 in the vicinity of the Tongue Fire Station and currently there is no existing bus stop infrastructure in place in proximity to the site. Therefore, due to the benefits of the use of public bus services, a condition is recommended to be attached which requires the applicant to deliver bus stop infrastructure on the A838 in the vicinity of the Health and Social Care Hub. The bus stop infrastructure required on both sides of the road (A838) is: bus stop signage, a bus stop shelter and electronic timetable information.

- 7.31 The proposals for a Construction Traffic Management Plan as detailed within the provided Transport Statement in support of the application is welcomed, and a condition should be attached for a CTMP to be submitted for approval and fully implemented throughout the development process.
- 7.32 Finally, to preserve road safety and to ensure the condition of councilmaintained roads, the council as Roads Authority do not support curtilage surface water discharging onto the public road or into the roadside drainage network. To prevent surface water that falls on the site from flowing on to and across the public road, the site entrance has been reprofiled, which is welcomed. In addition, as stated by Transport Planning, on the development side of the A838 there is a Council maintained roadside surface water drainage ditch, with the proposals indicating that the pipe under the existing Fire Station access will be replaced with a roadside ditch which is accepted by the Planning Authority. To secure the Fire Station access roadside ditch reinstatement works is delivered by the applicant, it is recommended that a condition is attached to any consent to maintain the integrity of the public road surface water drainage network and reduce maintenance costs.

## **Drainage & Flooding**

- Scottish Water has confirmed that the proposed development will be able to 7.33 connect onto both the public fresh water supply and public foul drainage network which is considered acceptable. In terms of surface water, pursuant to Policy 22 of the NPF4 and Policy 66 of the HwLDP, the surface water of all proposed development must be drained by Sustainable Urban Drainage Systems (SuDS) designed in accordance with The SuDS Manual (CIRIA C753) and, where appropriate, the Sewers for Scotland Manual 4th Edition. Each drainage scheme design must be accompanied by particulars of proposals for ensuring long-term maintenance of the scheme. Development proposals shall not increase the risk of surface water flooding to others, or itself be at risk, and should seek to minimise the use of impermeable surfacing. As such, it is proposed within the application for surface water run-off from roofs and hard standing areas to be collected, treated and attenuated before being discharged into the existing burn at the east boundary of the site in keeping with pre-planning consultation feedback. Due to the provided topographical nature of the site and given the low likelihood of pluvial flooding FRM are satisfied that surface water can be managed through the site drainage. Ground conditions have been deemed unsuitable for soakaways and discharge of surface water into the combined sewer is deemed unacceptable by Scottish Water. Appropriate attenuation and treatment of surface water within the site has been proposed in accordance with relevant guidelines. Throughout the site the adoption of SuDS in the forms of Swales, Filter Strips and Permeable Paving is further welcomed to manage surface water and the proposed arrangements shall be implemented in full, with the provided monitoring and inspection procedures appropriately undertaken in perpetuity, all of which should be secured by condition.
- 7.34 In consultation with the councils Flood Team, SEPA's flood maps indicate the site lies outwith the 1:200-year annual flood exceedance extents and therefore potentially at low to medium risk of Fluvial flooding. Despite the nearby

Kirkiboll Burn and an unnamed watercourse to the north, based on the information provided within the Flood Risk Assessment on flood risk, FRM raised no objection subject to conditions. Due to the chosen location of the new care and social hub, as well as the provided topographical information, should the watercourse overtop, FRM state that it is likely to spill towards the development access track, but given the steepness, this will likely naturally follow its route back to the watercourse itself, therefore giving the development a lower likelihood of flooding from this source. As requested by FRM a condition should be attached which states that there will be no raising of ground levels on the site and Finished Floor Levels are to be a minimum of 150mm above surrounding ground levels, with a further condition also added regarding the provision of a minimum buffer zone of 6m kept clear between all water features and free from any development. FRM note support of the recommendation within the FRA that the access road track be set at a level 41.25mAOD (which is the predicted 1:200 year +CC peak water level, plus an additional 300mm of freeboard) which will maintain safe and dry access and egress, and therefore this shall also be secured by condition. It is worth noting that according to SEPA's guidance the application site comes under the heading of "Most Vulnerable Uses" and as such, this category of site, located within a low to medium risk area within a sparsely developed area, is generally considered to be unsuitable for additional development except in exceptional circumstances. However, FRM are satisfied that the proposed development shown, and the information provided demonstrate that the proposal will be set back and elevated above the watercourse and therefore it is unlikely that the proposed care hub will flood from this source. Therefore, in terms of flood risk the proposed development can be considered acceptable, subject to the attachment of relevant conditions.

#### Landscaping

Due to the site's location within the Kyle of Tongue NSA and adjacent to the 7.35 Tongue House Designed Landscape, the landscaping proposals associated to the development require to be of a high standard. As such, the proposed landscaping works are outlined to work with and enhance the special qualities of the sites landscape setting, by combining the sensitivity of the siting to the requirements of the new building. The provided landscaping proposals aim to implement various species of tree, shrub, plant and hedge planting as well as the inclusion of bioswales, green roofs and amenity grassed areas throughout the site. The proposed planting types have been designed for their particular location within the site. Given the proposed development regards new health and social care facilities, with a 15 bed care home included, the inclusion of sensory garden proposals is considered a beneficial element which has significant potential to enhance the wellbeing of residents and patients by allowing them to maintain a connection to the natural environment and associated wildlife. In terms of the landscaping proposals, the proposed planting has been carefully considered by the applicant to ensure it is appropriate to each area of the site and will provide significant benefits to all users of the new care and social hub. Therefore, by proposing a high standard of landscaping which will enhance the environment in which the proposed development is to be located within as well as cohering to the nearby natural designations, the proposed planting can be considered acceptable. lt is

recommended that a condition is attached for the approved landscaping proposal to be fully implemented on site in accordance with the provided Soft Landscape and Maintenance Plan. In consultation with the councils Landscape Officer, following initial concerns raised with regards to rose understorey planting, the revisions provided by the applicant ensure that the landscape and visual impacts of the proposed development can be deemed acceptable.

- 7.36 It is worth noting that the proposed inclusion of outdoor furniture such as numerous benches throughout the site is considered a positive addition to the proposal which will allow residents, patients and staff members attending the new care hub as well as the local community the opportunity to relax outdoors within the natural surroundings, creating opportunities to promote views across the Kyle of Tongue and to the Ben Loyal. The inclusion of waste bins throughout the site is also welcomed, in order to help prevent any littering and aid the levels of waste pollution throughout the new health and social care facility.
- The application site does not include any existing trees within the redline 7.37 boundary apart from a small group of young willows, along the burn section, and a mature Alder. The application notes that the Alder is located outside the redline boundary on adjacent land, but overhangs the site, with its roots most likely extending into the site. To maintain the minimum 25m distance between the proposed shared access of the A835 and the Burr's Garage access the removal of the small group of willow trees is required. In consultation with the councils Forestry Officer, who raised no objection to the proposed development, the proposed tree planting will ensure that there is a significant increase in tree within the application site and as such, these arrangements can be considered acceptable. In accordance with Policy 6 of the NPF4, proposals that enhance, expand and improve woodland and tree cover will be supported. As requested by the Forestry Officer, a condition should be attached, regarding the employment of a suitably gualified Arboricultural consultant to ensure that the Tree Protection Plan and Arboricultural Method Statement are implemented to the agreed standard, to secure the successful implementation of the tree protection measures.

#### Climate & Nature Crises

7.38 As already mentioned, the recently adopted NPF4 sets out that when considering all development proposals significant weight will be given to the global climate and nature crises with development encouraged to minimise emissions and adapt to current and future risks of climate change. It is intended that the building will be heated via underfloor heating elements powered by Air Source Heat Pump (ASHP) and Ground Source Heat Pump (GSHP) serving the NHS and care home area rooms, as well as the domestic hot water system. The proposed renewable energy technologies are welcomed during the current climate emergency. In addition, the proposed development also entails sufficient amounts of glazing, such as the main communal dining and social area, with the internal courtyard acting to bring more light and fresh air to the mid sections of the plan, with the central upper ground floor corridor animated with natural light. Overall, these examples of included fenestration within the proposal ensures sufficient use of natural light

is utilised throughout the new facility preventing the sufficient usage of energy to light certain areas of the care hub, aiding the battle against climate change. Therefore, by including renewable energy provision and promoting the use of natural light the application can be considered to be in accordance with both policies 1 and 2 of the NPF4.

Policy 3 of the NPF4 states that local development proposals should include 7.39 appropriate measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance, with proposed measures proportionate to the nature and scale of development. Therefore, given the perceived scale of the proposal, it is considered that there requires to be sufficient provision for biodiversity gain as a result of the development. As such, the application includes significant landscaping proposals such as various species of tree, shrub, plant and hedge planting as well as the inclusion of bioswales, a rain garden, green roofs and amenity grassed areas, all of which are welcomed measures that will enhance biodiversity levels within the application site following development completion. The proposed planting of various species will provide food, shelter and safe corridors for movement across a site, encouraging priority species. Furthermore, the adoption of green roofs and bioswales are also considered suitable habitat locations within the site and as such, the proposed development can be considered to be in accordance with Policy 3 of the NPF4.

## **Protected Species**

- 7.40 An Ecological Appraisal has been submitted in support of the application, which undertook a Desk Study, Extended Phase 1 Habitat Survey which covered the site and an additional 30m buffer, and a Preliminary Bat Roost Assessment. In terms of habitats recorded within the survey area, no habitats of conservation concern were found. The improved grassland, marshy grassland and scrub habitats which dominate the Survey Area are common and widespread within Scotland. The appraisal concludes that the loss of the small areas of habitat found within the Survey Area as a result of the proposed development is unlikely to have any negative effects due to the plentiful supply of similar habitat that will remain in the surrounding area.
- With regards to Protected Species, no field evidence of badger was recorded 7.41 during the survey and works are not expected to affect badger. No evidence of nesting birds was recorded within the Survey Area, however, nearby buildings, trees, scrub and hedgerow are recognised to provide potential nesting opportunities for birds. All wild birds and their nests are protected under the Wildlife and Countryside Act 1981 (as amended), with the appraisal finding that although it is unlikely that the development will cause any negative impacts to local nesting bird populations due to the plentiful supply of nesting habitat which will remain in the surrounding area, there is still a low level of impact predicted for nesting birds, as the proposed development still provides opportunity for disturbance to nesting birds. Therefore, as all wild birds and their nests are protected, if construction is planned during the nesting season (typically March to August) mitigation will be required. It is recommended by the Ecological Appraisal that any initial demolition works, or vegetation clearance, are undertaken outside of the nesting bird season (typically March

- August, inclusive), and if this is not possible vegetation should be checked for bird nests by a suitably qualified ecologist (or an appointed competent person) within 24 hours of the commencement of clearance. In the event an active nest is identified, works must halt within the immediate vicinity and an exclusion zone (the size of which is species dependent) will be enforced, with works only recommencing in the exclusion zone once the nest is no longer active. The advised mitigation requirements are recommended to be attached by condition to any planning consent granted.

In terms of Bats, the Tongue Fire Station was determined to have low bat 7.42 roosting potential during the PBRA undertaken, although the rank improved grassland within the Survey Area is stated to provide some foraging habitat for bat species, while the dense scrub and scattered trees provide a green corridor for bats to travel within the wider area. All bat species, their breeding sites and resting sites are fully protected by law. The provided appraisal notes that whilst some habitat suitable for bats will be lost for the development, habitats within the surrounding area provide more suitable foraging and commuting opportunities, which will remain in place post-development. As the trees within the Survey Area were considered to have negligible BRP, no further surveys are required. However, should bats be identified using any of the trees within the Survey Area, works must stop in the vicinity immediately and LUC's Ecologist contacted as further surveys will be required to determine the number and species of bat present and the locations of roosts, which is recommended to be secured by condition. It is worth noting that should there be any future changes to the proposed development design which will impact other trees or structures that have not been surveyed during this Ecological Appraisal, further surveys may be required to confirm the presence and likely absence of roosts in those areas.

## Other material considerations

7.43 There are no other material considerations.

## Matters to be secured by Legal Agreement / Upfront Payment

- 7.44 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:
  - a) None

## Minor Departure Justification

- 7.45 The chosen siting of the new health and social care hub on allocated site TG03 is recognised as a minor departure to policy given the sites allocation for long term housing development. However, as noted within the justification section of this report, the chosen siting of the proposed development and associated minor departure to policy can be deemed acceptable for the following reasons:
  - Intended provision from the applicant to provide housing development in the remainder of site TG03 which shall help meet local housing needs, and given the constraints of other allocated housing sites in

Tongue, TG01 and TG02, it is unlikely any other allocated housing development would be able to be provided in the short to medium term.

- The siting of the proposal on the original earmarked Mixed-Use allocated site TG04, would have affected the setting of the nearby Category A Listed St Andrews Church and the Category B Listed Lundies House, which would have required to be mitigated as well as impacting views of the Kyle of Tongue NSA.
- Siting of the proposal on site TG03, beyond and behind the St Andrews Church, means when taking into account the operational requirements of the new facility and the suitability of the proposed development in comparison to the surrounding area, the application can be considered to have an acceptable impact on the setting of nearby protected heritage assets, in particular the Category A Listed St Andrew's Church.
- Siting of the proposal on site TG03, with the proposed design and inclusion of sufficient landscaping proposals will ensure the development does not disregard the special qualities of either the Kyle of Tongue NSA or the Tongue House Designed Landscape.
- Siting of the proposal on site TG03 can be considered in accordance with policies 41 and 57 of the Highland-wide Local Development Plan given the provided justification and the associated social and economic benefits the proposal will bring.
- Due to legislative change in the timeframe for the reviewal of Local Development Plans, the CaSPlan is approaching its initially anticipated review stage and therefore it is considered that although regulations have changed, there is perceived justification that the TG03 site can be developed at this time on the basis of housing need and a lack of suitable alternative sites locally.

## 8. CONCLUSION

8.1 Although the proposed health and social care hub development is to be located on a Long-Term Housing allocated site, TG03, the application has provided the required justification in relation to the relevant policies and previous advice provided by the Planning Authority, to distinguish that due to the constraints of other allocated sites within the Tongue Settlement Development Area, particularly Mixed-Use allocated site TG04, the siting on the chosen site can be considered acceptable. The proposed development accords and makes appropriate use of the chosen sites characteristics, with the proposed aesthetically pleasing design meeting the operational requirements of the new care hub and cohering with the existing settlement pattern and local character in proximity of the site. Due to the chosen siting and design, as well as the inclusion of sufficient landscaping proposals, the application can be considered to not disregard the special qualities of either the Kyle of Tongue NSA or the Tongue House Designed Landscape as demonstrated within the application, and when taking into account the operational requirements of the new facility and the suitability of the proposed development in comparison to the surrounding area, the application can be considered to have an acceptable impact on the setting of nearby protected heritage assets, in particular the Category A Listed St Andrew's Church. By demonstrating the acceptable provision of access and drainage arrangements, in addition to the inclusion of appropriate measures to combat the climate and nature crises, the application can be considered compliant with all material considerations, including the relevant policies of the NPF4 and as such, the application can be supported.

8.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### 9. IMPLICATIONS

- 9.1 Resource: Not applicable
- 9.2 Legal: Not applicable
- 9.3 Community (Equality, Poverty and Rural): Not applicable
- 9.4 Climate Change/Carbon Clever: Not applicable
- 9.5 Risk: Not applicable
- 9.6 Gaelic: Not applicable

#### 10. RECOMMENDATION

#### Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

**Subject to the above actions,** it is recommended to **GRANT** the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

**Reason**: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development or work (including site clearance) shall commence until a programme of work for the survey, evaluation, preservation and recording of any archaeological and historic features affected by the proposed development/work, including a timetable for investigation, has been submitted to, and approved in writing by, the Planning Authority. The approved programme shall be implemented in accordance with the agreed timetable for investigation.

**Reason**: In order to protect the archaeological and historic interest of the site

3. A suitably qualified arboricultural consultant must be employed at the applicants expense to ensure that the approved Tree Protection Plan and Arboricultural Method Statement are implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until an arboricultural consultant has been appointed and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the project.

**Reason**: To secure the successful implementation of the approved tree protection measures.

4. Prior to the commencement of development, a scheme shall be submitted for the approval of the Planning Authority, to demonstrate how the best practicable means to reduce the impact of noise from construction activities will be employed on site. Thereafter, the approved scheme shall be fully implemented onsite, unless otherwise agreed in writing by the Planning Authority.

**Reason:** To reduce the impact of noise associated to construction activities and in order to safeguard the amenity of neighbouring properties and occupants.

- 5. Prior to the commencement of development, a Construction Traffic Management Plan, shall be submitted for the approval of the Planning Authority. Thereafter, the approved scheme shall be fully implemented onsite, unless otherwise agreed in writing by the Planning Authority. The provided Construction Traffic Management Plan shall include:
  - A routing plan for vehicles
  - Details of any site compounds
  - Details of a community contact point whilst works are taking place; and,
  - Any other measures deemed necessary.

**Reason:** To mitigate against any adverse impact from construction traffic; in the interests of road safety.

6. Prior to the first occupation of the development hereby approved, the car parking, vehicle turning, and access arrangements detailed on approved plans ref. 19.0391-PL-701 REV G and 19.0391-PL-702 REV

E shall be completed in full and made available for use. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

**Reason**: To ensure that an adequate level of vehicle access, turning and parking provision is timeously provided for the development; in the interests of road safety and amenity.

- 7. Prior to first occupation of the development hereby approved, bus stop infrastructure shall be provided on the A838 in the vicinity of the Health and Social Care Hub, in accordance with details agreed with the Planning Authority in consultation with the councils Roads Authority. The bus stop infrastructure required on both sides of the road (A838) is:
  - Bus stop signage,
  - A bus stop shelter
  - Electronic timetable information.

The required bus stop infrastructure shall be provided by the applicant, all at their cost and shall be designed to a standard that is acceptable by the Council.

**Reason**: In order to reduce dependency on the private car and to encourage greater use of public transport.

8. Prior to first occupation of the development hereby approved, the continuous A838 footway, including the car park a vehicular footway type crossing, with illumination as detailed on approved plan ref. 19.0391-PL-702 REV E shall be fully implemented by the Applicant, all at their cost. The proposed footway shall be designed to a standard that is acceptable to the Council.

**Reason:** To enable pedestrians to keep outwith the public road and the path of oncoming traffic; in the interests of road safety.

- 9. Prior to first occupation of the development hereby approved, A Traffic Regulation Order (TRO) to change the existing 40mph speed limit on the A838 in the vicinity of the application site to 30mph and extent that limit, shall be obtained in accordance with the following points:
  - The developer shall cover the costs associated with amending the TRO, provide the appropriate drawings and undertake the site works etc.
  - Prior to commencement of any part of the works we require draft TRO proposals to be submitted for our consideration / approval.
  - For the avoidance of doubt the development shall not be occupied until such time as the TRO is in place.

**Reason:** In the interests of road safety, and that the works involved comply with applicable standards.

- 10. Prior to the first occupation of the development hereby approved, A Traffic Regulation Order (TRO) to stop up the existing Fire Station access to the west of the site, shall be obtained in accordance with the following points:
  - The developer shall cover the costs associated with amending the TRO, provide the appropriate drawings and undertake the site works etc.
  - Prior to commencement of any part of the works we require draft TRO proposals to be submitted for our consideration / approval.
  - For the avoidance of doubt the development shall not be occupied until such time as the TRO is in place.

Reason: In the interests of road safety.

11. Prior to the first occupation of development, the reinstatement works of the roadside drainage ditch in proximity to the existing Fire Station access shall be fully implemented by the Applicant, all at their cost, to a standard that is acceptable to the Council.

**Reason:** To maintain the integrity of the public road surface water drainage network and reduce maintenance costs.

12. If works considered of a high noise level are to be undertaken outwith typical working hours, 8am to 7pm Monday to Friday and 8am to 1pm on Saturdays, then a detailed construction noise assessment for the written approval of the Planning Authority shall be submitted prior to the commencement of the associated works.

The assessment should include:

1) A description of construction activities with reference to noise generating plant and equipment.

2) A detailed plan showing the location of noise sources, noise sensitive premises and any survey measurement locations.

3) A description of any noise mitigation methods that will be employed and the predicted effect of said methods on noise levels.

4) A prediction of noise levels resultant at the curtilage of noise sensitive receptors.

5) An assessment of the predicted noise levels in comparison with relevant standards.

**Reason:** In order to safeguard the amenity of neighbouring properties and occupants.

13. All surface water drainage provision within the application site shall be implemented in accordance with the approved plans and shall be completed prior to the first occupation of the development

**Reason:** To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment.

14. All landscaping works shall be carried out in accordance with the plans and maintenance scheme approved as part of this permission. All planting, seeding or turfing as may be comprised in the approved scheme and plans shall be carried out in the first planting and seeding seasons following the commencement of the development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

**Reason:** In order to ensure that the approved landscaping works are properly undertaken on site.

15. In the avoidance of doubt, there shall be no raising of ground levels on the site and Finished Floor Levels shall be set at a minimum of 150mm above surrounding ground level.

**Reason:** To ensure adequate mitigation and resilience against potential flood risk is installed on site.

16. The access road track shall be set at a level 41.25mAOD.

**Reason:** To maintain safe and dry access and egress during any flood event.

17. Notwithstanding the provisions of Article 3 and Schedule 1 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification), no development shall take place within 6 metres of any watercourse without planning permission being granted on application to the Planning Authority.

**Reason:** To ensure that development which is normally permissible without the need for a planning application is carefully managed and does not encroach onto riparian buffer strips. Such buffers strips are required a) for the maintenance of watercourses within the application site, b) to account for natural watercourse migration, and c) in order to safeguard property from flood risk.

 Any initial demolition works, or vegetation clearance works, shall be undertaken outside of the nesting bird season (March - August inclusive).
 If this is not possible vegetation shall be checked for bird nests by a suitably qualified ecologist (or an appointed competent person) within 24 hours of the commencement of clearance. In the event an active nest is identified, works must halt within the immediate vicinity and an exclusion zone (the size of which is species dependent) will be enforced, with works only recommencing in the exclusion zone once the nest is no longer active.

**Reason**: To mitigate against the impact of associated works on nesting birds.

19. Should any bats be identified using any of the trees within the designated Survey Area associated to the provided Ecological Appraisal by LUC, works must stop in the vicinity immediately and LUC's Ecologist be contacted as further surveys will be required to determine the number and species of bat present and the locations of roosts.

**Reason:** To mitigate against the impact of associated work on protected species.

20. All plant, machinery and equipment associated with ventilation, airconditioning, heating and refrigeration services or similar and including fans, ducting and external openings shall be so installed, maintained and operated such that any associated operating noise does not exceed NR 20 when measured or calculated within any noise-sensitive premises with windows open for ventilation purposes. For the purposes of this condition, "noise-sensitive premises" includes, but is not necessarily limited to, any building, structure or other development the lawful use of which a) falls within Classes 7 (Hotels & Hostels), 8 (Residential Institutions) or 9 (Houses) of the Town and Country Planning (Use Classes) (Scotland) Order 1997 (as amended), or b) is as a flat or static residential caravan.

**Reason:** In order to safeguard the amenity of neighbouring properties and occupants.

21. Throughout the development process, all works shall be carried out in accordance with the suppression of dust control measures contained within the provided Construction Management Statement in support of this application.

**Reason:** In the interests of amenity, and health and safety.

#### REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

#### INFORMATIVES

#### Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

- 1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
- 2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

## Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. The granting of planning permission does not remove the liability position of developers or owners in relation to flood risk.

#### Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

#### Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <u>http://www.highland.gov.uk/yourenvironment/roadsandtransport</u>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads and pavements/101/permits f or working on public roads/2

## Mud and Debris on Road

Please note that it an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

## **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

## Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <a href="https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species">https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species</a>

## **Protected Species - Ground Nesting Birds**

Construction/demolition works have the potential to disturb nesting birds or damage their nest sites, and as such, checks for ground nesting birds should be made prior to the commencement of development if this coincides with the main bird breeding season (April - July inclusive). All wild bird nests are protected from damage, destruction, interference and obstruction under the Wildlife and Countryside Act 1981 (as amended). Some birds (listed on schedule 1 of the Wildlife and Countryside Act) have heightened protection where it is also an offence to disturb these birds while they are in or around the nest. For information please see: <a href="https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species/protected-species-z-guide/protected-species-birds">https://www.nature.scot/professional-advice/protected-species-birds</a>

Signature:

Designation:	Area Planning Manager – South / Acting Head of Development Management				
Author:	Liam Burnside				
Background Papers:	Documents referred to in report and in case file.				
Relevant Plans:	Plan 1 - 611.00.001 REV D - LOCATION PLAN				
	Plan 2 - 611.00.102 REV A - PROPOSED SITE LAYOUT PLAN				
	Plan 3 - 611.00.151 REV B - PROPOSED ELEVATION PLAN - COURTYARD				
	Plan 4 - 611.00.150 REV C - PROPOSED ELEVATION PLAN - STREET				
	Plan 5 - 611.00.120 REV C - SITE SECTION PLAN - PROPOSED				
	Plan 6 - 611.00.112 REV A - PROPOSED ROOF PLAN				
	Plan 7 - 611.00.110 REV E - PROPOSED GROUND FLOOR PLAN - LOWER				
	Plan 8 - 611.00.111 REV E - PROPOSED FLOOR PLAN - UPPER GROUND FLOOR				
	Plan 9 - 2104-UP-XX-XX-DR-L-004 - TREE PROTECTION PLAN				
	Plan 10 - 19.0391-PL-704 REV C - ROAD LONG SECTIONS - PROPOSED				
	Plan 11 - 19.0391-PL-701 REV G - ROAD LAYOUT PLAN - PROPOSED				

Plan 12 - 19.0391-PL-702 REV E - VISIBILITY SPLAY PLAN - PROPOSED

Plan 13 - 19.0391-PL-703 REV E - SECTION PLAN - LONGITUDINAL SECTION LAYOUT

Plan 14 - 19.0391-PL-700 REV F - DRAINAGE - PROPOSED DRAINAGE LAYOUT

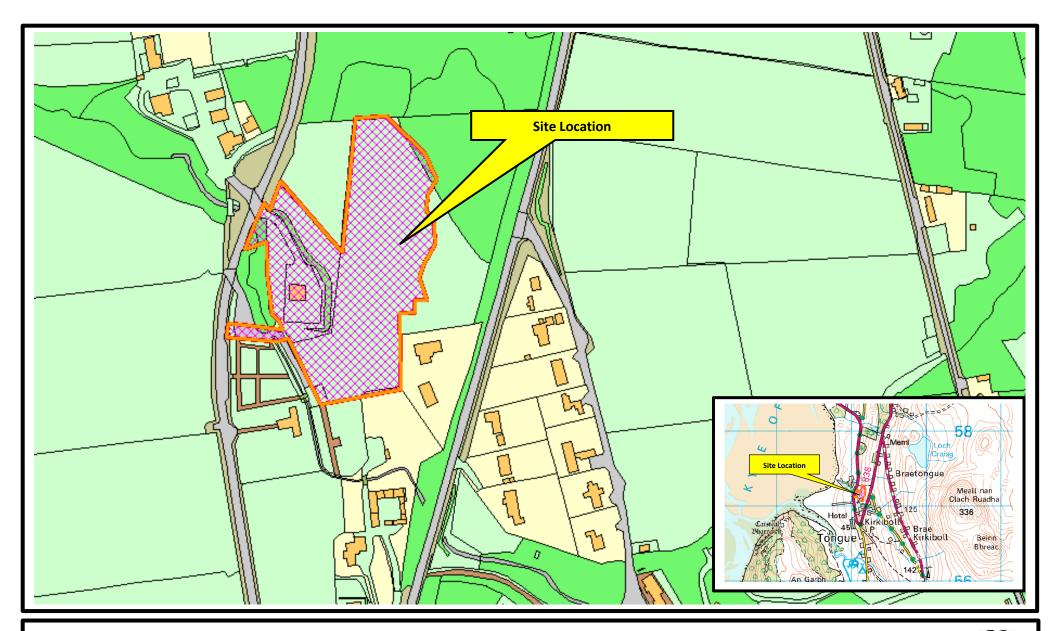
Plan 15 - 2104-UP-XX-XX-DR-L-001 REV H - LANDSCAPING PLAN

Plan 16 - 2104-UP-XX-XX-DR-L-003 REV C - LANDSCAPING PLAN - PLANTING PLAN

Plan 17 - 2104-UP-XX-XX-DR-L-003-2 REV C - LANDSCAPING PLAN - PLANTING SCHEDULES

Plan 18 - 2104-UP-XX-XX-DR-L-002 - SITE LAYOUT PLAN - FURNITURE LAYOUT

Plan 19 - 2104-UP-XX-XX-DR-L-005 - SITE LAYOUT PLAN - BOUNDARY TREATMENTS



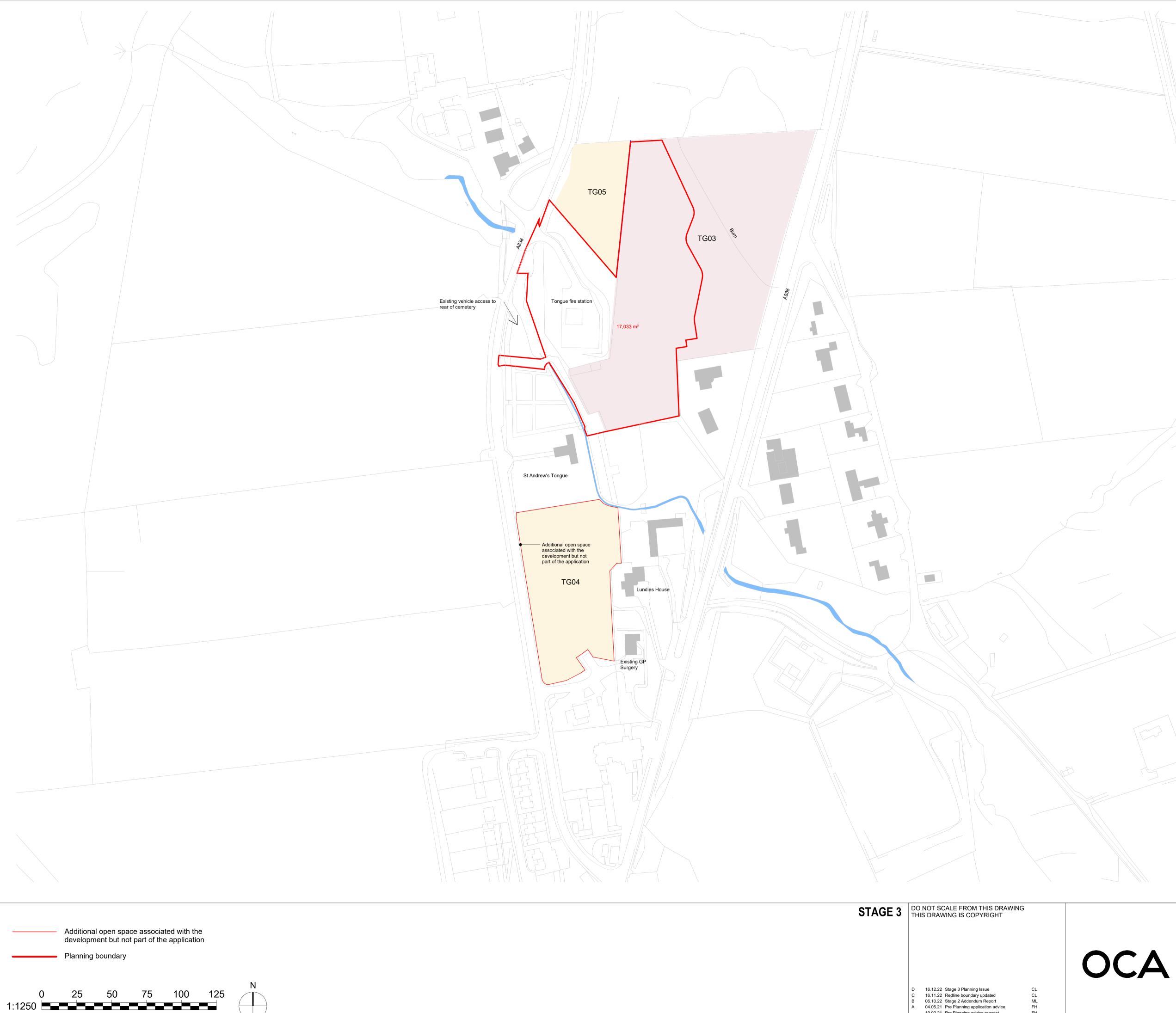


Infrastructure and

**Environment Service** 

22/06112/FUL

Health and Social Care Hub including a 15 bed care home, integrated care team administrative base, GP surgery and associated roads, landscaping, garden, paths and infrastructure with relocated junction to A838 and alterations to the access road, parking, yard and landscaping at Tongue Fire Station. Sept 2023.



Rev		Description	Issued Bv	
-	19 02 21	Pre Planning advice request	FH	
А	04.05.21	Pre Planning application advice	FH	
В	06.10.22	Stage 2 Addendum Report	ML	
С	16.11.22	Redline boundary updated	CL	
D	16.12.22	Stage 3 Planning Issue	CL	

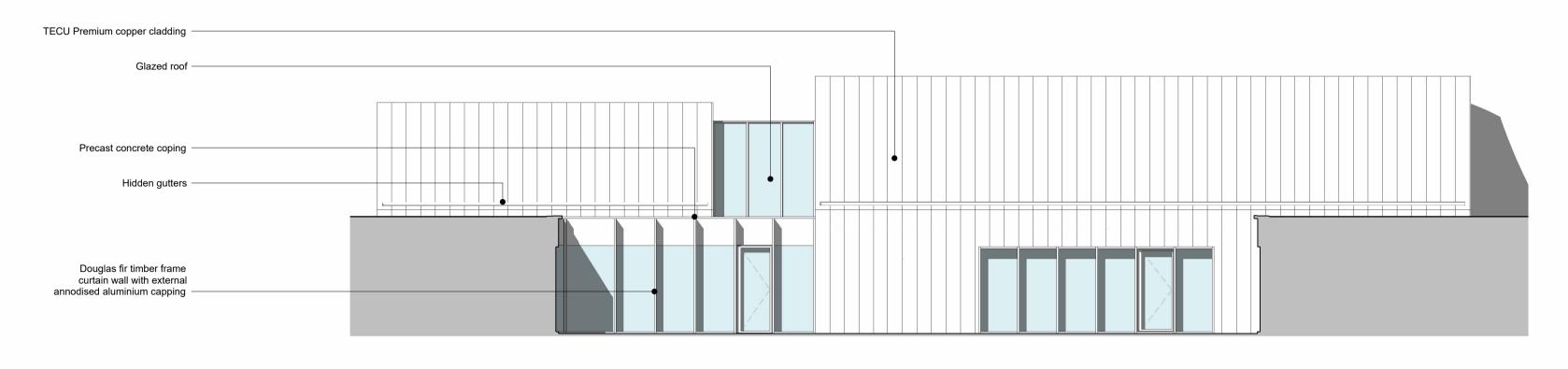
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PROJECT					PROJEC	CT NO.
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CLIENT Wildland Lto	t					
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Oliver Chapman Archite 36 St. Mary's Street Ed t +44 (0)131 477 4513 e admin@ocarch.co.ul w www.ocarch.co.uk	linburgh EH1 1SX 3		1			

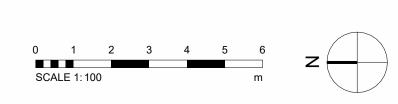
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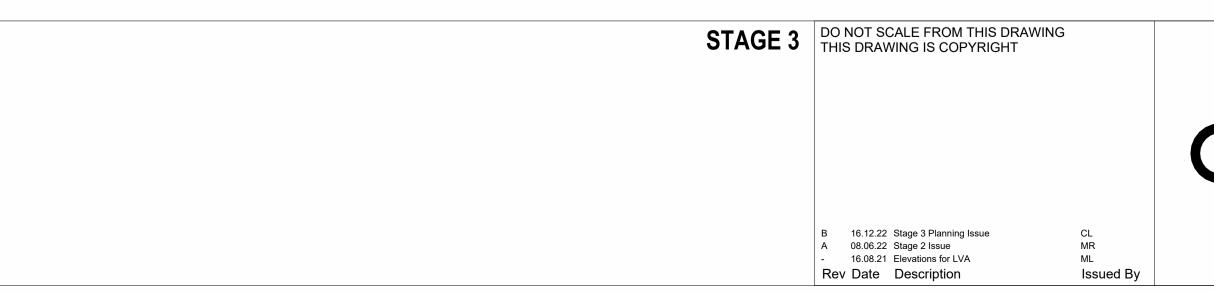


1 Courtyard Elevation East 1 : 100

Precast concrete coping			
Layered concrete Douglas fir timber frame curtain wall with external annodised aluminium capping	•		

2 Courtyard Elevation West 1 : 100







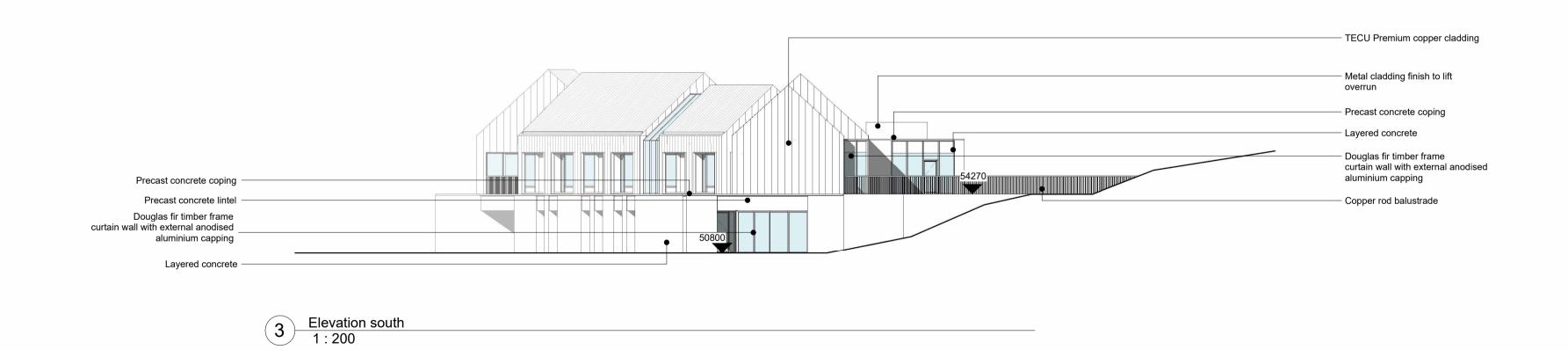
d Health and	Social	Care H	ub	611	
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6.12.22	MR	ML	1 : 100		@ A1
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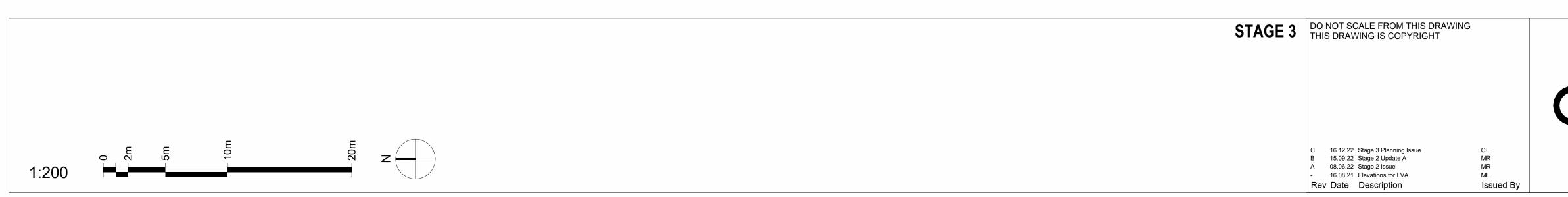


1 Street Elevation West 1 : 200



2 Garden Elevation East 1 : 200

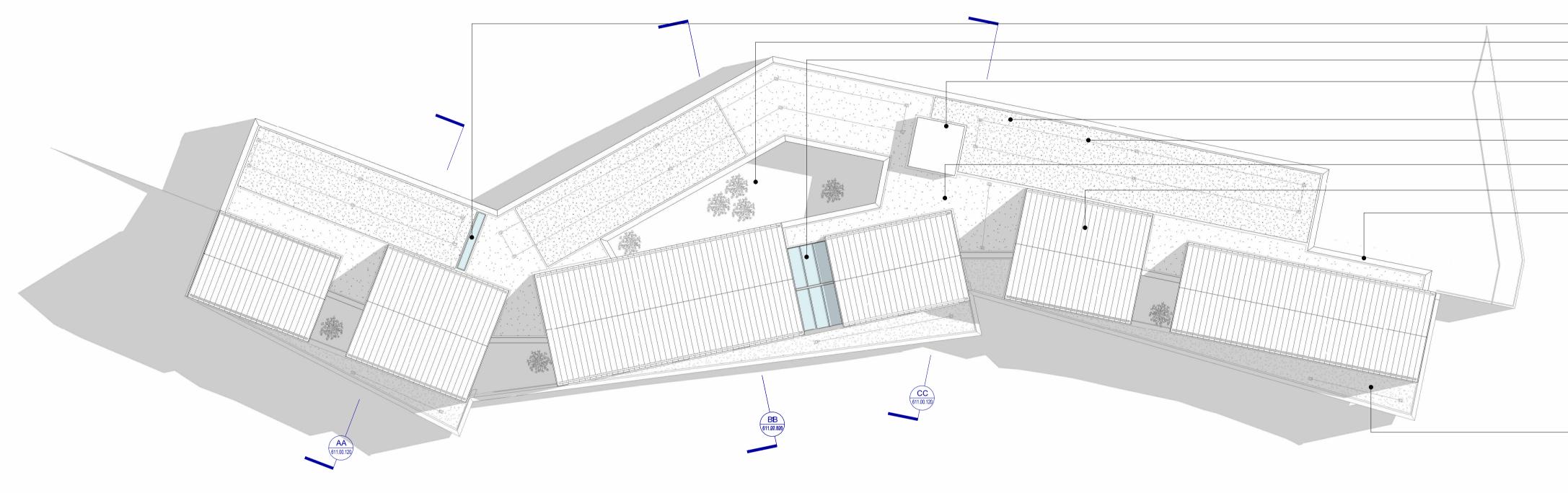


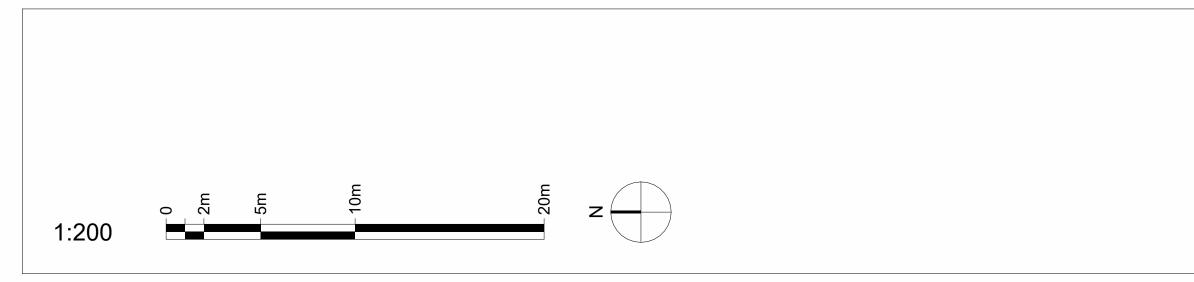




PROJECT					PROJEC	CT NO.
North Sutherland Health and Social Care Hub						
CLIENT Wildland Lte	d					
ISSUE DATE	REV DATE	DRAWN	CHECK	SCALE		
16.08.21	16.12.22	MR	ML	1 : 200		@ A1
DRAWING TITL Proposed Street	_		DWG NC 611.00.1	-		REV C
Oliver Chapman Archit 36 St. Mary's Street Ed t +44 (0)131 477 451 e admin@ccarch.co.u w www.ocarch.co.uk	dinburgh EH1 1SX 3					







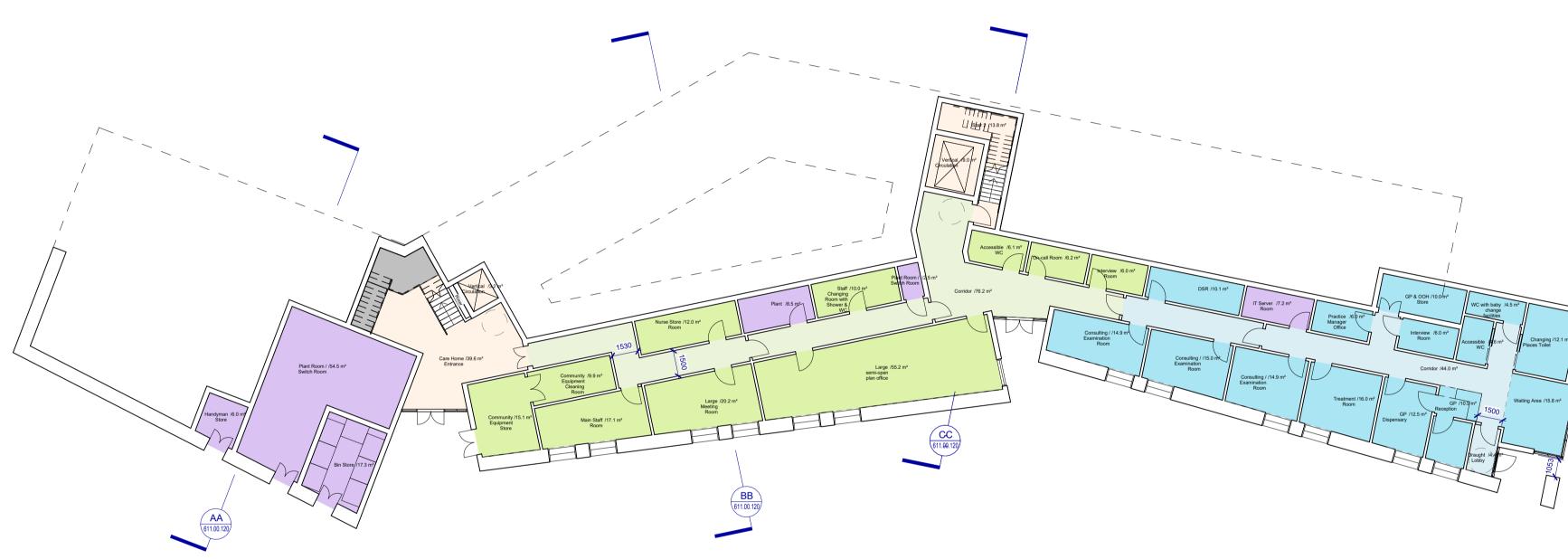
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	Rev Date Description Issued B	у

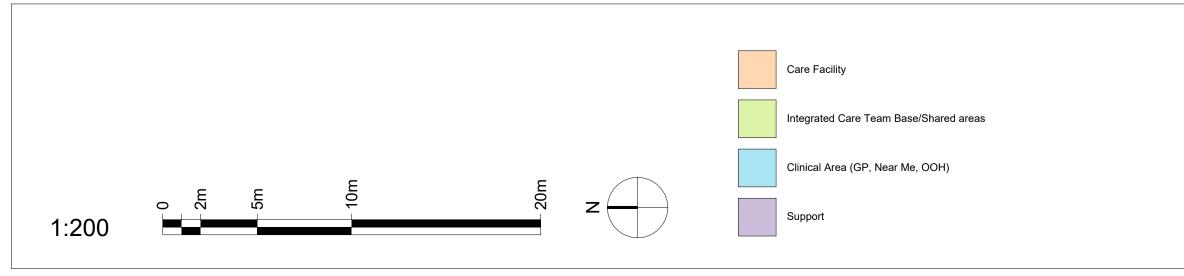
- Rooflight to staircase External courtyard
- Glazed roof to winter garden
- Metal cladding capping to lift overrun
- Extensive green roof
- Mansafe System
- Single ply membrane with pebbles
- TECU Premium copper cladding
- Precast concrete coping

Extensive green roof

)	C	Α	

PROJECT					PROJEC	T NO.
North Suther	North Sutherland Health and Social Care Hub					
CLIENT Wildland Ltd						
ISSUE DATE	REV DATE	DRAWN	CHECK	SCALE		
15.09.22	16.12.22	ML/MR	ос	1 : 200		@ A1
DRAWING TITLE Proposed Roof Pl			DWG NC 611.00.1			REV A
Oliver Chapman Architec 36 St. Mary's Street Edir t +44 (0)131 477 4513 e admin@ccarch.co.uk w www.ocarch.co.uk			1			©

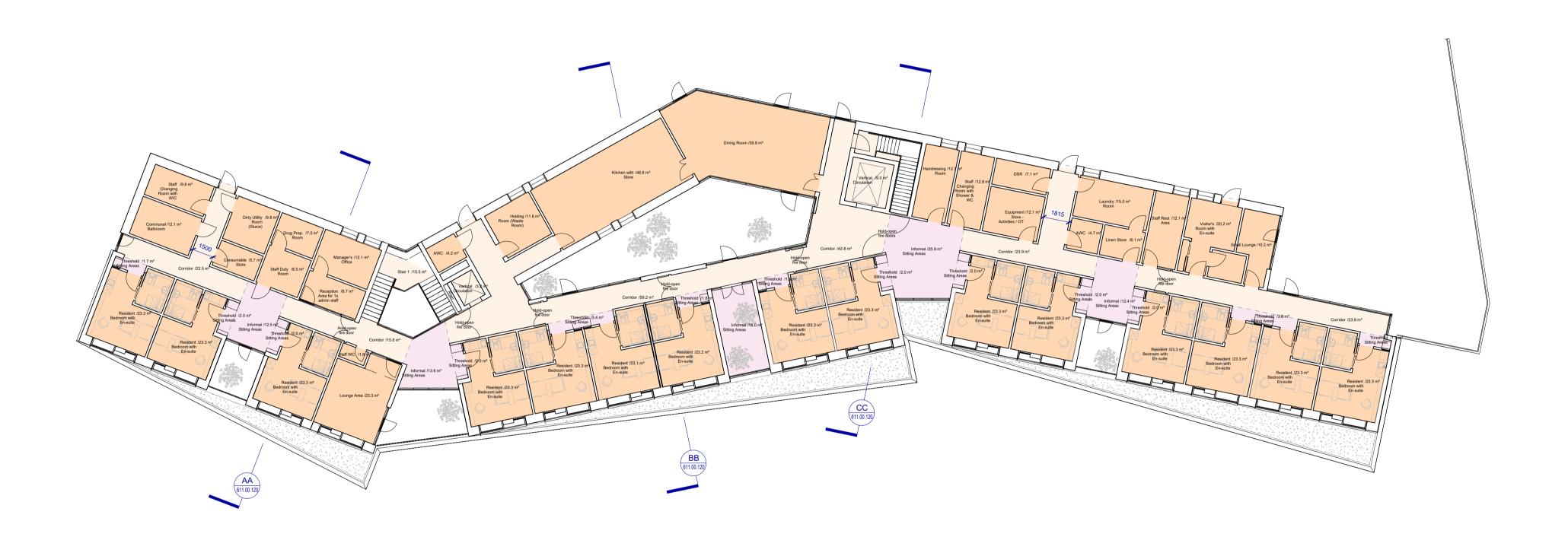




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A	5 1	MR
-	21.03.22 Stage 2 development	ML
F	Rev Date Description	Issued By

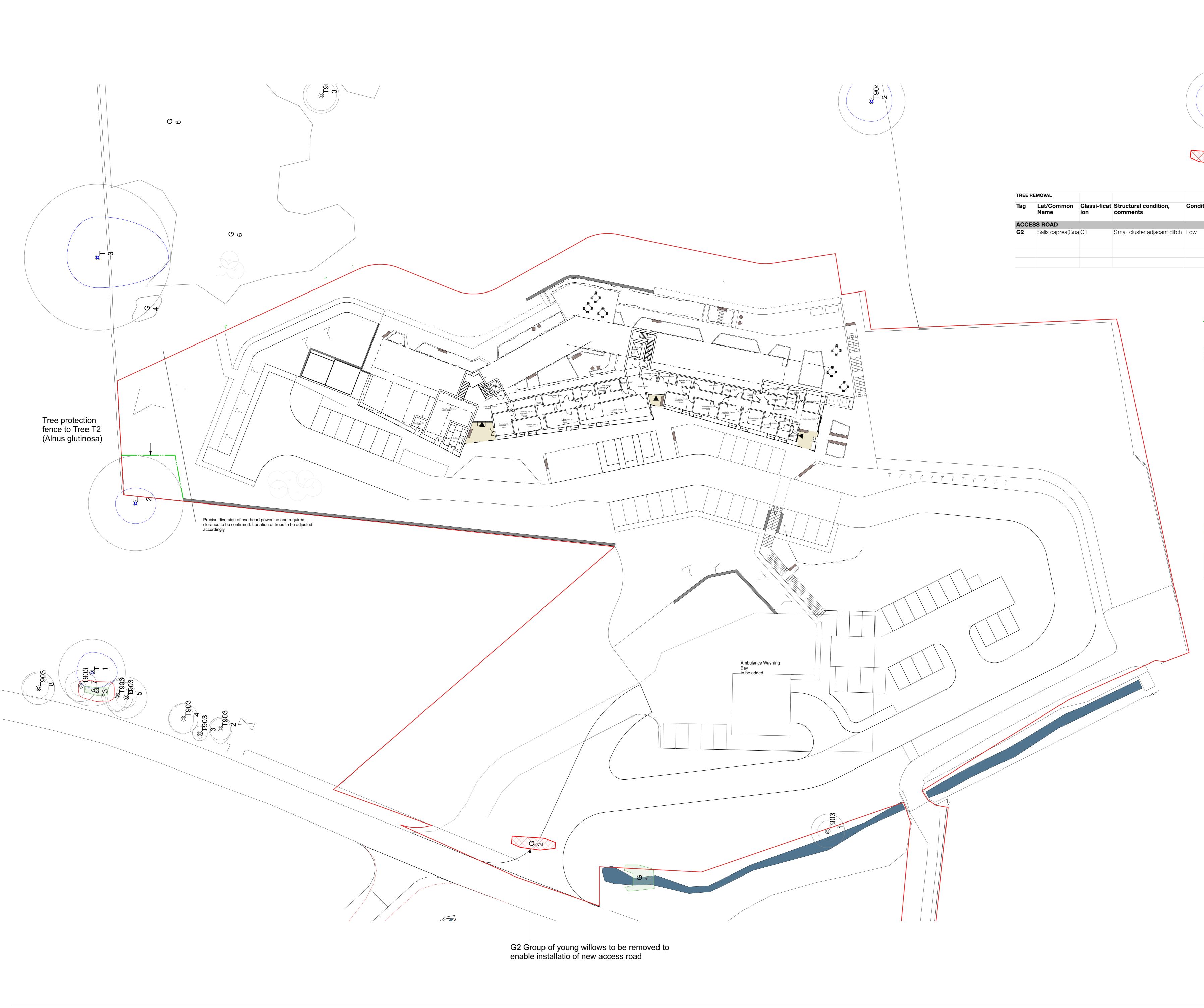


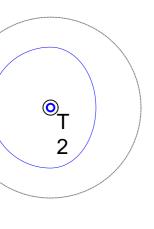
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CLIENT Wildland Lto	1					
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21.03.22	16.12.22	ML/MR	OC	1 : 200		@ A1
DRAWING TITLE Proposed Lower	E Ground Floor Plan		DWG NC 611.00.1	-		REV E
Oliver Chapman Archite 36 St. Mary's Street Ed t +44 (0)131 477 4513 e admin@ocarch.co.uk w www.ocarch.co.uk	inburgh EH1 1SX					C





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CLIENT Wildland Lt	d					
ISSUE DATE	REV DATE	DRAWN	CHECK	SCALE		
21.03.22	16.12.22	ML/MR	ос	1 : 200		@ A1
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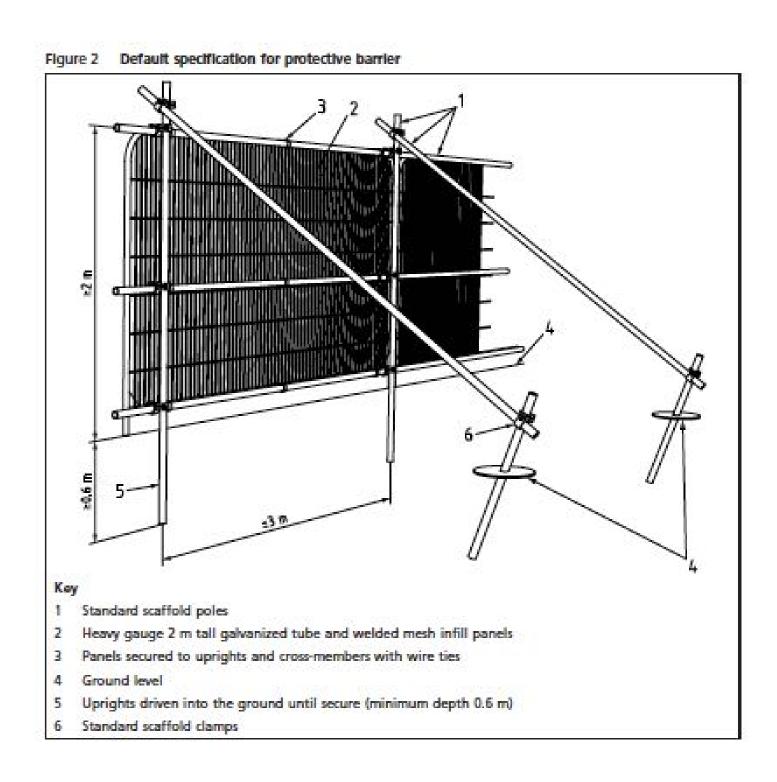


**Existing tree** Root Protection area indicated in grey

# Trees/shrubs to be removed See table below for detailed species and numbers

lition	Remaining Years	Reason for removal
	20+	To enable new access /junction coordinated with Burr's Garage junction (distance required)

# **Tree Protection Fence** In line with figure 2, BS5837-2012 to protect trees from impact of Construction



DRAWING FOR PLANNING SUBMISSION

revision date notes

North Sutherland Health & Social Care Hub Client: Wildland Ltd Drawing title: Tree Removal and Protection Plan

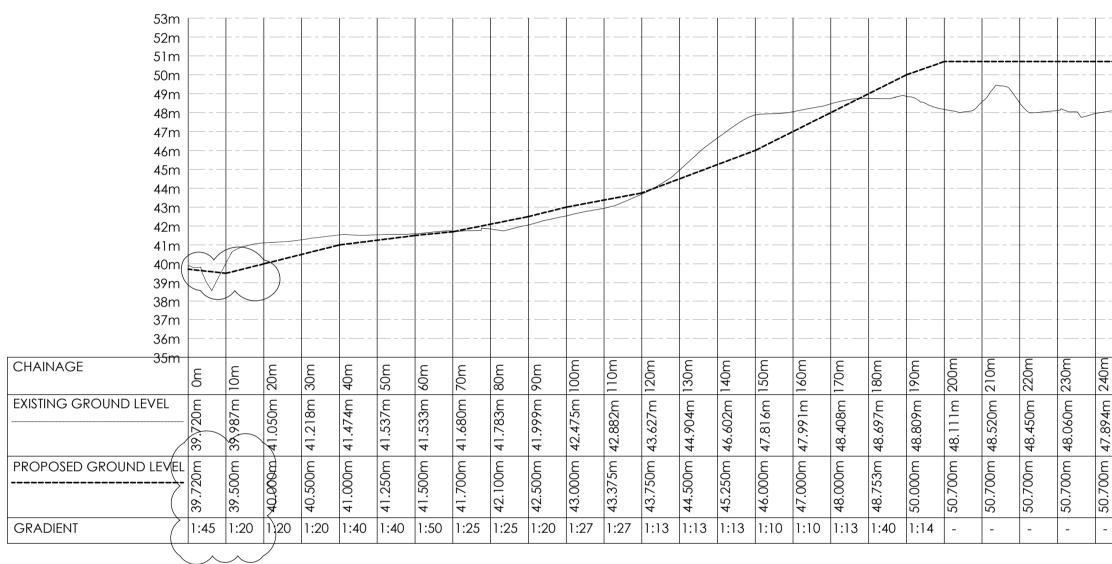
Drawing nr 2104-UP-XX-XX-DR-L-004 1:250 @ A0 Rev: 05.12.22

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54m				- I	T						I			54m
53m			+		+									53m
52m				-										52m
51m				-										51m
50m				- +										50m
49m			<u> </u>	- +										49m
48m														48m
47m						1:11.2								47m
46m														46m
45m				- +										45m
44m				- +										44m
CHAINAGE 43m	Б	5m	10m	15m	20m	25m	30m	35m	40m	45m	50m	55m	60m	65m
EXISTING GROUND LEVEL	44.800m	45.600m	446.500m	47.200m	47.800m	48.500m	49.400m	49.500m	49.500m	49.600m	49.700m	49.700m	50.100m	50.200m
PROPOSED GROUND LEVEL	щ	em v	5m	щ	4 4	E	Lug	3m	6 6	2 2 U	<u></u>	ш	3m	Om
	44.80	45.24	45.69'	46.13	46.58	47.03(	47.47,	47.92	48.36	48.81	49.26	49.70	50.15	50.60
GRADIENT	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2	1:11.2

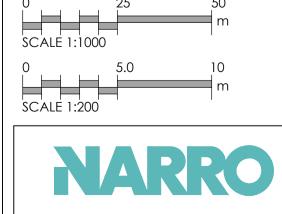
PEDESTRIAN PATHWAY LONGITUDINAL SECTION

HORIZONTAL SCALE 1:200, VERTICAL SCALE 1:200



## ROADWAY LONGITUDINAL SECTION

HORIZONTAL SCALE 1:1000, VERTICAL SCALE 1:200



Edinburgh | Glasgow | Inverness | Stirling | Aberdeen | Newcastle N 30 Queensferry Road, Edinburgh, EH4 2HS +44 131 229 5553

		D.L		( 00.00
С	Revisions as clouded.	DM	NB	6.03.23
В	Note as clouded added to drawing.	DM	NB	14.12.22
А	Planning Issue.	DM	NB	13.12.22
-	Planning package issued to Design Team for comments.	DM	NB	8.12.22
Rev	Description	Chk	Drn	Date

PLANNING

Status

Refer to NARRO Drawing 19.0391-PL-703 for location of pedestrian / roadway longitudinal sections

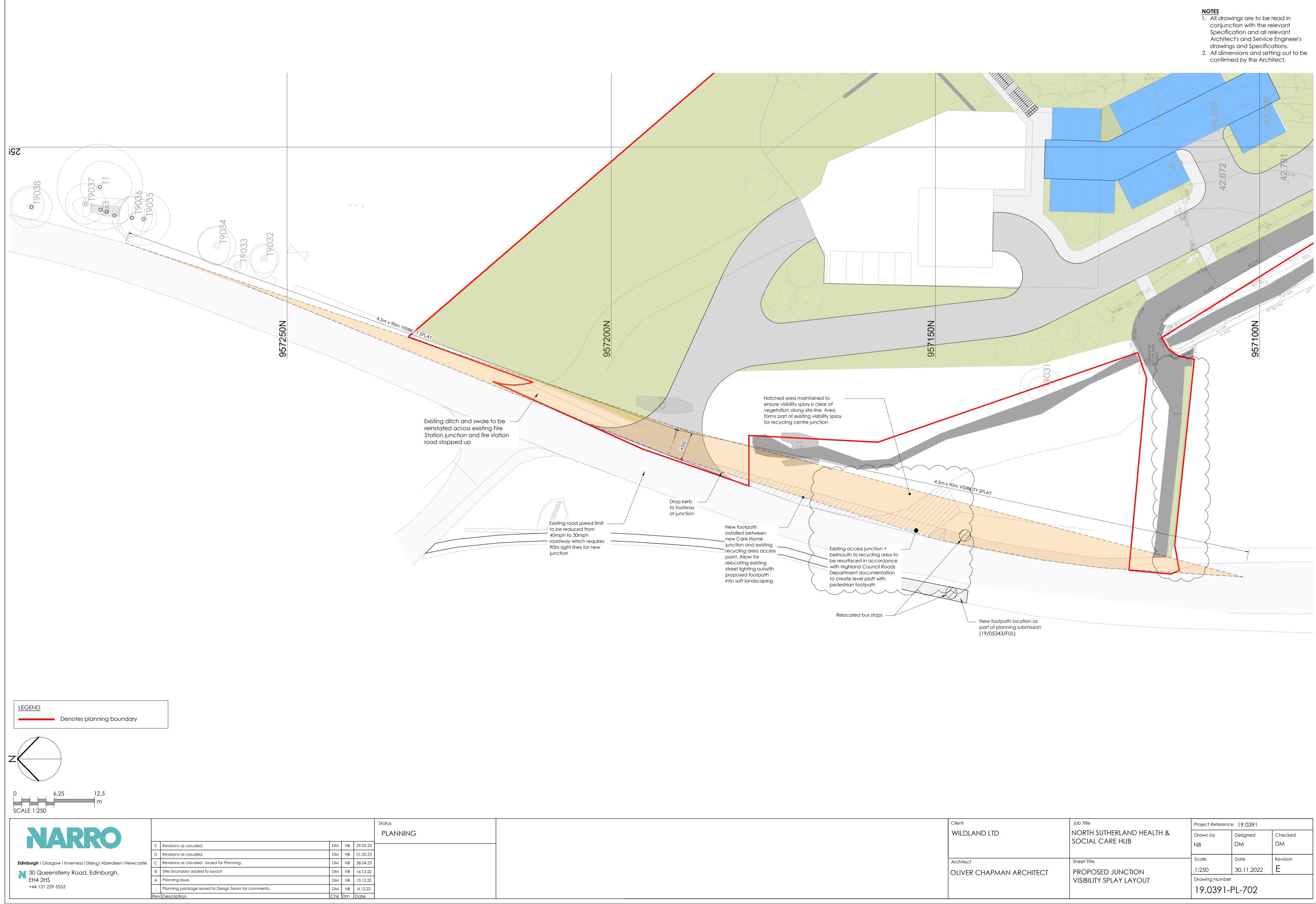
								53m 52m 51m 50m 49m 48m 47m 46m 45m 44m 43m 42m 41m
								40m 39m
								39m 38m
								38m 37m
								36m
240m	250m	260m	270m	280m	290m	300m	310m	320m
50.700m 47.894m 240m	50.700m 48.209m 250m	50.700m 48.674m 260m	50.700m 49.336m 270m	50.700m 50.019m 280m	50.700m 50.055m 290m	50.700m 50.284m 300m	50.700m 50.885m 310m	50.700m 51.665m 320m
50.700m								
-	-	-	-	-	-	-	-	-

Client
WILDLAND LTD
Architect
OLIVER CHAPMAN A

NOTES 1. All drawings are to be read in conjunction with the relevant Specification and all relevant Architect's and Service Engineer's drawings and Specifications.
All dimensions and setting out to be confirmed by the Architect.

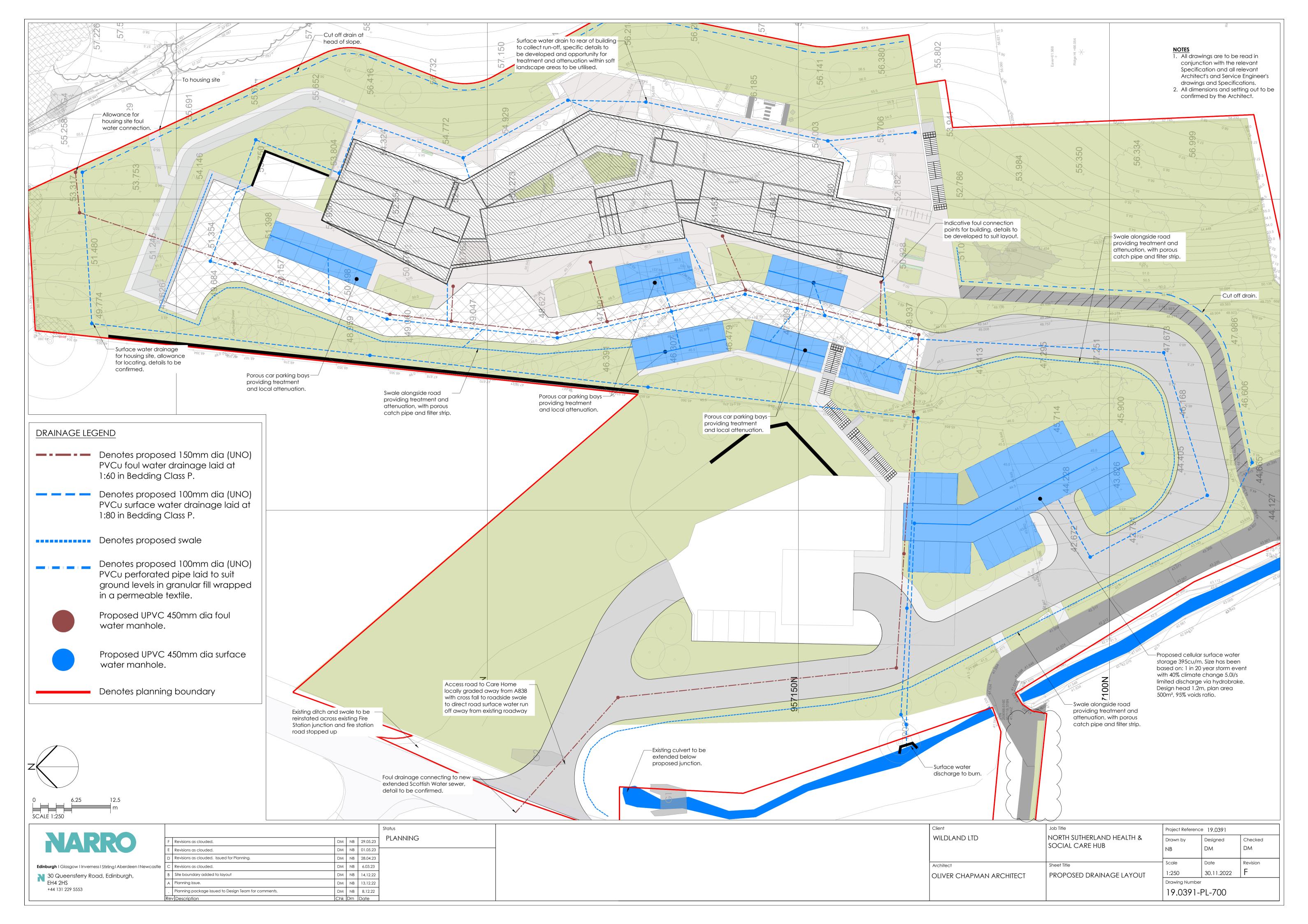
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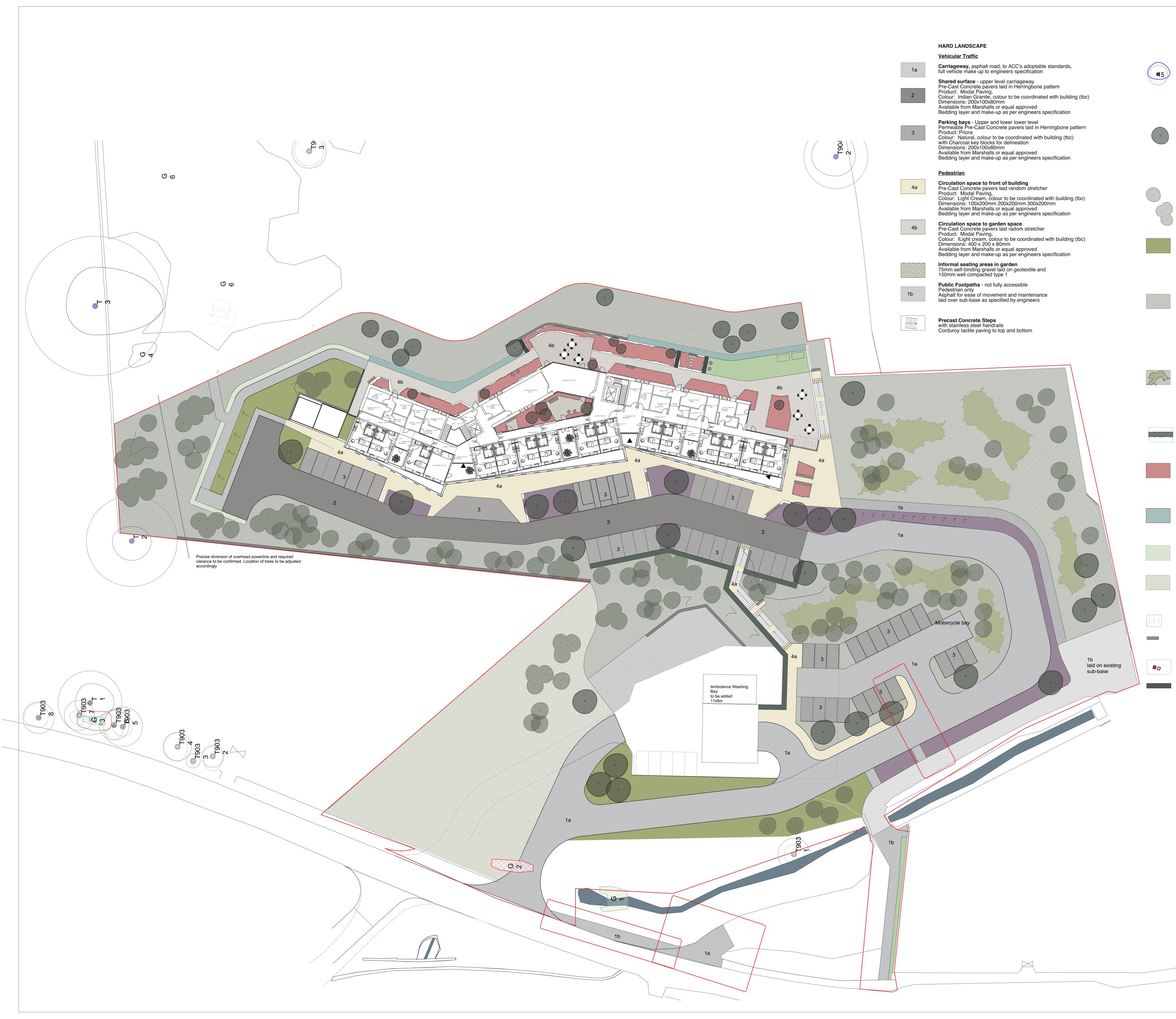




Client
WILDLAND LTD
Architect
OLIVER CHAPMAN







# **Existing tree retained** including Canopy extent in blue Root Protection Area in red (RPA)

Location: Design Intent: Proposed sizes/nr:	en tree in soft landscaping (Refer to tables 01 and 03 in schedule) Along road (arrival) and sheltered locations such as Sensory garden or along To provide some vertical structure (still small in size) where possible 67nr Standard and half standards as specified in schedule in key areas as Specimens
Proposed species:	Rowans to front entrance, Crab Apple to sensory garden, Alder and Hazel alor burn
Trees to be staked	
	f trees planted in in meadow (Included in table 02 of planting schedule)
Location: Design Intent:	To embankments around the site To ensure site ties in with wider surroundings using species which have successfully established in close proximity. Planted in small sizes and groups
Proposed sizes: Proposed species:	aid establishment 243 nr mix of whips, half standards, standards and multi-stems Birch, Pine, Willow, Aspen, Bird Cherry, Lime and Hazel
Standards and Half	-Standards are to be staked
	al planting/entrance areas n planting schedule - Car Parking Trees and Rose Understory)
Location: Design Intent:	Along arrival and entrance To provide some vertical structure, understory with some height to integrate services such as parking and drop-off bays, to offer attractive planting
Proposed planting: Planting density:	(flower/scent) which can cope in harsh environment
Flanting density.	Understory at 6nr/m2, 9cm pots
Proposed Meadov Location:	<b>v Base mix - (Refer to table 2 on planting scheducle - Meadow Mix)</b> To all embankments around site
Design Intent:	Species to tie-in with wider surroundings but with higher flowering percentage to recognise new setting, species selected to suit conditions on site, self-sustaining species mix
Proposed planting: Species:	Base meadow mix wrapping around the entire site interspersed with trees and shrub as indicated on plan Based on original species found on site with higher percentage of flowering
	species. Overall effect to be of a stylised meadow to tie site into wider landsc using grasses, drifts of heather and forbs
Proposed density;	Trees as mentioned above and indicated on plan Grasses and forbs 9nr/m2, 9cm pots, contract grown
Proposed planting	g along approach and entrance (Refer to table 2 Meadow mix + gorse)
Location: Design Intent:	Along entrance/hair pin To add some height to base mix at the entrance/as one approaches the new building utilising existing flowering species
Proposed planting:	Base meadow mix wrapping around the entire site interspersed with trees and shrub as indicated on plan + some drifts of gorse to provide some higher
Proposed density:	structural plants as one afrrives on site Trees as mentioned above and indicated on plan Gorse 6nr/m2, 2l pots for gorse.
	planting (Refer to tables 1 for entrance and 3 for courtyard)
Location: Design Intent:	In vicinity to building - back and front Hedge to screen parking to front and to provide separation/quiet spaces to bac Carpinus betulus (Hornbeam)
	Triple staggered row with whips at 333mm centres
Proposed Sensory	y planting (Refer to table 3 Sensory garden and table 6 Courtyard planting Sensory gardens
Design intent: Proposed planting	Planting palette selected for texture, colour, sound, scent and taste
Proposed density:	Season extended with spring and autumn bulbs 6nr plants/m2, 9cm pots + emergent species and shurbs
	le planting (Refer to table 4 Bioswale Mix to side and bottom)
Location: Design Intent:	
	Ornamental bio-swale planting 9nr plants/m2, 9cm/pot
Proposed amenity Proposed Mixture:	<b>grass</b> Grass mix for shaded areas
Seed rate: 35gr/m2 Refer to planting pl	
Proposed Highlan Proposed Mixture: Seed rate: 3gr/m2	<b>d Mix</b> Highland Meadow mix as available by Scotia Sees
Refer to planting pl	an
6nr Sheffield Rack	(S
Proposed bench v 1820x 650x 770mn Product to be confi	n and bespoke lengths
Proposed bins, 5nr Standard bins I 2nr Dog bins, Prod	uct CP110
Both mmcite or equ Retention element	ial approved t <b>s</b> ,
Gabions or crib wal height/space availa	I depending on

REV I 01.05.23

REV H 30.05.23 Updates to entrance of recycling areas in line with DNA drawing 19.0391- PL-702 Updates to footpath along A838 and parking area DRAWING FOR PLANNING SUBMISSION

revision date notes

North Sutherland Health & Social Care Hub Client: Wildland Ltd

Drawing title: Landscape Layout

Drawing nr 2104-UP-XX-XX-DR-L-001 1:250 @ A0 Rev: H 17.05.23

mail@urbanpi

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**Proposed Highland Mix** Proposed Mixture: Highland Meadow mix as available by Scotia Sees Seed rate: 3gr/m2 On 150mm site-won toposoil Refer to planting plan

acidic soils. On upland sites	and grass community found on v		
acidic soils. On upland sites		vell-drained highland site	s with
in autumn. This mix is base		Ithough it can be lightly g	razed
	d on the calcifugous British Plan s & rush species in this mix.	it Communities U2 & U4	. There
Species	Common name	Origin	%
20	% wildflowers	-	
Achillea millefolium	Yarrow	Fife	2.5
Alchemilla alpina	Alpine Ladys Mantle	Angus	0.1
Calluna vulgaris	Heather	Angus	2.1
Erica cinerea	Bell heather	Angus	1.5
Galium saxatile	Heath Bedstraw	Angus	0.5
Galium verum	Lady's Bedstraw	Angus	1.1
Lotus corniculatus	Bird's-foot Trefoil	Fife	0.1
Plantago lanceolata	Ribwort Plantain	Fife	3
Potentilla erecta	Tormentil	Fife	0.1
Prunella vulgaris	Selfheal	Fife	2.6
Ranunculus acris	Meadow Buttercup	Fife	2.6
Rumex acetosella	Sheep's Sorrel	Fife	1
Succisa pratensis	Devils-bit Scabious	Fife	1.5
Trifolium repens	White Clover	Inverness-shire	1
Veronica chamaedrys	Germander Speedwell	Angus	0.1
Veronica officinalis	Common Speedwell	Perthshire	0.1
Viola riviniana	Common Dog Violet	Angus	0.2
80	% grasses		
Agrostis capillaris	Common Bent	cultivated	5
Agrostis vinealis	Brown Bent	Angus	6.7
Anthoxanthum odoratum	Sweet Vernal Grass	Fife	5
Cynosurus cristatus	Crested Dogs Tail	Fife	5
Deschampsia flexuosa	Wavy Hair Grass	Angus	8
Festuca ovina	Sheeps Fescue	Fife	25
Festuca rubra	Red Fescue	Fife	25
Luzula multiflora	Heath Wood Rush	Orkney	0.1
Molinia caerulea	Purple Moor Grass	Berwickshire	0.1
Nardus stricta	Mat Grass	Inverness-shire	0.1

If you have any queries about the mix please call us on 01356 626425.

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## **Existing tree retained** including Canopy extent in blue Root Protection Area in red (RPA)

Proposed specime Location: Design Intent:	en tree in soft landscaping (Refer to tabl Along road (arrival) and sheltered location To provide some vertical structure (still sm	s such as Sensory garden or along burn
Proposed sizes/nr:	67nr Standard and half standards as spec Specimens Rowans to front entrance, Crab Apple to s	ified in schedule in key areas as ensory garden, Alder and Hazel along
	burn . For explanation of tags refer to sche 2000x2000x900mm	edule
Trees to be staked Planted into <i>impor</i>	<b>ted</b> topsoil (300mm) and site-won subsoil (6	600mm)
Proposed group o Location: Design Intent:	of trees planted in in meadow (Included in To embankments around the site To ensure site ties in with wider surroundir successfully established in close proximity aid establishment	igs using species which have
Proposed sizes: Proposed species:	243 nr mix of whips, half standards, standa Birch, Pine, Willow, Aspen, Bird Cherry, Li	
Planted in site-won Half-Standards and	topsoil (300mm) and site-won subsoil (600 d Standards to be staked	mm)
	al planting/entrance areas on planting schedule - Car Parking Trees Along arrival and entrance	and Rose Understory)
Design Intent:	To provide attractive understory to trees ar aspirations with the rural setting of the buil Tree planting (Sorbus) combined with Des	ding
Planting density:	drifts of Heather and carpet forming Galiur Deschampsia/Calluna 9nr plants/m2 Understory at 6nr/m2, 9cm pots	n
•	<i>imported</i> topsoil (300mm) and site-won sub al planting to Fringe	o-soil (600mm)
(Refer to table 1 o Location: Design Intent:	Along burn section of arrival and along ext To offer attractive planting (flower/scent) o	ernal maintenance route
U	environment Where roses are planted close pathways a introduced 500mm from the kerb line to pr	an underground root barrier will be
	path Tree planting (Sorbus, Alnus, Corylus) con Roses Roses 3nr/m2	nbined with cultivars of wild Scottish
Planting density: To be planted into <i>i</i>	Roses 3nr/m2 Understory at 6nr/m2, 9cm pots <i>imported</i> topsoil (300mm) and site-won sub	o-sojl (600mm)
	w Base mix - (Refer to table 2 on planting	
Location: Design Intent:	To all embankments around site Species to tie-in with wider surroundings b to recognise new setting, species selected	ut with higher flowering percentage to
Proposed planting: Species:	self-sustaining species mix Base meadow mix wrapping around the er shrub as indicated on plan Based on original species found on site wi	·
Proposed density;	species. Overall effect to be of a stylised using grasses, drifts of heather and forbs Trees as mentioned above and indicated of	meadow to tie site into wider landscape
	Grasses and forbs 9nr/m2, 9cm pots, cont site-won topsoil (300mm) and site-won sub-	ract grown
Dronood also the	along onnroach and antima a (B. f	table 9 Maadau miy - acces
Proposed planting Location: Design Intent:	g along approach and entrance (Refer to Along entrance/hair pin To add some height to base mix at the ent building utilising existing flowering species	rance/as one approaches the new
	Base meadow mix wrapping around the er shrub as indicated on plan + some drifts of structural plants as one afrrives on site Trees as mentioned above and indicated of	ntire site interspersed with trees and f gorse to provide some higher
To be planted into s	Gorse 6nr/m2, 2l pots for gorse. site-won topsoil (300mm) and site-won sub-	soil (600mm)
<b>D</b>		
Location: Design Intent:	planting - Refer to tables 1 for entrance a In vicinity to building - back and front Hedge to screen parking to front and to pro Carpinus betulus (Hornbeam)	-
Proposed density:	Triple staggered row with whips at 333mm site-won topsoil (300mm), 600mm site-won	
Proposed Sensory Location: Design intent:	<b>y planting - Refer to table 3 Sensory gard</b> Sensory gardens Planting palette selected for texture, colou	<i>.</i>
Proposed planting		es, cranberries, strawberries (taste) ) bulbs
Refer to ground pre	owing substrate, depth 300mm on 300mm separation drawing for more details on soil pream and excel sheet for species	
Location: Design Intent: Proposed planting	<b>Ie planting - Refer to table 4 Bioswale Mi</b> To bottom of slopes at back of building SUDS, attractive planting adding to variety Ornamental bio-swale planting	
To be planted in gro Refer to ground pre	9nr plants/m2, 9cm/pot owing substrate, depth 300mm on 300mm s eparation drawing for more details on soil pr an and excel sheet for species	
	oof planting - Refer to table 5 on planting	g schedule
Proposed density:	To some areas of the roof as indicated To ensure building blends into wider lands Based on base mix adjusted to suit conditi 9nr plants/m2, 9cm/pot	ons on roof
Refer to ground pre	owing substrate, depth 300mm on 300mm s eparation drawing for more details on soil pr an and excel sheet for species	
Proposed amenity Proposed Mixture: Seed rate: 35gr/m2 On 150mm site-wo Refer to planting pla	Grass mix for shaded areas 2 n toposoil	
Note on topsoil		
Existing topsoil to b Construction Code Soils to be removed	be removed, stored and proteced off site du of Practice for Sustainable Use of Soils d and stored in different layers: er Topsoil - to be disposed off site (or buried	J J J J J J J J J J J J J J J J J J J
Next 200mm - Low Remaining 200mm The two topsoil laye	er topsoil - reuse on site - Subsoil - retain where possible on site an ers are to be inverted on redistribution to bu be further developed with Design Team/Cor	d remove/store and re-use otherwise) Iry weeds from top layer
ropoon on alogy to i		
ropoon on alogy to		REV C 17.05.23 Ornamental grass/Heather understorey combin in lieu of roses along the entrance in response comments received from landscape officer at H
repeen enalogy te		in lieu of roses along the entrance in response

Drawing nr 2104-UP-XX-XX-DR-L-003 1:250 @ A0 Rev: C 17.05.23

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# TABLE 01 - Approach and Entrance

<u></u>	ees and Shrub Rose				
	Plant Name	Tag			Adjusted Number
Trees	Sorbus aucuparia (h	alf standard) SA			25
	Corylus avellana (mi	*			9
	Alnus glutinosa (half	•			15
				Total Area	
Deschampsia/ Calluna understory	Plant Name	Plants Proportion of scheme	aim for 6/ 1sq.m	<u>515sq.m.</u>	Adjusted Number
	Deschampsia cespitosa "Schottland"	0.4	2.4	1236	1236
	Calluna vulgaris	0.6	3.6	1854	1854
		1	6	1004	
				Total Area	
	Plant Name	Plants Proportion of	aim for 3/ 1sq.m	<u>636sq.m.</u>	Adjusted Number
Rose Srub Understory		scheme			
	Rosa spinosissima 'Dunwich Rose'.	0.4	1.2	763.2	1225
	Rosa 'Glory of Edzell'	0.4	1.2	763.2	1225
	Rosa glauca	0.1	0.3	190.8	306
	Rosa spinosissima				
	'Robbie Burns'.	0.1	0.3	190.8	306
		1	3		
6 Per Samover	whole area - under ro	ses and Deschamp	sia nlantin	Total Area	
	Plant Name	Plants Proportion of scheme	aim for 6/ 1sq.m		Adjusted Number
Low Creepers			0	2202	2302
Low Creepers	Galium saxatile		2	2302	2302
	Galium saxatile Prunella vulgaris		4	4604	
			4		

Hedging (each hedge 3 rows 300mm apart w/whips @ 333mm centres - 89m total) Carpinus betulus

## TABLE 02 - Meadow Mix

ADLL UZ -						
Meadow Mix				Total area		
<u> </u>				of meadow		
				2625sqm		
				less		
				565sqm for		
				Gorse patches.		
				pateries.		
Neadow Mix	Plant Name	Plants Proportio n of		2060sq.m.	Adjusted Number	
		scheme				
<b>Clumping Gras</b> 10	Deschampsia cespit	0.0333	0.2997	617.382		618
	Festuca ovina	0.0333				618
	Molinia caerulea	0.0334				619
		0.0004	0.3000	019.230		013
		0.1				
		0.1				
Forbs						
50	Achillea millefolium	0.1	0.9	1854		1854
	Campanula rotundifo	0.05	0.45	927		927
	Conopodium majus	0.02	0.18	370.8		371
	Lotus corniculatus	0.03	0.27	556.2		556
	Potentilla erecta	0.05	0.45	927		927
	Ranunculus acris	0.05				927
	Stachys officinalis	0.1	0.9			1854
	Succisa pratensis	0.05				927
	Thymus praecox	0.025				464
	Viola riviniana	0.025				464
		0.025		403.3		404
Structure	Calluna vulgaris	0.05 <b>0.05</b>		927		927
Low Creepers						
35	Agrostis capillaris	0.1	0.9	1854		1854
	Deschampsia flexuo					927
	Festuca rubra	0.05				927
	Galium saxatile		0.43			
		0.1				1854
	Prunella vulgaris	0.05		927		927
		0.35				
Combined Tota		1	9	18540		18542
	adew					
Frees in the Me						440
	Betula pendula (half	•				110
	Pinus sylvestris (star		-1)			40
	Salix aurita (whips st					30
	Populus tremula (ha		5)			45
	Corylus avellana (multi-stem) Tilia cordata (standards)					<u>12</u> 3
	Prunus padus (stanc	*				3
				<b>T</b> ( )		1
Gorse patches				Total area c		
	Plant Name	Plants Pro	aim for 6/	<u>565sq.m.</u>	Adjusted	Numb
100%(of designation	Ulex europaeus	1	6	3390		3390

# TABLE 04 - BioSwale

BioSwales Bottom (0.5m wide)					BioSwales Sides (0.3m wide	BioSwales Sides (0.3m wide 30 degree slope)			
<u>%</u>		9 plants per 1 sq.m.	41sq.m.	Adjusted Number		%	9 plants per 1		Adjusted Number
Tall Perennials 1m+					Tall Perennials 1m+				
Filipendula rubra 'Venusta'	4	0.36	14.76	15	Veronicastrum 'Cupid'	10	0.9	45	45
Lythrum salicaria 'Feuerkerz	6	0.54	22.14	22		10			
	10								
					Medium Perennials 0.5m-1m				
					Amsonia tabernaemontana	10	0.9	45	45
					Astilbe chinensis var.pumila	15	1.35	67.5	68
Medium Perennials 0.5m-1	1m				Geranium 'Brookside'	15	1.35	67.5	68
Astilbe chinensis var.pumila	15	1.35	55.35	55	Rudbeckia fulgida 'Early Bird	10	0.9	45	45
Euphorbia palustris	10	0.9	36.9	37		50			
Iris laevigata	10	0.9	36.9	37					
Persicaria bistorta 'Superba	10	0.9	36.9	37					
	45				Low Perennials <0.5m				
					Fragaria vesca	10	0.9	45	45
					Carex testacea	10	0.9	45	45
Low Perennials <0.5m					Geum 'Leonards Variety'	20	1.8	90	90
Acorus variegatus	15	1.35	55.35	55		40	9		451
Lysimachia nummularia	15	1.35	55.35	55					
Primula bulleyana	15	1.35	55.35	55					
	45								
	100	9		368					

# TABLE 03 - Sensory Garden

<u>Sensory Garden</u> Upper Story	Plant Name	Plants%	aim for	180sq.	Adjusted
Perennial Display		of scheme	6/sq.m	<u>m.</u>	Numbers
Matrix					
	Molinia caerulea subsp. caerulea				
40(Including Geraniur		0.1	0.6	108	108
	Sesleria autumnalis	0.1	0.6		
	Succisa pratensis	0.1	0.6	108	108
Infill	Geranium 'Waregrave Pink'	0.1	0.6	108	108
40(included in Matrix)		0.4	0.0	100	100
	Calamagrostis 'Karl				
Emergents/Singles	Foerster' Sanguisorba	0.03	0.18	32.4	33
20	officinalis 'Red Thunder'	0.02	0.12	21.6	22
	Veronicastrum	0.02	0.12	21.0	
	virginicum 'Red Arrows'	0.03	0.18	32.4	33
	Phlomis russeliana	0.02	0.12	21.6	22
	Aquilegia vulgaris	0.1	0.6	108	108
		0.2			
Pairs and Groupings	Geum 'Mango Lassi'	0.02	0.12	21.6	22
		0.02	0.12	21.0	
40	Omphalodes 'Cherry Ingram'	0.02	0.12	21.6	22
	Iris siberica	0.02			
	Trollius europaeus	0.02	0.12	21.6	22
	Knautia macedonica	0.03	0.18	32.4	33
	Salvia nemorosa				
	'Caradonna'	0.04			
	Eurybia x herveyi	0.03	0.18	32.4	33
	Astrantia primadonna	0.03	0.18	32.4	33
	Selinum carviflora	0.03			
	Persicaria amplexicaulis 'Pink				
	Elephant'	0.04	0.24	43.2	43
	Star'	0.04	0.24	43.2	43
	'Goldsturm'	0.04			
	Solidago rugosa 'Fireworks'	0.03			
		0.03	0.10	52.4	
Total		0.4	<u>6</u>	1080	1086
Low Ground Cover (	Prunella vulgaris		2	360	360
	Fragaria vesca		1	180	
Total				540	540
Combined Total (Upp	er Story + Low Ground	Cover)			1626
Ohmeha f. O	Opendary /E		Tag		
CJ	Garden (Fragrance & Cercidiphyllum japonic		CJ		2
VB	Viburnum bodnantens		VB		4
Trees around perime	Malus hupehensis (Sta	andards)	MH		18
Fruit and Fruit Bush	Fragaria x ananassa 'S	Symphony	' (Strawber	rry)	20
	Ribes nigrum 'Ben Lor	5			
	Vaccinium corymbosu Vaccinium macrocarpo		•	•	5
				y)	10
Hedging (each hedg	e 3 rows 300mm apar	t w/whips	@ 333mn	n centres	
	Carpinus betulus				90

# TABLE 05 - Greenroof

Greenroof Meado	<u>ow Mix</u>				
Greenroof Meado	Plant Name	Plants Proportion of scheme	aim for 9/ 1sq.m	420sq.m	Adjusted Numb
Clumping Grasse	es				
20	Festuca ovina	0.2	1.8	756	756
		0.2			
Forbs					
40	Achillea millefoliu	0.1	0.9	378	378
	Lotus corniculatu	0.1	0.9	378	378
	Potentila erecta	0.05	0.45	189	189
	Ranunculus acris	0.05	0.45	189	189
	Thymus praecox	0.05	0.45	189	189
	Viola riviniana	0.05	0.45	189	189
		0.4			
Low Creepers					
40	Agrostis capillaris	0.2	1.8	756	756
	Festuca rubra	0.1	0.9	378	378
	Galium saxatile	0.05	0.45	189	189
	Prunella vulgaris	0.05	0.45	189	189
		0.4			
Combined Total		1	9		3780

# TABLE 06 - Courtyard Planting

Courtyard planting					
Upper Story Perenn Matrix	ial Display Plant Name	Plants% of	aim for 6/sq.m	<u>50sq.m.</u>	Adjusted Numbers
		scheme	0,04		
40	Carex testacea	0.25	1.5	75	70
	Luzula sylvatica 'Marginata'	0.15		45	40
		0.4			
Emoranto/Singles	Digitalis ferruginea	0.06	0.26	10	40
Emergents/Singles	Dryopteris erythrosora	0.06			18
		0.1		12	
Pairs and Groupings	S				
	Saxifraga x urbium	0.05	0.3	15	15
	Tellima grandiflora	0.03			12
	Vinca minor f. alba				
	'Gertrude Jekyll'	0.03	0.18	9	g
	Gillenia trifoliata	0.05	0.3	15	15
	Luzula nivea	0.05			
	Vancouveria				
	hexandra	0.03	0.18	9	9
	Convallaria majalis Geum 'Mango Lassi'	0.05	0.3	15	15
		0.03	0.18	9	9
	Omphalodes 'Cherry Ingram'	0.05	0.3	15	15
	Athyrium niponicum 'Pictum' Lamium	0.03	0.18	9	9
	maculatum 'Beacon Silver'	0.04	0.24	12	12
	Liriope muscari 'Big Blue'				
		0.05	0.3	15	15
Total		0.5	<u>6</u>	300	290
Low Ground Cover	Aiuga rentans				
(3 per sq.m over whole area)	'Atropurpurea'		2	100	100
Total				100	100
Combined Total (Upp	er Story + Low Grou	nd Cover)			390
Shrubs	Acer palmatum 'Sharp's Pygmy' (15Ltr)				4

REV C 17.05.23 Ornamental grass/Heather understorey combination in lieu of roses along the entrance in response to comments received from landscape officer at HC DRAWING FOR PLANNING SUBMISSION

revision date notes

North Sutherland Health & Social Care Hub Client: Wildland Ltd

Drawing title: Planting schedules

Drawing nr 2104-UP-XX-XX-DR-L-003-2 1:250 @ A0 Rev: C 17.05.23

Do not scale from drawings. Request from Landscape Architect any dimensions not provided.
 All dimensions to be checked on site prior to starting work.
 Any discrepancies to be reported to Landscape Architect.
 Drawings to be read in conjunction with architects, structural engineer's and consultant's drawings, specifications and schedules.
 UrbanPioneers Landscape Architects





EMAU E156 BENCH WITH BACK AND ARM REST





EMAU E156 BENCH WITH BACK AND ARM REST AND EMAU E157 SEAT - SPECIFIED WITH ARM RESTS



PORT PQX356-02 WITH BACK AND ARM REST AND EMAU E157 SEAT - SPECIFIED WITH ARM RESTS



CRYSTAL STANDARD BINS 55L DOG GINS 32L

## STREET FURNITURE

## 6nr Sheffield Rack stainless steel Covered by building overhang

**11nr Proprietory bench with back rest - Standard size** Product: EMAU **EM156** Material: Robinia with metal feet Finish timber: Natural Finish metal: hot-dipped galvanised and powder-coated Colour: RAL 7016

Length: standard length: 1815x625x800mm Supplier: mmcite or equal approved

6nr Proprietory bench with back rest - Standard size Product: EMAU EM157 Material: Robinia with metal feet Finish timber: Natural Finish metal: hot-dipped galvanised and powder-coated Colour: RAL 7016 Length: standard length: 655x625x800mm Supplier: mmcite or equal approved

**7nr Proprietory wall-mounted bench with back rest** Product: PORT **PQX356-02** Material: Robinia with metal feet Finish timber: Natural Finish metal: hot-dipped galvanised and powder-coated Colour: RAL 7016 Length: standard length: 1820x625x800mm Mounted to 500x625mm precast concrete wall. Supplier: mmcite or equal approved

Proposed bins, Product: CRYSTAL 6nr Standard bins Product CS210x (55l) 2nr Dog bins, Product CP110 (32l) Material: Mildsteel, hot-dipped galvanised, powder-coated Colou: RAL 7016 Both mmcite or equal approved **Retention elements,** Gabions or crib wall depending on height/space available

DRAWING FOR PLANNING SUBMISSION

revision date notes

North Sutherland Health & Social Care Hub Client: Wildland Ltd Drawing title: Furniture Layout

Drawing nr 2104-UP-XX-XX-DR-L-002 1:250 @ A0 Rev: 05.12.22

Do not scale from drawings. Request from Landscape Architect any dimensions not provided.
 All dimensions to be checked on site prior to starting work.
 Any discrepancies to be reported to Landscape Architect.





FENCES & BALUSTRADES 1.5m Secure boundary Light mesh fence for transparency and views

Handrails to all steps and ramps 900mm high, Stainless Steel Balustrade designed by architects

Existing boundary wall to be retained and protected

Existing cemetery access to be retained as is Surface to be improved

Access to Parish Church to be retained as is No change to surrounding levels

DRAWING FOR PLANNING SUBMISSION

revision date notes North Sutherland Health & Social Care Hub Client: Wildland Ltd

Drawing title: Boundary treatments

Drawing nr 2104-UP-XX-XX-DR-L-005 1:250 @ A0 Rev: 05.12.22

Do not scale from drawings. Request from Landscape Architect any dimensions not provided.
 All dimensions to be checked on site prior to starting work.
 Any discrepancies to be reported to Landscape Architect.
 Drawings to be read in conjunction with architects, structural engineer's and consultant's drawings, specifications and schedules.
 UrbanPioneers Landscape Architects