

Agenda Item	6.1
Report No	PLN/037/25

HIGHLAND COUNCIL

Committee: North Planning Applications Committee

Date: 11 June 2025

Report Title: 24/03390/FUL : GAA per Mr Gary Hull

Land 115M NE Of Fuaran, 9 Columba Court, Laide

Report By: Area Planning Manager – North

Purpose/Executive Summary

Description: Siting of 3 glamping pods (as amended)

Ward: 05 - Wester Ross, Strathpeffer And Lochalsh

Development category: Local

Reason referred to Committee: Objections from more than 5 addresses

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 This applications seeks permission for the siting of three camping pods along with the formation of a new access and surface water drainage. Each pod will have one bedroom and its own bathroom facilities. The pods measure 7m x 3.2m and have a curved roof. The new access will join the A832 which runs to the south east of the site and will require the creation of a 'causeway' over the existing small water course.
- 1.2 The development will connect to the public water supply and the existing shared septic tank which serves Laide.
- 1.3 Pre Application Consultation: None
- 1.4 Supporting Information: Flood Risk Assessment (FRA) and Drainage Impact Assessment (DIA), Preliminary Ecological Assessment, Biodiversity Enhancement and Management Statement, Transport Statement
- 1.5 Variations: The removal of an area for touring caravans has been removed, the number of pods has been reduced from four to three, the toilet and shower block has been removed and the design and positioning of the pods has been altered.

2. SITE DESCRIPTION

- 2.1 The site is open ground to the south east of a cluster of existing houses at Columba Court in Laide. The public road (A832) runs to the south east of the site. The site can currently be accessed from the west via Columba Court but the intention is that there will be no vehicular access from Columba Court once the development is complete. The house on the adjoining site to the west is currently under construction. There is a small water course running along eastern boundary of the site. The Sand Burn is further east. At its closest point it is approximately 60m from the application site. There is an existing camping and caravan site to the east of the Sand Burn.
- 2.2 The site is within the Wester Ross National Scenic Area (NSA)

3. PLANNING HISTORY

- 3.1 23/00101/FUL - Change of use of land to a touring/camping withdrawn caravan site, including 5 glamping pods, temporary amenities building, storage building and site office

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Schedule 3 and Unknown Neighbour
Date Advertised: 27 September 2024
Representation deadline: 25 April 2025 (re-notification following changes)
Timeous representations: 60 (from 35 households)
Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) The proposal is contrary to local and national policy
Officer response: The proposal has been judged to be in accordance with policy as set out below.
- b) The development does not reflect the scale and character of the village
Officer response: The proposal is for three one-bedroom camping pods. The development is judged to be acceptable in the context of the existing development. This is set out in more detail below.
- c) Visual amenity and the need for more screening should be provided
Officer response: The development will be read against the backdrop of existing development in the context of the wider development. The visual impact is considered to be acceptable, however a detailed landscaping plan will be sought by condition. This will include some screening along the eastern boundary of the site to soften the impact and help the development integrate into the wider landscape.
- d) The area already suffers from over-tourism
Officers response: The concerns of local residents are noted. Tourism is an important part of the local economy and this proposal is considered to comply with policy in relation to tourism as set out below.
- e) The potential for access from Columba Court and associated disruption to residents
Officer response: The access to the site will be directly from the A832. There will be no vehicular access to Columba Court. In line with the recommendations in the FRA there will be a pedestrian access for emergencies. While this is set out clearly in the supporting documents accompanying the application it is recommended that a condition is attached to clarify this.
- f) Impact on protected species particularly otters
Officer response: An ecological assessment of the site has taken place. While this found evidence of the presence of otters nearby, it did not find any evidence of an otter couch. The survey concluded that there would be no adverse impact on protected species or their habitats. A biodiversity enhancement plan has also been provided.
- g) Proximity to houses
Officer response: The development is close to houses but is on the edge of the housing area and will only share a boundary with the owner's property. Given the scale of the development and the relationship with existing houses the development is considered to be acceptable in this setting.
- h) The ability of the public water supply and septic tank to accommodate additional development
Officer response: Scottish Water have no objection to the proposal. It remains the responsibility of the developer to secure a connection.
- i) Development is on a greenfield site
Officer response: This is development of a greenfield site. NPF4 policy 9 states that development on greenfield sites will not be supported unless it is allocated in the LDP. However, NPF4 must be applied as a whole and policy 29 is supportive of development in rural areas in order to support rural communities and businesses.
- j) Impact on soils

Officer response: the site is not peatland or protected soil. The development is considered to accord with NPF4 policy 5. Impact on the Sand Burn

Officer response: Good practice measures in relation to pollution prevention will avoid adverse impacts on the Sand Burn.

k) Noise

Officer response: Given the scale of development now proposed noise is likely to be at a level that is acceptable in a largely residential area. Any noise nuisance is a matter for Environmental Health. Anti-social behaviour is a matter for the management of the site.

l) Light pollution

Officer response: The site is next to existing houses where some level of external lighting is to be expected. A condition will be attached requiring a lighting scheme to be submitted.

m) Car pollution

Officer response: The scale of development proposed will not have a significant impact in relation to pollution. Cycle parking will be provided to ensure alternative options for access are available.

n) Flood risk

Officer response: Neither Flood Risk Management (FRM) or SEPA object to the proposal subject to conditions to control the finished floor levels and following changes to the plans to provide a riparian buffer and clarify that the works to form the access will be outwith the flood plain.

o) The suitability of the access

Officer response: Transport Planning have no objection to the access proposals subject to conditions to ensure it is formed to an acceptable standard.

p) Parking provision

Officer response: The Council's parking standards require one parking space per bedroom for development of this type. The plans show one space for each unit and one for staff/visitors. This meets the Council's standards.

q) Lack of footpath to the village

Officer response: There is no footpath at present and the provision of a footpath is not considered commensurate with the scale of development proposed

r) Impact on the NSA:

Officer response: The scale and design of the development is such that the impact is considered to be acceptable. This is addressed in more detail below.

s) Legitimate public concern

Officer response: The concerns raised in representations are noted and along with all other material considerations form part of the assessment of this application.

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

- 5.1 **Aultbea Community Council:** Objection. The objections and concerns of many residents in the vicinity of the development should be taken into consideration.

- 5.2 **Corporate Address Gazetteer (CAG):** The applicant must notify the CAG when development takes place so that the necessary changes can be made to the CAG
- 5.3 **Flood Risk Management:** Objection removed following changes to the plans and clarification on the finished floor levels, finished ground levels and distance from the small water course at the east of the site. Conditions are recommended to control this and in relation to drainage
- 5.4 **Transport Planning:** No objection subject to the access being formed to Council standard. Adequate visibility, parking and turning can be provided.
- 5.5 **SEPA:** Objection withdrawn following changes to the plans which show the finished floor levels are not below 6.13m AOD and a 6m buffer is maintained from the water course.
- 5.6 **Scottish Water :** Response awaited.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 National Planning Framework 4 (2023) (NPF4)

Policy 1 - Tackling the Climate and Nature Crises
Policy 2 - Climate Mitigation and Adaptation
Policy 3 - Biodiversity
Policy 4 - Natural Places
Policy 5 - Soils
Policy 6 - Forestry, Woodland and Trees
Policy 12 - Zero Waste
Policy 13 - Sustainable Transport
Policy 14 - Design Quality and Place
Policy 18 - Infrastructure First
Policy 22 - Flood Risk and Water Management
Policy 23 - Health and Safety
Policy 29 - Rural Development
Policy 30 - Tourism

6.2 Highland Wide Local Development Plan 2012 (HwLDP)

28 - Sustainable Design
29 - Design Quality and Place-making
30 - Physical Constraints
36 - Development in the Wider Countryside
44 - Tourist Accommodation
51 - Trees and Development
57 - Natural, Built and Cultural Heritage
58 - Protected Species
59 - Other important Species
60 - Other Importance Habitats
61 - Landscape

63 - Water Environment
64 - Flood Risk
65 - Waste Water Treatment
66 - Surface Water Drainage
72 - Pollution

6.3 West Highland and Islands Local Development Plan (2019) (WestPlan)

No specific policies apply.

6.4 Highland Council Supplementary Planning Policy Guidance

Flood Risk and Drainage Impact Assessment (Jan 2013)
Highland's Statutorily Protected Species (March 2013)
Managing Waste in New Developments (March 2013)
Onshore Wind Energy: Interim Supplementary Guidance (March 2012)
Physical Constraints (March 2013)
Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Not applicable

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) Principle of the development including siting and design
- c) Amenity impacts
- d) Environmental impacts including flood risk, protected species and biodiversity enhancements
- e) Infrastructure and servicing including flood risk, drainage and access
- f) any other material considerations

Development plan/other planning policy

- 8.4 All planning applications must now be determined in accordance with the provisions of NPF4 and the existing Local Development Plan unless material considerations provide justification otherwise. If there is an inconsistency between NPF4 policies and an LDP which was adopted before 13 February 2023, NPF4 prevails under Section 24(3) of the Town and Country Planning (Scotland) Act 1997 (as amended), and NPF4 takes precedence over HwLDP. In this case the Development Plan is comprised of NPF4 and the West Highlands and Islands Local Development Plan (although this has no site-specific policies of relevance to this application) and the Highland-Wide Local Development Plan
- 8.5 NPF4 Policies 1-3 apply to all development proposals nationwide. When considering all development proposals, significant weight will be given to the global climate and nature crises. Development proposals will be sited and designed to minimise lifecycle greenhouse gas emissions as far as possible. Development proposals will contribute to the enhancement of biodiversity, including where relevant, restoring degraded habitats and building and strengthening nature networks and the connections between them. Proposals should also integrate nature-based solutions, where possible.
- 8.6 NPF4 policy 4 clarifies that development within a National Scenic Area will only be supported where the objectives or the designation and the overall integrity of the area will not be compromised. It also seeks protect protected species and requires impacts to be fully considered prior to determination of an application.
- 8.7 NPF4 policy 5 seeks to protect valued and carbon rich soils and restore peatland
- 8.8 NPF4 policy 13 (Sustainable Transport) requires development to encourage, promote and facilitate walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably.
- 8.9 NPF4 Policy 14 (Design, Quality and Place) states that development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale and proposal will be supported where they meet the six qualities of successful places: Healthy, Pleasant, Connected, Distinctive, Sustainable and Adaptable. Proposals which are poorly designed, detrimental to the amenity of the surrounding area or inconsistent with the six qualities of successful places will not be supported.
- 8.10 NPF4 policy 18 (Infrastructure First) requires development to address any impacts on existing infrastructure. These requirements are also reflected in Policy 56 – Travel of the HwLDP
- 8.11 NPF4 policy 22 (Flood Risk and Water Management) sets out policy in relation to flood risk and sets out explicitly that development on land at risk of flooding or in a flood risk area will not be supported unless essential infrastructure where:
- i. the location is required for operational reasons;
 - ii. is for water compatible uses;
 - iii. consists of the redevelopment of an existing building or site for an equal or less vulnerable use; or.

- iv. the redevelopment of previously used sites in built up areas where the LDP has identified a need to bring these into positive use and where proposals demonstrate that long term safety and resilience can be secured in accordance with relevant SEPA advice.

Policy 22 also requires that development must not increase the risk of surface water flooding and must manage all rain and surface water through the principles of SUDS. This is in line with Policy 66 (Surface Water Drainage), this requires all development to be drainage by way of SUDs and in accordance with Sewers for Scotland.

- 8.12 NP4 policy 23 sets out a number of requirements to mitigate environmental harm, mitigate safety hazards and promote health and well-being. Of specific relevance to this development is that the policy states that development proposals that are likely to raise unacceptable noise issues will not be supported.
- 8.13 NPF4 policy 29 (Rural development) is supportive of proposals that will contribute to the viability, sustainability and diversity of rural communities and the local rural economy. In remote rural areas such as this are supported where the proposal supports local employment, supports and sustains existing communities and is suitable in terms of location, access, siting design and environmental impacts.
- 8.14 NPF4 policy 30 (Tourism) is supportive of proposals for tourism accommodation but requires proposals to take into account the following:
 - i. The contribution made to the local economy;
 - ii. Compatibility with the surrounding area in terms of the nature and scale of the activity and impacts of increased visitors;
 - iii. Impacts on communities, for example by hindering the provision of homes and services for local people;
 - iv. Opportunities for sustainable travel and appropriate management of parking and traffic generation and scope for sustaining public transport services particularly in rural areas;
 - v. Accessibility for disabled people;
 - vi. Measures taken to minimise carbon emissions;
 - vii. Opportunities to provide access to the natural environment.
- 8.15 This is in line with HWLDP policy 44 (Tourist Accommodation) which supports proposals in the open countryside where it can be demonstrated that a demand exists and that it can be achieved without adversely affecting the landscape character or heritage features and is appropriate in terms of siting and design.
- 8.16 For the reasons laid out below, the proposal is considered to comply with the development plan.
- 8.17 **Principle of Development**

The proposed pods are suitably sited close to an existing village but on the edge of an area of housing. The development will be set on the seaward side of the road with a cluster of houses visible on rising land to the west on the eastern approach to Laide. There is a belt of trees along the road which screens development from the

road to some extent. The existing camp site is to the south east of the application site with open land in between. The development will be read in the context of the surrounding houses and wider village and will not be incongruous in this setting. There will be sufficient separation from the existing camping and caravan site to avoid any visual coalescence development. Tourism is important to the local economy and this development would add another tourism facility to the area which helps to sustain the surrounding communities. Given the relatively modest scale of development proposed it is considered that this development is compatible with the surrounding area and can be accommodated in this setting. Sustainable travel measures have been incorporated and a biodiversity plan has been provided. The development is appropriately sited and laid out and as is addressed in more detail below will not result in adverse impacts in relation access, servicing or environmental impacts. The proposals are therefore considered to comply with NPF4 policies 29 and 30.

8.18 Design and Materials

The pods are of standard curved roof design and will be timber clad. A condition is recommended to ensure that the pods are either unpainted, covered in a natural stain or painted in a dark recessive colour. The design and materials are typical of development of this nature. The surrounding development is a mix of styles and most of the houses in the immediate vicinity are modern in form, style and finish. The pods will not be incongruous in this setting. The development is appropriately sited designed and will not adversely impact on the Wester Ross NSA. The proposal therefore accords with NPF4 policies 4 and 14.

8.19 Amenity

The site is close to existing houses. The nearest house is that currently under construction by the same applicant which bounds the application site. The development is for three pods only. The level of noise and disturbance associated with this scale of development would not be out of character with the edge of village setting and is appropriate in this location. No details of external lighting have been provided and it is recommended that this is addressed by condition to ensure that insensitive lighting does not adversely impact on neighbours or the surrounding landscape. The siting of the units and the positioning of openings is such that there will be no loss of privacy or overlooking issues as a result of the development. Subject to the recommended conditions the amenity impacts are considered to be acceptable and in accordance with HWLPD policy 28 and NPF4 policy 23.

8.20 Environmental Impacts

A Preliminary Ecological Assessment of the site has been carried out. While it found evidence of use of the site by protected species including otters no otter couches or other protected habits were found. The assessment did not recommend any further survey work or specific mitigation as no direct impacts were identified. The report highlighted potential risk of pollution to the Sand Burn and the Inner Hebrides and the Minches SAC. The report concludes that this can be mitigated by following the relevant guidance on pollution prevention. The clearance of the site has the potential to impact on breeding birds. An informative is recommended highlighting the developer's obligations under the Wildlife and Countryside Act. The development

will not adversely impact on the protected species or their habitats therefore the proposal complies with NPF4 policy 4.

8.21 Biodiversity and Landscaping

A biodiversity plan has been provided. This sets out a range of measures including tree planting, retention of log piles, provision of two bee boxes or bricks, 4 bird boxes and 3 bat boxes and a short flowering lawn. The proposed measures are acceptable for the scale of development proposed and meet the requirements set out in the Council's biodiversity guidance and NPF4 policy 3. However, the written document is not accompanied with a detailed plan showing the proposed planting or the other enhancements and it is recommended that a condition is attached requiring a detailed landscaping plan to be provided showing all measures identified in the written statement in plan form. It is further recommended that the landscaping plan shows planting along the eastern boundary of the site to provide an element of screening and help integrate the development into the surrounding landscaping. The plan should also detail the boundary treatments which have not been provided as part of the application.

Subject to the recommended condition the proposal will provide sufficient landscaping and adequate biodiversity enhancement. The development is a small scale local development for the purposes of the Council's Biodiversity Guidance and broadly meet the requirements. guidance and comply with NPF4 policy 3.

8.22 Climate & Nature Crisis and Climate Mitigation

NPF4 policies 1 and 2 require significant weight to be given to the climate and nature crises in the assessment of all applications and requires climate mitigation from all development. In this case the development is relatively small scale and low impact. The units have been sited to benefit from solar gain. Furthermore, as is noted above biodiversity measures are to be incorporated. The proposals comply with NPF4 policies 1 and 2.

8.22 Flood Risk

The site is identified as being at risk of flooding from both the small watercourse to the east of the site and the Sand Burn outwith the site to the east. Both SEPA and FRM initially objected to the proposal on the grounds of flood risk. The scheme was subsequently changed to remove the touring pitches and reduce the application site to exclude the area at highest risk of flooding. A revised FRA and additional drawings were provided to demonstrate that the finished floor levels of the proposed units were acceptable and that the units were sited at an acceptable existing ground level and suitably separated from the small water course. It also demonstrated that the 'causeway' required to build the bridge is outwith the flood area as the existing ground levels are above 5.53m AOD and therefore the required land raising is acceptable. It is recommended that the final design of the bridge is controlled by condition to ensure an acceptable lowest level. Both SEPA and FRM have withdrawn their objections on the basis of the revised information. Subject to the recommend conditions to secure the finished floor and ground levels and the details of the bridge the development will not increase the risk of flooding on site or elsewhere. The proposal is therefore considered to be acceptable in relation to NPF4 policy 22.

8.23 **Drainage and Water Supply**

The development will be connected to the public water supply and shared public septic tank which serves Laide. It is the responsibility of the developer to secure a connection to public utilities.

- 8.24 A DIA has been provided in support of the application which provides an indicative surface water drainage proposal including a swale which will attenuate surface water before discharging to the small water course to the east. FRM have no objection to the proposal in principle. It is recommended that a detailed surface water plan is sought by condition to ensure that the drainage scheme is acceptable and timeously provided. Subject to the recommended conditions the development will not increase the risk of surface water flooding and will ensure that surface water is effectively managed in accordance with NPF4 policy 22.

8.25 **Access and Parking**

The site will be accessed via a new access from the A832. This will require a new 'causeway' across the small water course as noted above. Transport Planning are content with the access proposed provided that it is formed in accordance with the Council's standard details. It is recommended that the provision of the access and the maintenance of the visibility splays is controlled by condition. The recommended condition will ensure a safe access that does not adversely impact on the public road and as such the development will comply with NPF4 policy 18.

- 8.26 The Council's parking standards require tourist development to provide one parking space per bedroom. The submitted plans show four parking spaces which provides one space for each of the one-bedroom units and an additional space for staff/visitors. This complies the parking standards and is an acceptable level of provision for development of this scale. This will ensure that adequate provision is made for a range of transport options in accordance with NPF4 policy 13.

Other material considerations

- 8.27 None

Non-material considerations

- 8.28 The following non material considerations were in representations

- The potential for further development in future
Officer response: permitted development rights for development of this kind are limited and additional development would require separate planning permission which would be assessed at that time.
- Unauthorised work on site
Officer response: work is underway on the house site to the west which includes some temporary structures erected under permitted development rights. The situation can be monitored separated through the enforcement process.
- The impact of construction noise

Officer response: Given the nature and scale of the development proposed this is likely to be for a limited period only. Construction working hours are controlled by separate legislation

- Speeding and other dangerous driving on the A832

Officer response: This a police matter

- Matters relating to the proposed touring pitches

Officer response: This part of the scheme has been removed and no longer forms part of the application.

- There is no need for an additional camping facility in the area

Officer response: This is a commercial operation and that is a matter for the operator of the site.

- Inconsistencies in the drawings

Officer response: These have been rectified

- Issues relating to the house site to the west

Officer response: A house was approved (21/03929/FUL) on the site to the west of the application site in February 2022. The house is currently under construction. This is not linked to the current application but both sites are in the same ownership. This is a separate application and must be considered on its own merits.

- Lack of local engagement

Officer response: There are no statutory pre-application consultation requirements for a development of this scale. This is a matter for the developer.

Matters to be secured by Legal Agreement / Upfront Payment

8.29 None

9. CONCLUSION

9.1 The proposal is considered to accord with the development plan. It is considered to be sited and designed in a manner that is appropriate to the surrounding area and will not give rise to unacceptable amenity impacts. The proposal adequately addresses access, flood risk and drainage issues and has demonstrated that there will be no adverse environmental impact. The concerns of local residents have been fully considered and are addressed above. The proposal is recommended for approval subject to the conditions set out below.

9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above actions, it is recommended to

GRANT the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

- 2 No works shall commence on site until details of a scheme for the parking of a minimum of 3 cycles (to include the location(s), design specifications and timescale for provision of the cycle stands) have been submitted to and approved in writing by the Council, as Planning Authority in consultation with the Roads Authority.

Thereafter, the scheme shall be implemented in accordance with the approved details with the cycle facilities to be provided and made available for use prior to the development being first occupied or brought into use, whichever is the sooner, and thereafter retained and maintained for use throughout the lifetime of the development.

Reason – Details of the matters specified are lacking from the submission and to ensure that acceptable cycle parking infrastructure is provided for use in conjunction with the development

- 3 No development shall commence until a detail landscaping and biodiversity plan has been submitted to and agreed in writing by the Planning Authority. For the avoidance of doubt the plans shall include all enhancements set out in the submitted Biodiversity Enhancement Statement and Biodiversity Site Management Plan by Atmos Consulting dated 30 January 2025 but shall also include provision for planting along the eastern boundary of the site and provide details of all proposed boundary treatments. Thereafter all works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in

the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species. All other biodiversity enhancements or boundary treatments shall be provided prior to the first occupation of any of the units hereby approved. Ongoing maintenance of all landscaping and biodiversity measure shall be as detailed the submitted Biodiversity Enhancement Statement and Biodiversity Site Management Plan by Atmos Consulting dated 30 January 2025

Reason: To ensure that an appropriate level of biodiversity enhancement and landscaping is achieved.

4. No development shall commence until full details of any external lighting to be used within the site and/or along its boundaries and/or access have been submitted to, and approved in writing by, the Planning Authority. Such details shall include full details of the location, type, angle of direction and wattage of each light which shall be so positioned and angled to prevent any direct illumination, glare or light spillage outwith the site boundary. Thereafter only the approved details shall be implemented.

Reason: In order to safeguard the amenity of neighbouring properties and occupants.

5. The site access shall be constructed in accordance with The Highland Council's Access to Single Houses and Small Housing Developments guidelines and the attached Access Schedule (dated 13 May 2025). No other development shall commence until the junction has been constructed in full and within the stated visibility splays, at no time shall anything obscure visibility between a driver's eye height of 1.05m positioned at the X dimension and an object height of 0.60m anywhere along the Y dimension. For the avoidance of doubt there shall be no vehicular access to the site from Columba Court.

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

6. No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) and the details set out in the submitted Flood Risk and Drainage Impact Assessment AEG4622_Laide_03 by Aegaea Revision D dated 10 March 2025 have been submitted to, and approved in writing by, the Planning Authority. Thereafter, only the approved details shall be implemented and all surface water drainage provision shall be completed prior to the first occupation of any of the units hereby approved.

Reason: To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment

7. No development shall commence until details of facilities for the storage and collection of wheelie bins have been submitted to and agreed in writing by the Planning Authority in consultation with the Roads Authority. For the avoidance of doubt a suitable collection point of at least 2m x 1m shall be provided within 10m of the edge of the public road but outwith the required visibility splays. Thereafter the agreed facilities shall be provided prior to the first occupation of any of the units hereby approved and retained as such in perpetuity.

Reason: To ensure adequate facilities for waste management

8. The units hereby approved shall be used for holiday/short term letting purposes only and shall not be used as the sole or main place of residence of any occupant; a holiday being defined as a stay of one or more nights by a person or persons away from that person or persons sole or main place of residence unless otherwise agreed with this Council as Planning Authority and shall not be occupied by the same person or persons for more than 3 months in any calendar year (Any such period shall not run consecutively to such a period in any successive or preceding year)

Reason: To ensure that the development does not become used for permanent residential occupation in recognition of the lack of private amenity and internal building standards compliant space, and in accordance with the use applied for.

9. The units hereby approved shall be positioned as shown on approved plan GA3046-PSP-01L (Rev L) and at the levels shown in approved drawing GA3406-SS-001

Reason: To avoid flood risk

10. The soffit of the access bridge to A832 shall be no lower than 5.97m AOD in order to accommodate the 200 year+ climate change flow of the watercourse (with a suitable freeboard).

Reason: To avoid flood risk.

11. Prior to the first occupation of the development hereby approved, the car parking and turning arrangements detailed on approved plan ref. GA3406-PSP-01 REV L shall be completed in full and made available for use. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

Reason: In order to ensure that the level of off-street parking is adequate

12. For the avoidance of doubt all timber cladding shall be unpainted or covered in a nature stain or painted a dark recessive colour.

Reason: To protect the integrity of the National Scenic Area and because no such details were included with the application.

Signature:

Designation: Area Planning Manager North

Author: Lisa MacDonald

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - GA3406-LP-01 REV B Location Plan
- Plan 2 - GA3406-PSP-01 REV L PROPOSED SITE LAYOUT PLAN
- Plan 3 - GA3406- PPE-001 REV A PROPOSED FLOOR/ELEVATION PLAN
- Plan 4 - GA3406-SS-01 Section Plan

Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* ¹	Index Linked ¹	Base Date* ²	Payment Trigger* ³	Accounting Dates* ⁴	Clawback Period* ⁵
Schools²									
Primary – Build Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Primary – Land Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Build Costs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Secondary – Land Costs	Insert what contribution is for	£0.00	£0.00	£0.00	No		TOC/CC	Apr/Oct	15 or 20
Community Facilities	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS	Q2 2018	TOC/CC	Apr/Oct	15 or 20
Affordable Housing									
On-site provision ³	X units. Insert details of unit size and timescale for delivery if agreed	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Off-site provision ⁴	X units. Insert details of location, unit size and timescale for delivery if agreed	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Commuted Sum ⁵	£0.00 per affordable unit not delivered on/off site. Insert expected timescale for payment - can be in installments	N/A	N/A	£0.00	N/A	N/A	Insert specific payment date	N/A	5 Years
Agreement for Delivery Needed	Y/N. If delivery for affordable housing has not yet been agreed, enter Y and specify the date/timescale that the scheme for delivery is to be submitted for approval	N/A	N/A	N/A	N/A	N/A	Insert date for submission to Planning Authority	N/A	N/A

¹ If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

² Indicate whether or not 1 bed houses/flats are exempt

³ Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

⁴ As above

⁵ Indicate whether a penalty payment is due for late payment of commuted sum (and, if so, what it is based upon)

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* ¹	Index Linked ¹	Base Date* ²	Payment Trigger* ³	Accounting Dates* ⁴	Clawback Period* ⁵
Transport									
Active Travel	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Safer Routes to Schools	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Realm	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Wayfinding	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Public Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
School Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Improvements	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Parking	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
EV Charging	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Traffic Signals	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Lighting	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Traffic Orders	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Cumulative Transport Contributions	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Infrastructure									
Open Space	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Network	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Built/Natural Heritage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Water and Waste									
Catchment Improvement Works	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Strategic Flood Scheme	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Maintenance of SuDs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Off Street Waste Storage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Recycling Point Provision	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Glass Banks	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
		£0.00	£0.00	£0.00					
Public Art	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Other (Please Specify)	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20

*¹ Adjust total to take account of flat exemptions

*² Base Date – Set out in Supplementary Guidance on Developer Contributions

*³ TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

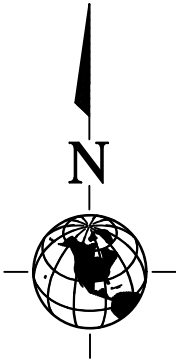
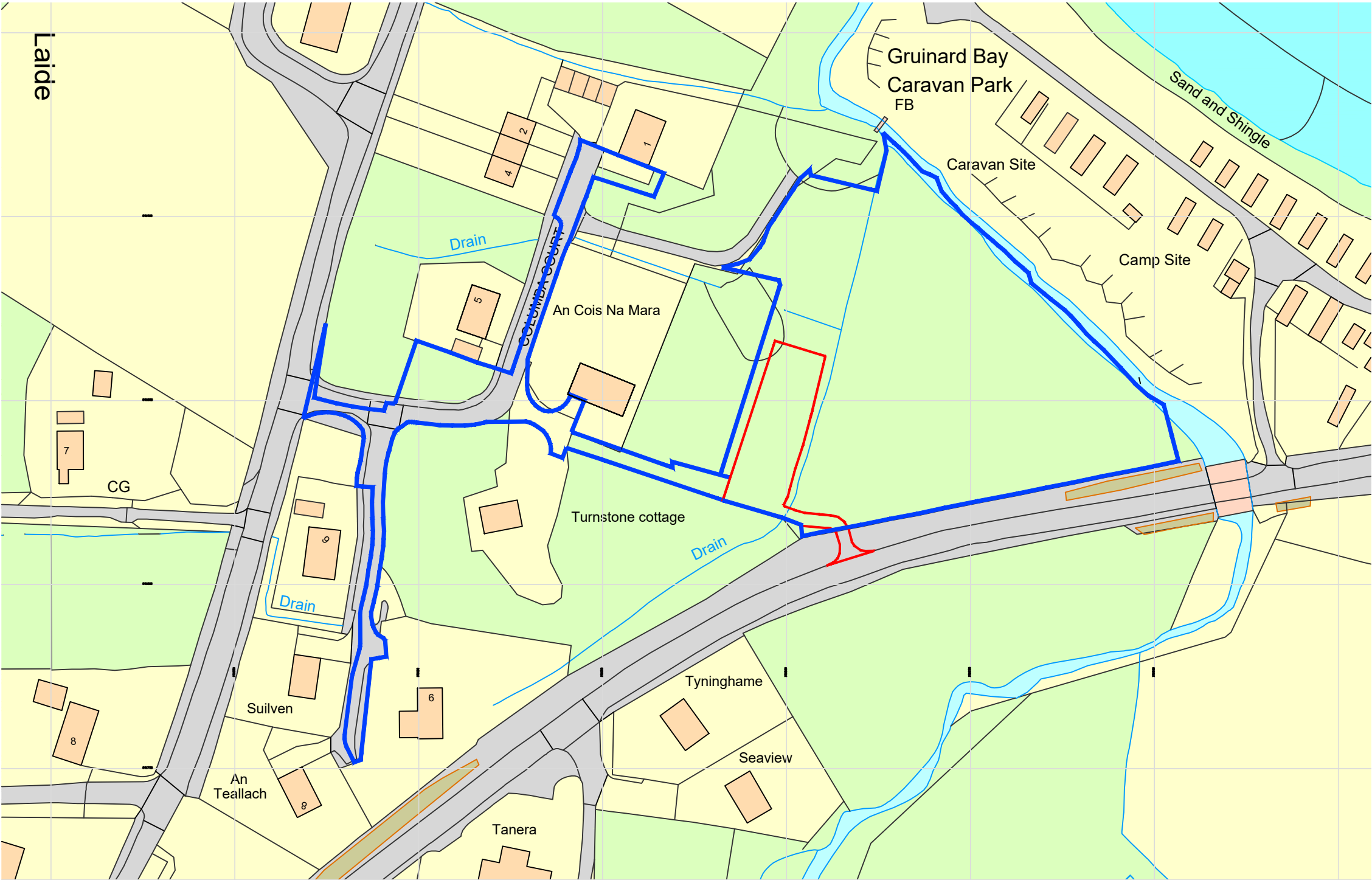
- *4 Accounting dates - 1 April and 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)
- *5 Clawback – 15 years for Major development; 20 years for Local development

Other Legal Agreement requirements

Type	Details
Bond	1. Describe the purpose of the Bond
	2. Specify the amount to be secured
	3. Restriction on Bond provider
	4. Set the review date and mechanism for review
	5. Describe the call on circumstances
	6. Any other relevant details
Habitat Management Plan	1. Describe what the Plan is to cover
	2. Describe the area the Plan is to cover (and provide a plan)
	3. Set the timetable for submission of the Plan
	4. Set the timescale for implementation of the Plan
	5. Describe requirements to consult third parties
	6. Specify the financial contribution (if any)
	7. Specify the clawback period (if any)
	8. Any other relevant details
Road Survey	1. Specify the timescale for the initial survey
	2. Describe which roads are to be surveyed (provide a plan)
	3. Specify an interim survey date (if required)
	4. Specify the final survey requirements and timescale
	5. Any other relevant details
Land and Asset Transfer	1. Describe the area of land / asset to be transferred (provide a plan)
	2. Describe the use of the land / asset
	3. Specify the cost of transfer
	4. Any other relevant details

LOCATION PLAN

PLOT 4 COLUMBA COURT, LAIDE, ACHNASHEEN,ROSS SHIRE IV22 2NL



2 CROSTON VILLA
HIGH STREET
GARSTANG
PRESTON
PR3 1EA

CLIENT MR. G. HULL DWG STATUS PLANNING PURPOSES ONLY

DRAWING TITLE / PROJECT
LOCATION PLAN:
PLOT 4 COLUMBA COURT, LAIDE, ACHNASHEEN,ROSS
SHIRE IV22 2NL

DRAWING No. GA3406-LP-01B SCALES 1: 1250 @ (A3) DATE MARCH25




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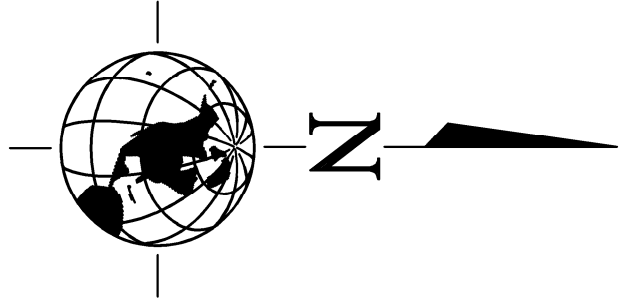
PROPOSED SITE PLAN

Plot 4 Columba Court, Laide, Achnasheen, IV22 2NL



KEY :

-  PROPOSED CLAMPING PODS
16.4 ft X 10.4 ft (7 m X 3.2m)
-  PROPOSED HEDGEROW
-  2.4M X 120M VISIBILITY SPLAY
-  PROPOSED FOOTPATH LINKS
-  BIN STORE
-  CYCLE STORES
-  6M BUFFER FROM TOP OF BANK



2 OROSTON MILL
 GARDINER STREET
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 W: www.ga-uk.com

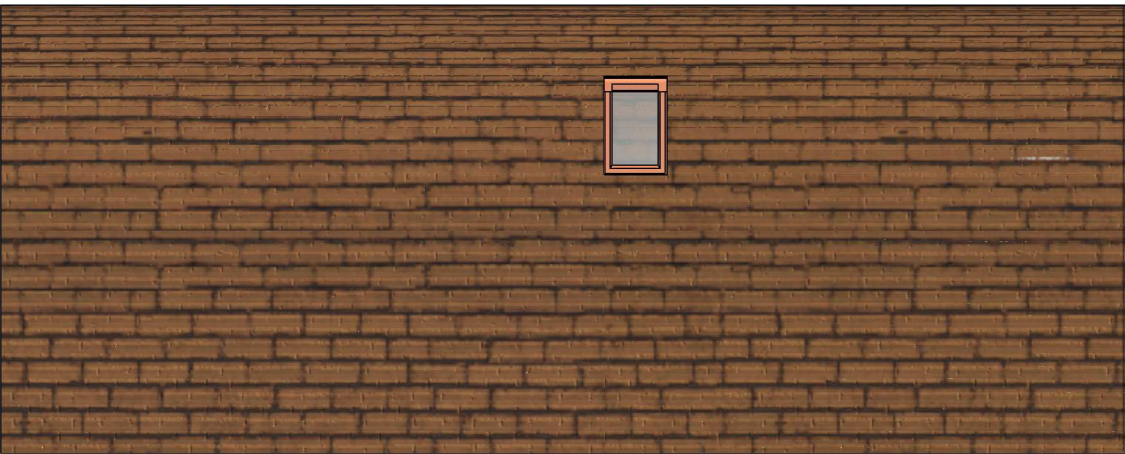
MR G HULL
 PROPOSED SITE PLAN:
 Plot 4 Columba Court, Laide, Achnasheen, IV22 2NL
 GA3406-PSP-01L
 1:500(A1)
 15 MARCH 2025

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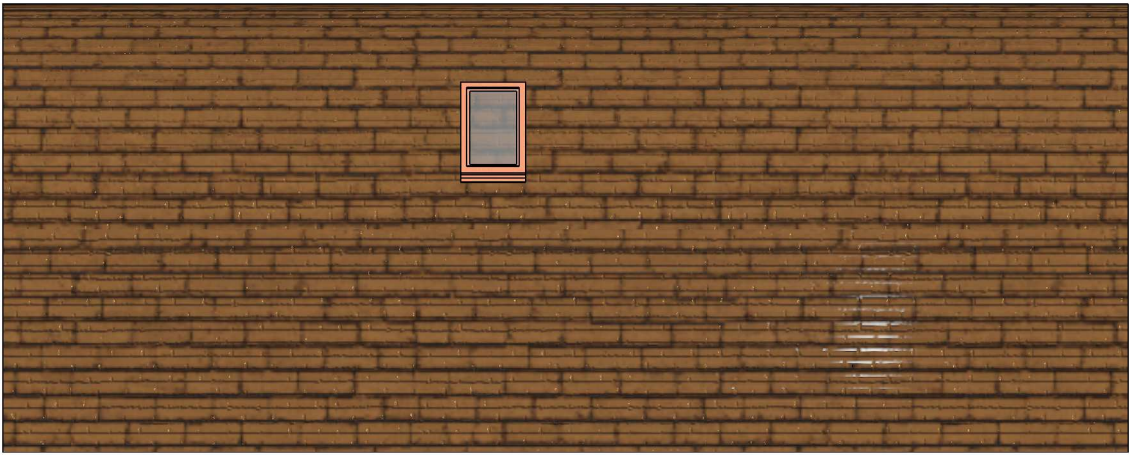
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PROPOSED GLAMPING POD 7m X 3.2m

Plot 4 Columba Court, Laide, Achnasheen, IV22 2NL



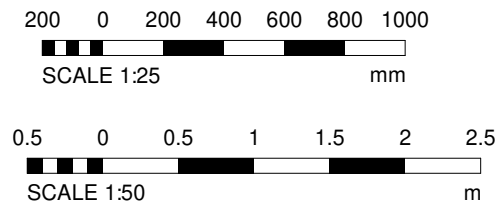
EAST ELEVATION
1 : 50



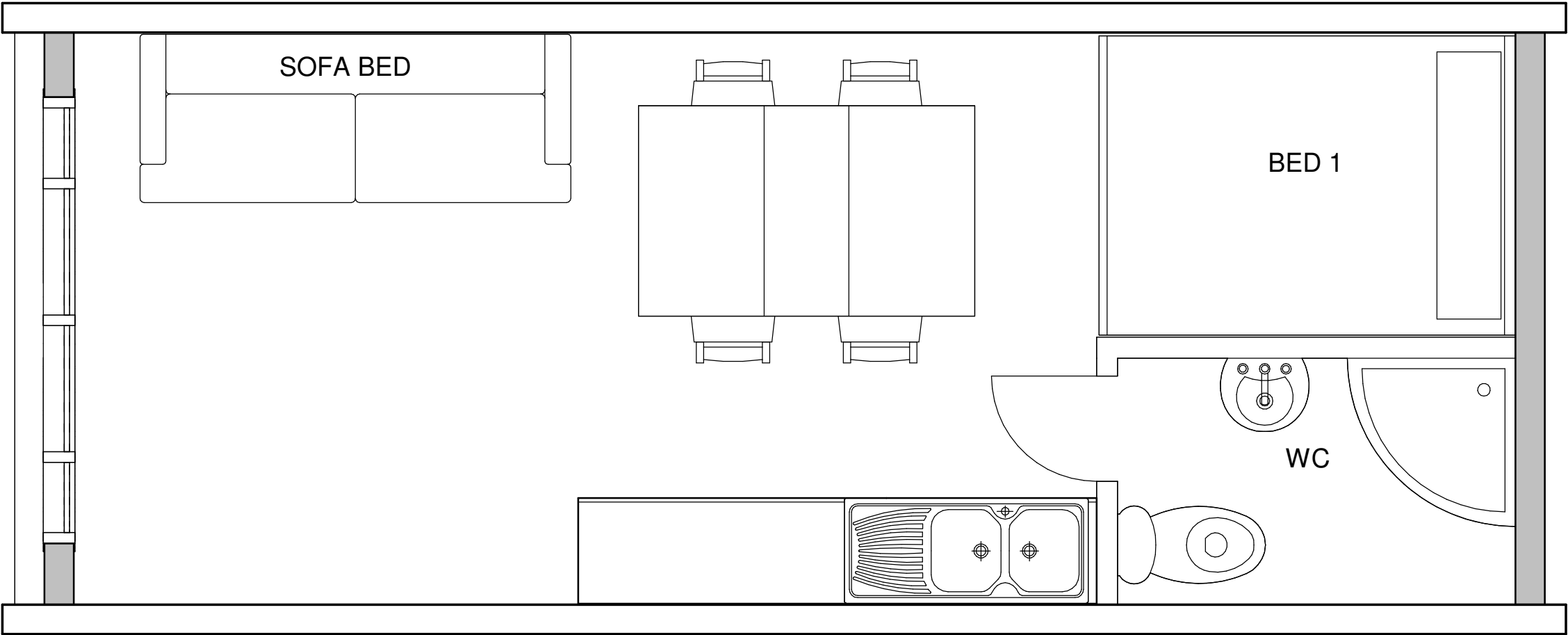
WEST ELEVATION
1 : 50



NORTH ELEVATION
1 : 50



GROUND FLOOR
1 : 25



SOUTH ELEVATION
1 : 50

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2 CROSTON VILLA

HIGH STREET

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CLIENT

MR G HULL

DWG STATUS

Project Status

DRAWING TITLE / PROJECT

Proposed Plans and Elevations (Pods)

Plot 4 Columba Court, Laide, Achnasheen, IV22 2NL

DRAWING No.

GA3406-PPE-001

SCALE/FB

A3@1:25/50

DATE

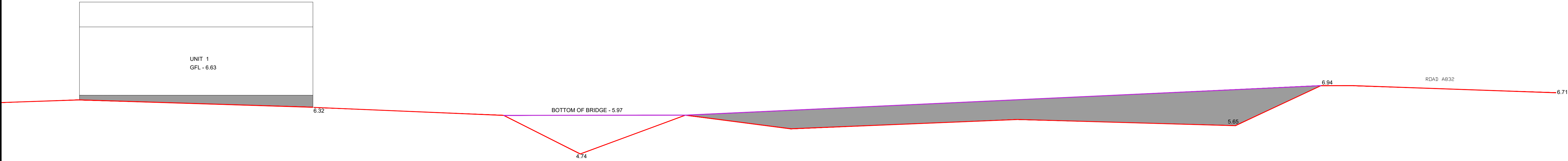
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SITE SECTION

Plot 4 Columba Court, Laide, Achnasheen, IV22 2NL



KEY :

- EXISTING GROUND LEVEL
- PROPOSED GROUND LEVEL

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MR G HULL

2025 STATUS

SITE SECTION:

Plot 4 Columba Court, Laide, Achnasheen, IV22 2NL

DRAWING NO:

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MARCH 25

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