

Agenda Item	6.2
Report No	PLN/038/25

HIGHLAND COUNCIL

Committee: North Planning Applications Committee

Date: 11 June 2025

Report Title: 24/02000/FUL: Mr C Parrino

Land 165M East Of Northern Lights Caravan Park, Badcaul, Dundonnell

Report By: Area Planning Manager North

Purpose/Executive Summary

Description: Erection of house, erection of wind turbine, formation of access, siting of 2no. cabins for holiday letting and erection of kayak shed and dock

Ward: 05 - Wester Ross, Strathpeffer And Lochalsh

Development category: Local

Reason referred to Committee: Area Manager's Discretion

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 This application seeks permission for a single house along with two holiday letting units, a kayak shed, jetty, wind turbine and associated access and drainage.
- 1.2 The development will be connected to the public water supply.
- 1.3 Pre Application Consultation: None
- 1.4 Supporting Information: Private Access Checklist, Supporting Statement, Response to comments, wind turbine data
- 1.5 Variations: changes to access and layout of driveway

2. SITE DESCRIPTION

- 2.1 The site is undeveloped land to the east of the A832 at Badcaul. The land slopes away steeply from the road towards Little Loch Broom to the east. There are some small trees across the site. The site is currently undeveloped. There is an established camp site to the north along with an unfinished house (06/00425/REMRC) . Another new house (22/02869/FUL) is under construction to the south. There are existing houses across the road to the west.
- 2.2 The site is within the Wester Ross National Scenic Area.

3. PLANNING HISTORY

- 3.1 None

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Neighbour Notification

Date Advertised: 2 August 2024

Representation deadline: 19 April 2025 (re-notification)

Timeous representations: 5 (2 with no postal address provided)

Late representations: 0

- 4.2 Material considerations raised are summarised as follows:

- a) Impact on neighbouring access

Officer response: The access arrangements have been altered to show essentially a shared service bay and access with the neighbouring campsite

- b) Visibility at the access

Officer response: Transport Planning are content that the design speed of the road is 50mph. Visibility splays of 2.4m x 160m in each direction are therefore required. A splay of 2.4 x 180 can be achieved to the south but only 150m can be achieved to the north. Transport Planning are happy to support this minor shortfall in this location.

- c) Traffic calming is required

Officer response: Additional measures on the public road are not considered commensurate with this scale of development.

- d) Drainage is not contained within the site

Officer response: The drainage proposals have been altered following comments from Flood Risk Management (FRM) and SEPA. Foul drainage will be by means of treatment plans discharging to soakaways and then to watercourses within the site. Surface water soakaways are indicated on the site plan within the site. Full details will be sought by condition.

- e) This is a business proposal

Officer response: The mixed nature of the development is noted

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

- 5.1 **Forestry Officer:** No objection and supportive of the proposed woodland creation. A condition is recommended to secure the provision of planting.

- 5.2 **Flood Risk Management:** No objection subject to conditions to control the finished floor levels of the proposed buildings and the sizing of culverts

- 5.3 **Environmental Health:** No objection subject to noise being maintained within acceptable limits

- 5.4 **Transport Planning:** No objection subject to the access being formed to an acceptable standard. There is adequate separation from existing accesses. There is a small shortfall in the required visibility but this is considered to be acceptable in this location. Conditions are also recommended in relation to parking and refuse collection.

- 5.5 **Corporate Address Gazetteer (CAG):** The applicant must notify the CAG when development takes place so that the necessary changes can be made to the CAG

- 5.6 **SEPA:** Objection withdrawn following changes to the plans to achieve adequate separation from watercourses. A condition is recommended relating to the sizing of culverts

- 5.7 **Scottish Water:** No objection

- 5.8 **Nature Scot:** No comment

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

- 6.1 **National Planning Framework 4 (2023) (NPF4)**

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation

Policy 3 - Biodiversity

Policy 4 - Natural Places

Policy 5 - Soils
Policy 6 - Forestry, Woodland and Trees
Policy 11 - Energy
Policy 12 - Zero Waste
Policy 13 - Sustainable Transport
Policy 14 - Design Quality and Place
Policy 17 - Rural Homes
Policy 18 - Infrastructure First
Policy 22 - Flood Risk and Water Management
Policy 23 - Health and Safety
Policy 29 - Rural Development
Policy 30 - Tourism

6.2 Highland Wide Local Development Plan 2012 (HwLDP)

28 - Sustainable Design
29 - Design Quality and Place-making
30 - Physical Constraints
31 - Developer Contributions
36 - Development in the Wider Countryside
44 - Tourist Accommodation
45 - Communications Infrastructure
47 - Safeguarding Inbye/Appportioned Croftland
51 - Trees and Development
57 - Natural, Built and Cultural Heritage
64 - Flood Risk
65 - Waste Water Treatment
66 - Surface Water Drainage
67 - Renewable Energy Developments
72 - Pollution

6.3 West Highland and Islands Local Development Plan (2019) (WestPlan)

No specific policies apply.

6.4 Highland Council Supplementary Planning Policy Guidance

Access to Single Houses and Small Housing Developments (May 2011)
Construction Environmental Management Process for Large Scale Projects (August 2010)
Developer Contributions (March 2018)
Flood Risk and Drainage Impact Assessment (Jan 2013)
Housing in the Countryside and Siting and Design (March 2013)
Sustainable Design Guide (Jan 2013)
Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Not applicable

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) principle of development
 - c) Design and Materials
 - d) Amenity Impacts
 - e) Environmental Impacts
 - f) Servicing and Infrastructure

Development plan/other planning policy

- 8.4 All planning applications must now be determined in accordance with the provisions of NPF4 and the existing Local Development Plan unless material considerations provide justification otherwise. If there is an inconsistency between NPF4 policies and an LDP which was adopted before 13 February 2023, NPF prevails under Section 24(3) of the Town and Country Planning (Scotland) Act 1997 (as amended), and NPF 4 takes precedence over HwLDP. In this case, the Development Plan is comprised of NPF4 and the West Highlands and Islands Local Development Plan (although this has no site-specific policies of relevance to this application) and the Highland-Wide Local Development Plan.
- 8.5 NPF4 Policies 1-3 apply to all development proposals nationwide. When considering all development proposals, significant weight will be given to the global climate and nature crises. Development proposals will be sited and designed to minimise lifecycle greenhouse gas emissions as far as possible. Development proposals will contribute to the enhancement of biodiversity, including where relevant, restoring degraded habitats and building and strengthening nature networks and the connections between them. Proposals should also integrate nature-based solutions, where possible.
- 8.6 NPF4 policy 4 clarifies that development within a National Scenic Area will only be supported where the objectives or the designation and the overall integrity of the

area will not be compromised. It also seeks to protect protected species and requires impacts to be fully considered prior to determination of an application.

- 8.7 NPF4 Policy 11 supports this proposal for renewable energy generation, subject to acceptable visual, amenity, environmental and ecological impacts
- 8.8 NPF4 policy 13 (Sustainable Transport) requires development to encourage, promote and facilitate walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably.
- 8.9 NPF4 Policy 14 (Design, Quality and Place) states that development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale and proposal will be supported where they meet the six qualities of successful places: Healthy, Pleasant, Connected, Distinctive, Sustainable and Adaptable. Proposals which are poorly designed, detrimental to the amenity of the surrounding area or inconsistent with the six qualities of successful places will not be supported.
- 8.10 NPF Policy 17(c) relates to remoter rural areas and supports new homes in these areas where they support and sustain existing fragile communities; supports identified local housing outcomes; and is suitable in terms of location, access and environmental impact. All three of these criteria need to be met. The Council's Local Housing Strategy 2023–28 identifies local housing outcomes, which include providing housing options and creating resilient communities and places.
- 8.11 NPF4 policy 18 (Infrastructure First) requires development to address any impacts on existing infrastructure. These requirements are also reflected in Policy 56 – Travel of the HwLDP.
- 8.12 NPF4 policy 22 (Flood Risk and Water Management) sets out policy in relation to flood risk and sets out explicitly that development on land at risk of flooding or in a flood risk area will not be supported unless essential infrastructure where:
 - i. the location is required for operational reasons;
 - ii. is for water compatible uses;
 - iii. consists of the redevelopment of an existing building; or site for an equal or less vulnerable use; or.
 - iv. the redevelopment of previously used sites in built up areas where the LDP has identified a need to bring these into positive use and where proposals demonstrate that long term safety and resilience can be secured in accordance with relevant SEPA advice.

Policy 22 also requires that development must not increase the risk of surface water flooding and must manage all rain and surface water through the principles of SUDS.

This is in line with Policy 66 (Surface Water Drainage), this requires all development to be drainage by way of SUDs.

- 8.13 NPF4 policy 23 sets out a number of requirements to mitigate environmental harm, mitigate safety hazards and promote health and well-being. Of specific relevance to this development is that the policy states that development proposals that are likely to raise unacceptable noise issues will not be supported.

- 8.14 NPF4 policy 29 (Rural development) is supportive of proposals that will contribute to the viability, sustainability and diversity of rural communities and the local rural economy. Development in remote rural areas such as is are supported where the proposal supports local employment, supports and sustains existing communities and is suitable in terms of location, access, siting design and environmental impacts.
- 8.15 NPF4 policy 30 (Tourism) is supportive of proposals for tourism accommodation, but requires proposals to take into account the following:
- i. The contribution made to the local economy;
 - ii. Compatibility with the surrounding area in terms of the nature and scale of the activity and impacts of increased visitors;
 - iii. Impacts on communities, for example by hindering the provision of homes and services for local people;
 - iv. Opportunities for sustainable travel and appropriate management of parking and traffic generation and scope for sustaining public transport services particularly in rural areas;
 - v. Accessibility for disabled people;
 - vi. Measures taken to minimise carbon emissions;
 - vii. Opportunities to provide access to the natural environment.

This is in line with HWLDP policy 44 (Tourist Accommodation) which supports proposals in the open countryside where it can be demonstrated that a demand exists and that it can be achieved without adversely affecting the landscape character or heritage features and is appropriate in terms of siting and design.

- 8.16 For the reasons laid out below, the proposal is considered to comply with the development plan.

8.17 **Principle of Development**

It is noted above that NPF Policy 17(c) relates to remoter rural areas and supports new homes in these areas where they support and sustain existing fragile communities; supports identified local housing outcomes; and is suitable in terms of location, access and environmental impact. All three of these criteria need to be met. Badcaul can be classed as a fragile community and the addition of a further house would help support and sustain it. The Council's Local Housing Strategy 2023–28 identifies local housing outcomes, which include providing housing options and creating resilient communities and places. An additional house would potentially increase housing options, and additional residents would help create a resilient community.

Badcaul is a dispersed settlement to the north of the application site. Development in the immediate vicinity is sparse and loosely follows the public road. There are a number of existing and approved houses between the road and Little Loch Broom and this proposals would be in keeping with that broad pattern. The land slopes away towards the loch. The prevailing topography is such that the house would sit

below the level of the road and would not be unduly prominent in the landscape. The siting and layout are acceptable in relation to NPF4 policies 14 and 17(c) .

The two holiday letting units set closer to the Loch and are well separated from neighbouring houses and adjoining campsite. It is a relatively small scale and low key development that can be accommodated in this setting. Tourism is important to the local economy and will augment the tourism offering in the area. The development is appropriately sited and laid out and as is addressed in more detail below will not result in adverse impacts in relation access, servicing or environmental impacts. A condition is recommended to ensure that the holiday letting units are not used as permanent residential accommodation due to their size and proximity to each other. Subject to the recommended conditions the proposals comply with NPF4 policies 29 and 30.

The proposed wind turbine is of a domestic scale (13.3m to tip). It will be sited on lower ground close to the proposed house. The turbine will sit below the level of the road and the change in levels will limit visibility of the turbine from the road or houses to the north. It will be some 73m from the nearest approved house which is to the north. It will be read in the context of the other approved development and will not be unduly prominent in the landscape. It is recognised that the NSA is a particularly sensitive landscape but given the modest scale of development the impact on the NSA will be limited and highly localised. A condition is recommended limiting consent for this element of the scheme to 30 years only in recognition of the fact that turbines have a limited lifespan. Subject to the recommended condition the proposal is considered to comply with NPF4 policy 11.

8.18 Design and Materials

The proposed house is a modern design which incorporates some elements of the local architectural vernacular. The main part of the house has a rectangular footprint with a projecting element which contains a covered parking area and storage and plant room. The house is formed of two mono-pitched elements which combine to create an asymmetrical pitched roof. The separation of the two elements breaks up the massing of building and divides what would otherwise be an excessively wide gable. While the glazing pattern is modern, the detailing of the house is simple and avoids suburban style embellishments. The house will be finished in a combination of timber and concrete cladding with dark grey metal sheeting on the roof. The supporting statement indicates that the timber cladding will be untreated, and the concrete panels will be dark grey in colour. This is not noted on the plans and therefore will be dealt with by condition. The holiday letting units and kayak store are simple buildings with rectangular footprints and symmetrically pitched roofs. They will be timber clad with grey metal roofs. These simple and functional buildings will be appropriate to their setting. The design of the house is modern but has been designed and finished to blend in with its surroundings and will not be obtrusive in this landscape or the wider NSA. The proposed wind turbine is a relatively modest domestic scale turbine that will stand at 13.3m to the tip. It is of a simple design and

will sit comfortably alongside the approved buildings. Subject to the recommended conditions the proposals comply with NPF4 policies 4 and 14.

8.19 Amenity

The proposed house is well separated from surrounding houses and will not give rise to any privacy or overlooking issues. The proposed wind turbine is of a domestic scale and is not expected to have any unacceptable noise impacts. It will be some 73m from the nearest approved house which is to the north. Environmental Health have no objection subject to a condition controlling noise outputs. The two holiday letting units are well separated from the nearest and houses the level of noise and disturbance associated with this scale of development is likely to be acceptable in this rural location. No details of external lighting have been provided, and it is recommended that this is addressed by condition to ensure that insensitive lighting does not adversely impact on neighbours or the surrounding landscape. Subject to the recommended conditions the amenity impacts are considered to be acceptable and in accordance with HWLPD policy 28 and NPF4 policy 23.

8.20 Flood Risk & The Water Environment

The site is identified as being at risk of coastal flooding. The approximate coastal flood level is 5.06m AOD allowing for climate change. Although not shown on SEPA flood mapping there are two small watercourses in the western part of the site which eventually join to form a single watercourse running along the southern boundary. A topographical survey has been provided which shows that ground levels for the built development ranges 8m AOD for the kayak shed to 20 to 22m AOD for the house which is well outwith the flood level and therefore the proposed buildings are not at risk of flooding. The banks of the watercourse are steep and well removed from the proposed house and holiday letting units. FRM have recommended a condition that the buildings have a finished floor level at least 300mm above the surrounding ground level. Based on the topographical information provided and subject to the recommended condition neither SEPA or FRM have any objection in relation to the flood risk.

The original proposal showed the proposed driveway and the parking for the holiday letting units within 6m of the watercourses in the western part of the site. This has now been altered to show an adequate riparian buffer. The driveway will have to cross the watercourse at one point. This is acceptable provided that a suitably designed culvert is provided. Subject to the recommended conditions the proposals comply with NPF4 policy 22.

8.21 Drainage and Water Supply

The site plan indicates that surface water soakaways will be provided within the site. A more detailed surface water drainage scheme is sought by condition to ensure that surface water is appropriately managed. Subject to the recommended condition the proposal will comply with the NPF4 policy 22.

Two waste water treatment plants are proposed which will each discharge to partial soakaways before going to watercourse. A larger plant will serve the house and a smaller shared plant will serve the two holiday letting units. These arrangements are acceptable.

The development will be connected to the public water supply. Scottish Water has no objection but it is the responsibility of the developer to secure a connection to public utilities.

8.22 Access and Parking

The site will be accessed via a new access from the A832. It is noted in response to representations above that the access has been altered to achieve a safer access with maximum visibility splays. The proposed access will now effectively form a shared access with the existing campsite to the north. Transport Planning are content that a shared access in this location is adequately separated from any other access to the public road. In this location it is accepted that the design speed for the road is 50mph therefore splays of 2.4m x 160m is required in both directions. The agent has confirmed that 180m can be achieved to the south but only 150m can be achieved to the north. Transport Planning have advised that this minor deviation from the standard is acceptable in this location. The recommended condition will ensure a safe access that does not adversely impact on the public road and as such the development will comply with NPF4 policy 18.

- 8.23 The Council's parking standards require two parking spaces for single houses of up to 4 bedrooms and one space per bedroom for tourist development. The site is large and has sufficient space for parking and turning. The submitted plans show four parking spaces for the holiday letting units close to the entrance of the site with a path leading to the units. An additional three spaces and turning area is shown next to the house. This complies with the Council's parking standards and is an acceptable level of provision for development of this scale. It is recommended that the provision of the parking is controlled by condition. This will ensure that adequate provision is made for a range of transport options in accordance with NPF4 policy 13.

8.24 Biodiversity & Landscaping

A detailed landscaping plan has been provided. This shows planting of native species (oak, hazel and rowan) across the site. The submission indicates that more substantial woodland creation is proposed but that does not form part of this application. The proposed planting will help integrate the development into the wider landscape and is considered to be sufficient in this location. The planting of native species will also provide a biodiversity enhancement of the site. This is considered to be acceptable for this scale of development in this location. A condition is recommended to ensure that the identified landscaping is provided in a timely manner. The proposed measures meet the requirements set out in the Council's biodiversity guidance and NPF4 policy 3.

8.25 Climate & Nature Crisis and Climate Mitigation

NPF4 policies 1 and 2 require significant weight to be given to the climate and nature crises in the assessment of all applications and requires climate mitigation from all development. In this case the development is relatively small scale and low impact. The scheme incorporates a wind turbine, solar panels and a ground source heat pump and the intention is for the development to be operated in a sustainable manner. Furthermore, as is noted above biodiversity measures are to be incorporated. The proposals comply with NPF4 policies 1 and 2.

Other material considerations

8.26 There are no other material considerations.

Non-material considerations

8.27 The following non material considerations were in representations:

- The site is covered by a Conservation Agreement and no consent has been sought from the National Trust for Scotland who administer this. NTS feels it has insufficient information to consider the impacts.
Officer response: This is a civil matter between the relevant parties
- Speeding and dangerous driver behaviour on the road
Officer response: This is a police matter
- Loss of view
Officer response: This is not a material planning consideration

Matters to be secured by Legal Agreement / Upfront Payment

8.28 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:

a) None

9. CONCLUSION

9.1 The development is appropriately site and designed and all relevant environmental and technical matters have been adequately addressed. The proposal complies with the development plan and it is recommended that planning permission is granted subject to the conditions set out below.

9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

10.1 Resource: Not applicable

10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above actions, it is recommended to

GRANT the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. The site access shall be constructed in accordance with The Highland Council's Access to Single Houses and Small Housing Developments guidelines and the attached Access Schedule (dated 20 May 2025). No other development shall commence until the junction has been constructed in full and within the stated visibility splays, at no time shall anything obscure visibility between a driver's eye height of 1.05m positioned at the X dimension and an object height of 0.60m anywhere along the Y dimension.

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

3. No development shall commence until details of facilities for the storage and collection of wheelie bins have been submitted to and agreed in writing by the Planning Authority in consultation with the Roads Authority. For the avoidance of doubt a suitable collection point of at least 2m x 1m shall be provided within 10m of the edge of the public road but outwith the required visibility splays. Thereafter the agreed facilities shall be provided prior to the first occupation of the house or holiday letting units hereby approved whichever is sooner and shall be retained as such in perpetuity.

Reason: To ensure adequate facilities for waste management

- 6 No development shall commence until a forestry consultant has been appointed and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the project.

All tree planting shall be completed to the satisfaction of the planning authority prior to first occupation of the house or holiday cabins hereby approved whichever is sooner.

Reason: To secure the successful implementation and future maintenance of the approved native woodland planting

- .7 No development shall commence until a plan identifying the domestic curtilage of the house hereby approved has been submitted to and approved in writing by the Planning Authority. For the avoidance of doubt domestic permitted development rights Article 3 and Schedule 1 part 1 classes 1-3E and part 1A class 6C -E of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended, revoked or re-enacted; with or without modification associated with the house hereby approved shall only apply within the area of curtilage identified on the approved plan.

Reason: To ensure that the development is sensitive to, and compatible with, its context and local architectural styles and to prevent inappropriate future development

- 8 No development shall commence until full details of any external lighting to be used within the site and/or along its boundaries and/or access have been submitted to, and approved in writing by, the Planning Authority. Such details shall include full details of the location, type, angle of direction and wattage of each light which shall be so positioned and angled to prevent any direct illumination, glare or light spillage outwith the site boundary. Thereafter only the approved details shall be implemented.

Reason: In order to safeguard the amenity of neighbouring properties and occupants.

- 9 No development shall commence until full details of all surface water drainage provision within the application site (which should accord with the principles of Sustainable Urban Drainage Systems (SUDS) have been submitted to, and approved in writing by, the Planning Authority. Thereafter, only the approved details shall be implemented and all surface water drainage provision shall be completed prior to the first occupation of any of part of the development hereby approved.

Reason: To ensure that surface water drainage is provided timeously and complies with the principles of SUDS; in order to protect the water environment

- 10 No development shall commence until the colour of all external concrete cladding and timber on the house hereby approved has been submitted to and approved in writing by the Planning Authority. For the avoidance of doubt all timber shall be unpainted or covered in a natural stain or dark grey or black

and all concrete cladding shall be dark grey or black. Thereafter only the approved details shall be implemented

Reason: To protect the integrity of the National Scenic Area and because no such details were included with the application.

- 11 Prior to the first occupation of any of the letting units hereby approved, the car parking and turning arrangements detailed on approved plan ref. P1000/PL02 REV J shall be completed in full and made available for use. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

Reason: In order to ensure that the level of off-street parking is adequate

- 12 Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: To ensure that an appropriate level of biodiversity enhancement and landscaping is achieved.

- 13 The permission for a wind turbine hereby granted shall be for a limited period only and shall cease to have effect on 30 years from the date of this decision (the 'cessation date') by which time and prior to that cessation date, the wind turbine and all supporting development, fixtures and fittings, etc shall be removed from the site and the site shall be re-instated to the satisfaction of the Planning Authority.

Reason: To clarify the terms of the permission and to protect the character of the NSA

- 14 The holiday letting units hereby approved shall be used for holiday/short term letting purposes only and shall not be used as the sole or main place of residence of any occupant; a holiday being defined as a stay of one or more nights by a person or persons away from that person or persons sole or main place of residence unless otherwise agreed with this Council as Planning Authority and shall not be occupied by the same person or persons for more than 3 months in any calendar year (Any such period shall not run consecutively to such a period in any successive or preceding year)

Reason: To ensure that the development does not become used for permanent residential occupation in recognition of the lack of private amenity and internal building standards compliant space, and in accordance with the use applied for.

- 15 All plant, machinery and equipment associated with the development shall be so installed, maintained and operated such that any associated operating

noise does not exceed NR20 when measured or calculated within any noise-sensitive property with windows open for ventilation purposes.

Reason: In the interests of amenity and to avoid noise nuisance

- 16 The minimum finished floor levels shall be no lower than 300mm above the surrounding finished ground levels

Reason: To reduce any residual flood risk.

- 17 All culverts shall be oversized bottomless design.

Reason: To reduce any residual flood risk

Signature:

Designation: Area Manager North

Author: Lisa MacDonald

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - P1000/PL01 REV f Location Plan
- Plan 2 - P1000/PL02 REV K PROPOSED SITE LAYOUT PLAN
- Plan 3 - P1000/PL07 REV E SITE ACCESS PLAN
- Plan 4 - P1000/PL03 REV A PROPOSED FLOOR/ELEVATION PLAN
- Plan 5 - P1000/PL04 REVA PROPOSED FLOOR/ELEVATION PLAN
- Plan 6 - P1000/PL05 REV A PROPOSED FLOOR/ELEVATION PLAN
- Plan 7 - P1000/PL06 GENERAL PLAN - PROPOSED JETTY PLANS AND ELEVATIONS
- Plan 8 - DM-249-001-01 TOPOGRAPHY PLAN
- Plan 9 - DM-249-001-02 TOPOGRAPHY PLAN
- Plan 10 - P1000/PL08 ELEVATION PLAN

Appendix 1 – Letters of Representation

Clea Warner On Behalf Of National Trust For Scotland, Balnain House, 40 Huntly Street,
Inverness, IV3 5HR

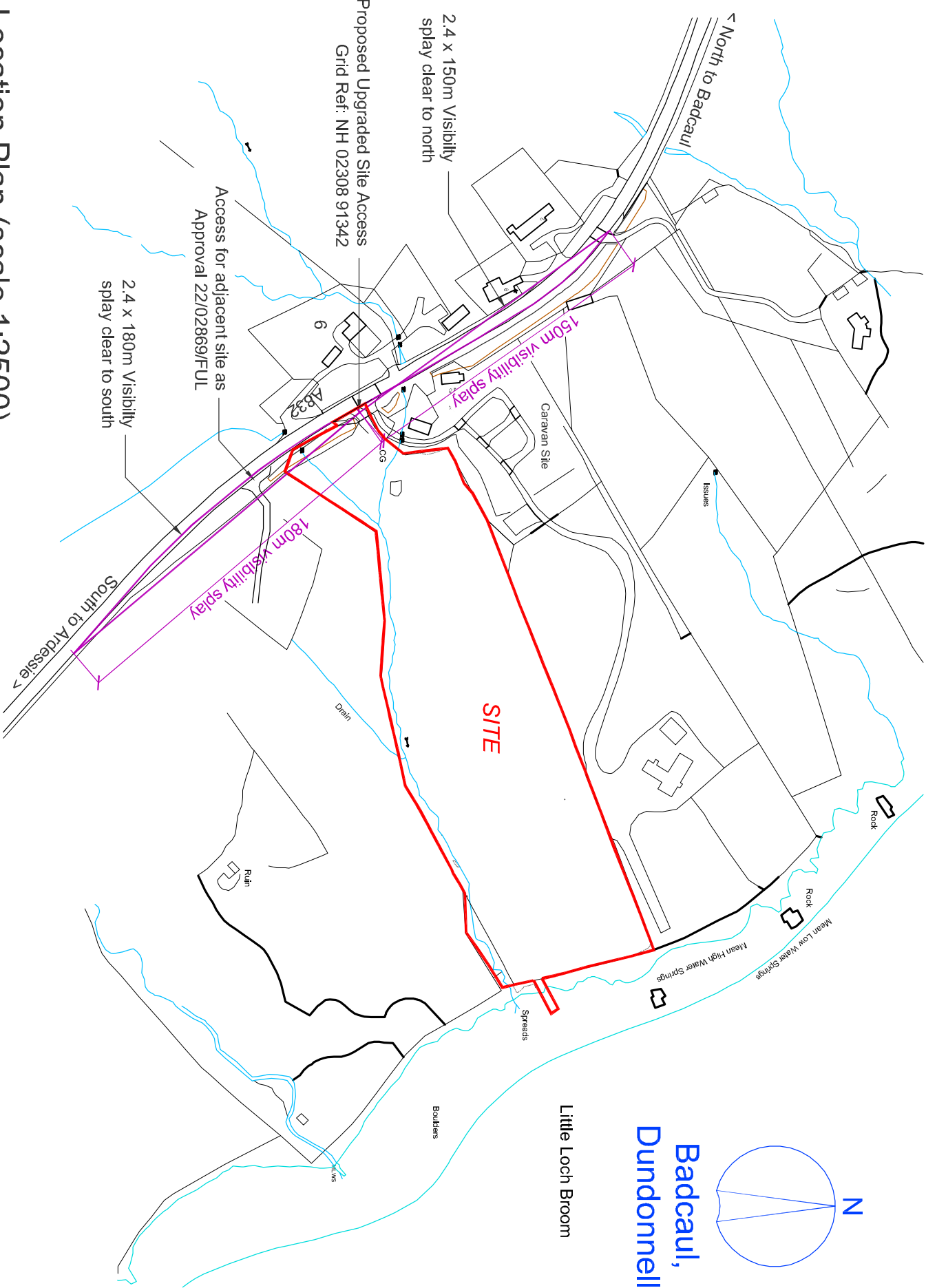
Jim Sherriff Corriechoille, 2 Badcaul, Dundonnell, Ross-shire, IV23 2QY,

Dr Julian Sanger Sail Bheag, 9 Badcaul, Dundonnell, Garve, IV23 2QY

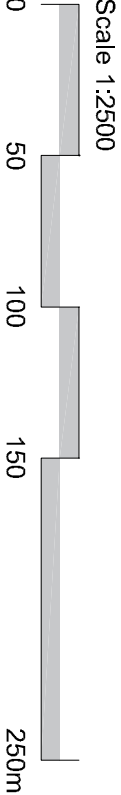
Gayle Lowrey

Chis Elliot

Refer to written dimensions only.
Do Not Scale.



Location Plan (scale 1:2500)



PLANNING



RIBA CHARTERED ARCHITECTS
19 HIGH STREET | TAIN | ROSS-SHIRE | IV19 1AB
MAIL@BLUEPRINTARCHITECTURE.COM | 01862 892900

Client	Scale
Mr C. Parrino	1:2500
Project Proposed Dwelling at Badcaul, Dundonnell, Garve IV23 2QY National Grid reference: NH 02498 91411	

Title	Size
Location Plan	A3
Drawing No. P1000 / PL01	
Rev F	



blueprint architecture

Client	Mr C. Parrino	Scale	1:500
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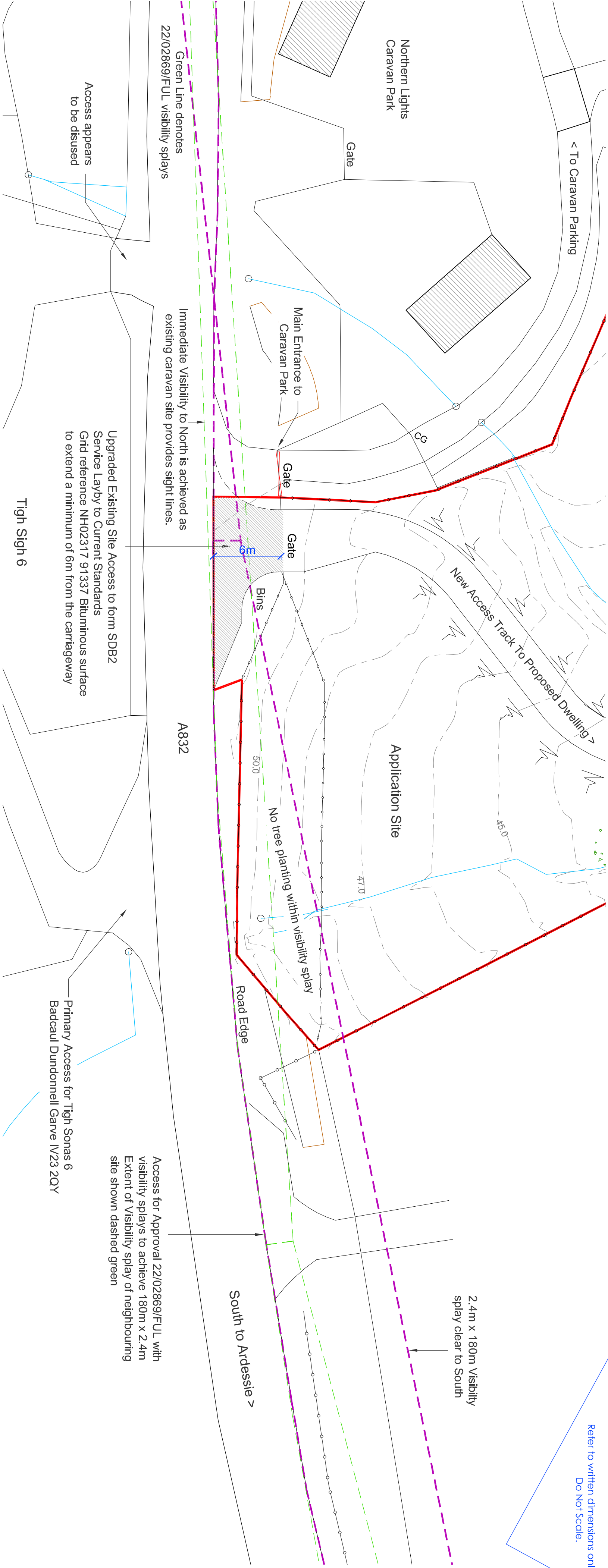
Title
Proposed Site Plan

Size

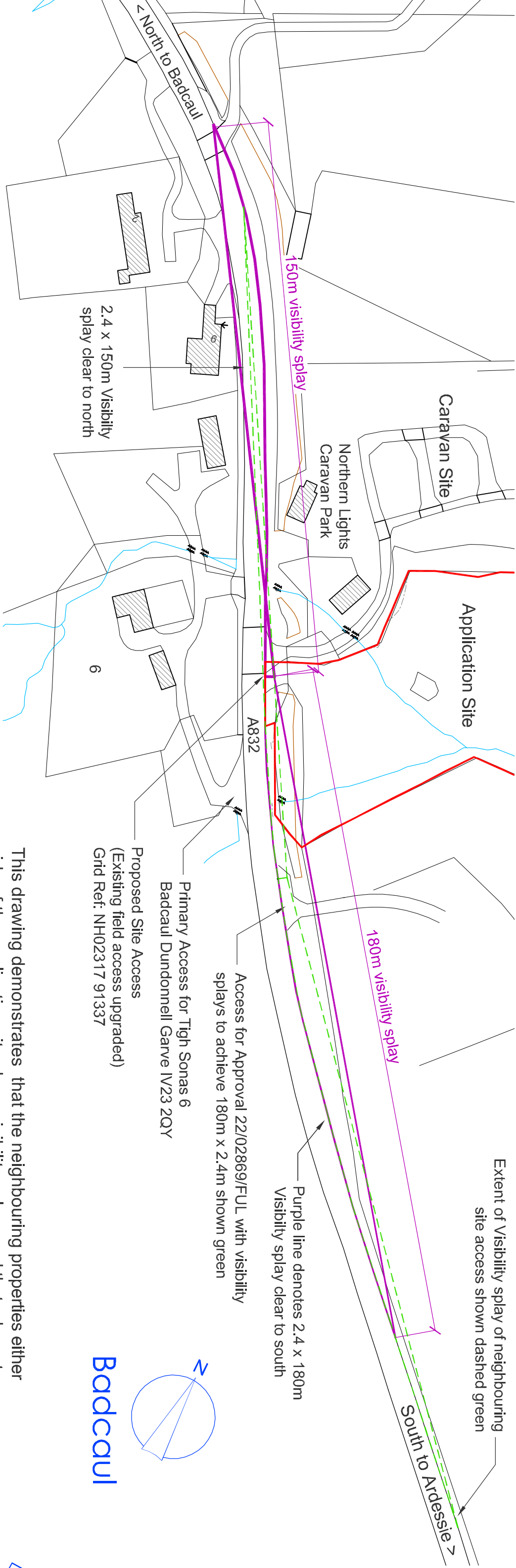
P1000 / PL02

5





Site Access Plan (scale 1:250)



Location Plan (1:1000 scale)



This drawing demonstrates that the neighbouring properties either side of the application site share visibility splays and that adequate visibility can be easily achieved provided the access points are maintained and comply with planning conditions.

Badcaul

PLANNING

blueprintarchitecture

RIBA CHARTERED ARCHITECTS
19 HIGH STREET | TAIN | ROSS-SHIRE | IV19 1AB
MAIL@BLUEPRINTARCHITECTURE.COM | 01862 892900

Client Mr. C. Parrino

Scale noted

Project Proposed Dwelling at Croft 6, Badcaul, Garve IV23 2QY

Title Site Access Details

Size

A2

Drawing No.

P1000 / PL07

Rev

E



Profile Metal Sheeting.
Colour Dark Grey

Colour Dark Grey

Timber Post

Technical drawing of a building facade section. The drawing shows a wall with horizontal siding. A door is located on the right side of the wall, and a window is located on the left side. The drawing includes dimensions and labels.

Labels:

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Technical drawing of a roof section. The drawing shows a cross-section of a roof structure. A horizontal line represents the roof surface, with a blue dot and a label 'Timber cladding' pointing to it. Below the roof surface, there are several diagonal lines representing rafters. A vertical line on the left side represents the wall. A horizontal line with an arrow pointing right is located below the rafters.

Timber Cladding

HPL cladding board
Colour Dark Grey

PV panels

Concrete Panels with timber shuttering texture

West Elevation (1:100 scale)

Timber posts to rear of covered parking area

Timber cladding

Timber cladding

South Elevation (1:100 scale)

Concrete Panels with timber shuttering texture

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Client
Mr C. Parrino

Scale
1:100

Project Proposed Dwelling at Croft 6, Badcaul, Garve IV23 2QY

Drone-based Ground Floor Plan (2014-2020)

Proposed Ground Floor Plan (scale 1:100)

Title

6

Drawing No

P1000 / PL03

Rev

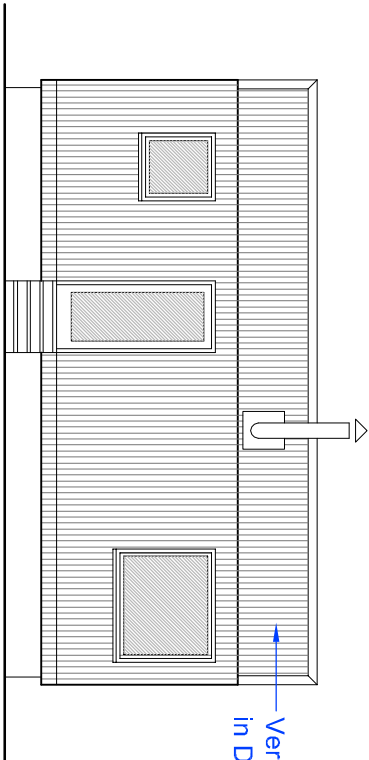
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0 10

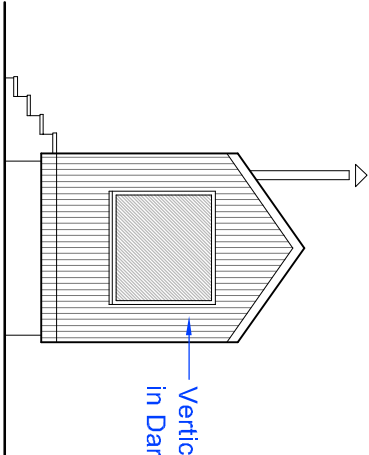
Millimetres

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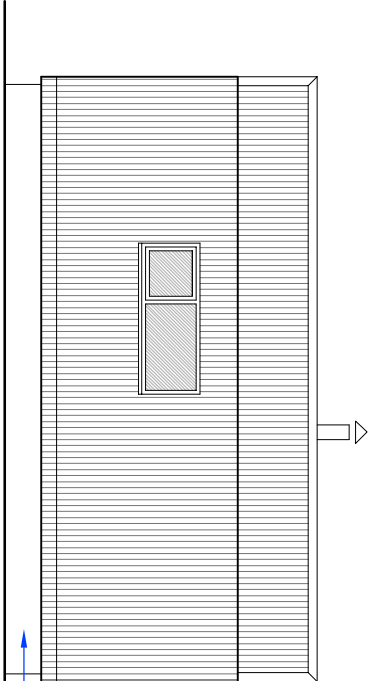
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Roof: Profile Metal roof sheeting. Colour to match walls



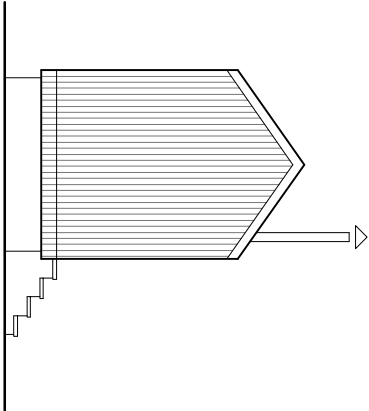
North Elevation
(scale 1:100)



East Elevation
(scale 1:100)

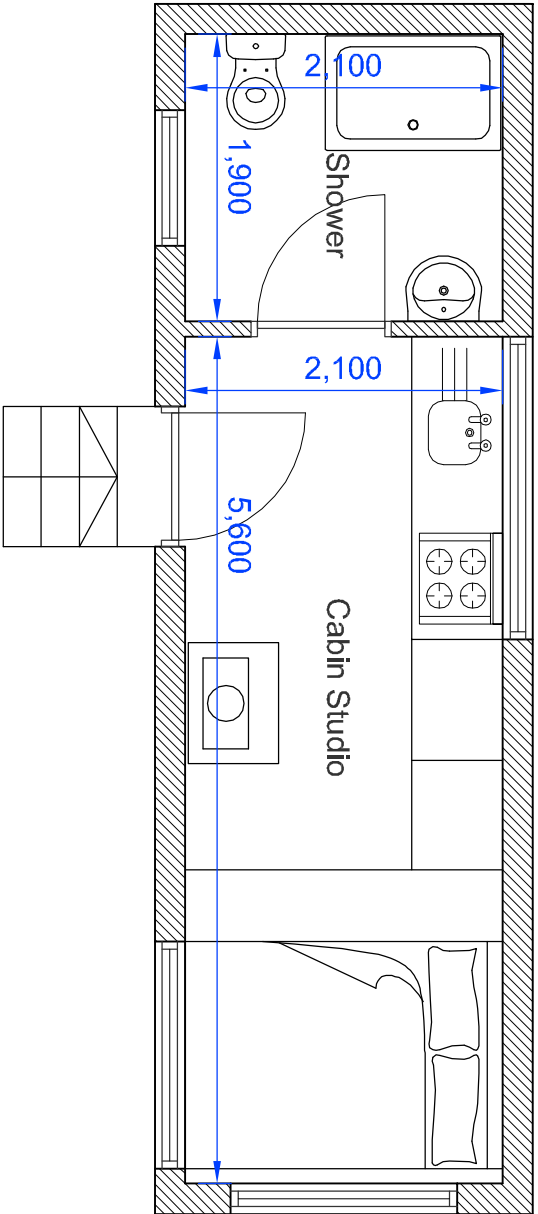


South Elevation
(scale 1:100)



West Elevation
(scale 1:100)

Chassis with wheels



Floor Plan
(scale 1:50)

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Client Mr Parrino

Scale noted

Project Proposed Cabin at Badcaul, Garve IV23 2QY

Title Proposed Plan and Elevations

Drawing No.

P1000 / PL04

Rev

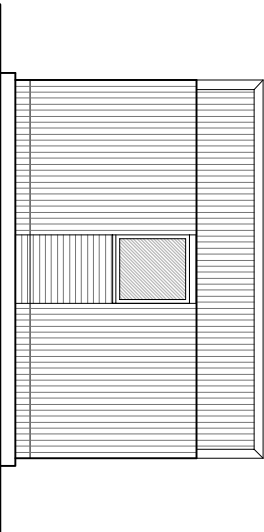
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Size

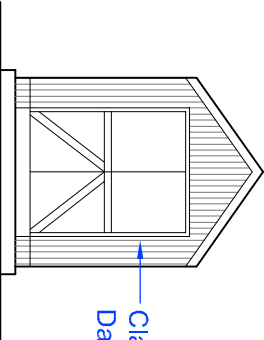
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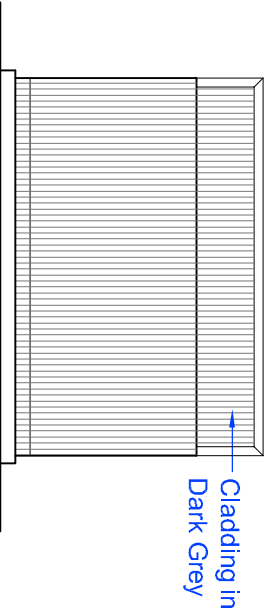
Walls: Composite cladding weatherboard. Colour: Dark Grey
Roof: Profile Metal roof sheeting. Colour to match walls



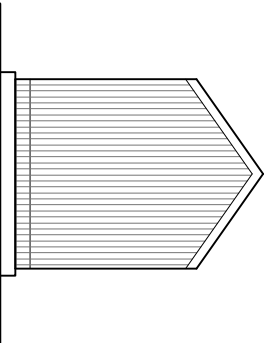
North Elevation
(scale 1:100)



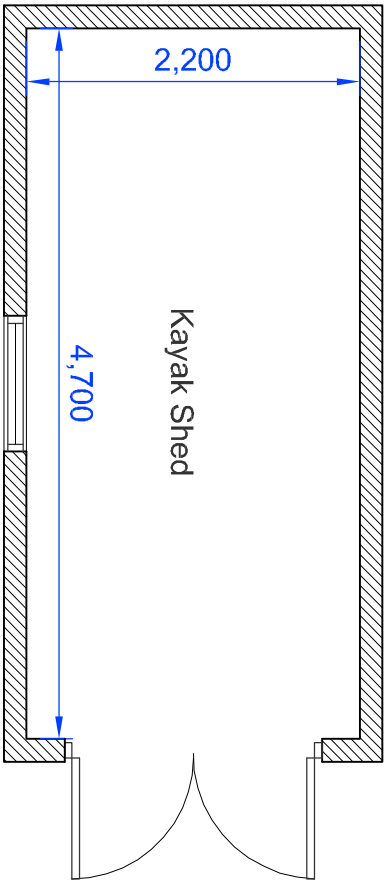
East Elevation
(scale 1:100)



South Elevation
(scale 1:100)



West Elevation
(scale 1:100)



Floor Plan
(scale 1:50)

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Client Mr Parrino

Scale noted

Project Proposed Kayak Shed at Badcaul, Garve IV23 2QY

Title Proposed Plan and Elevations

Size

A3

Drawing No.

P1000 / PL05

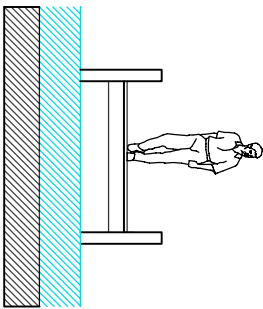
Rev

A

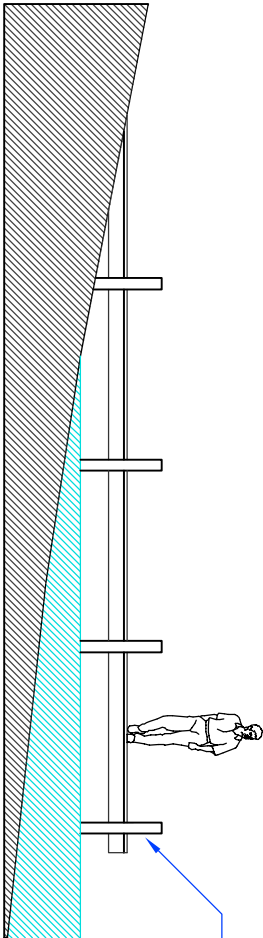
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100

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Do Not Scale.

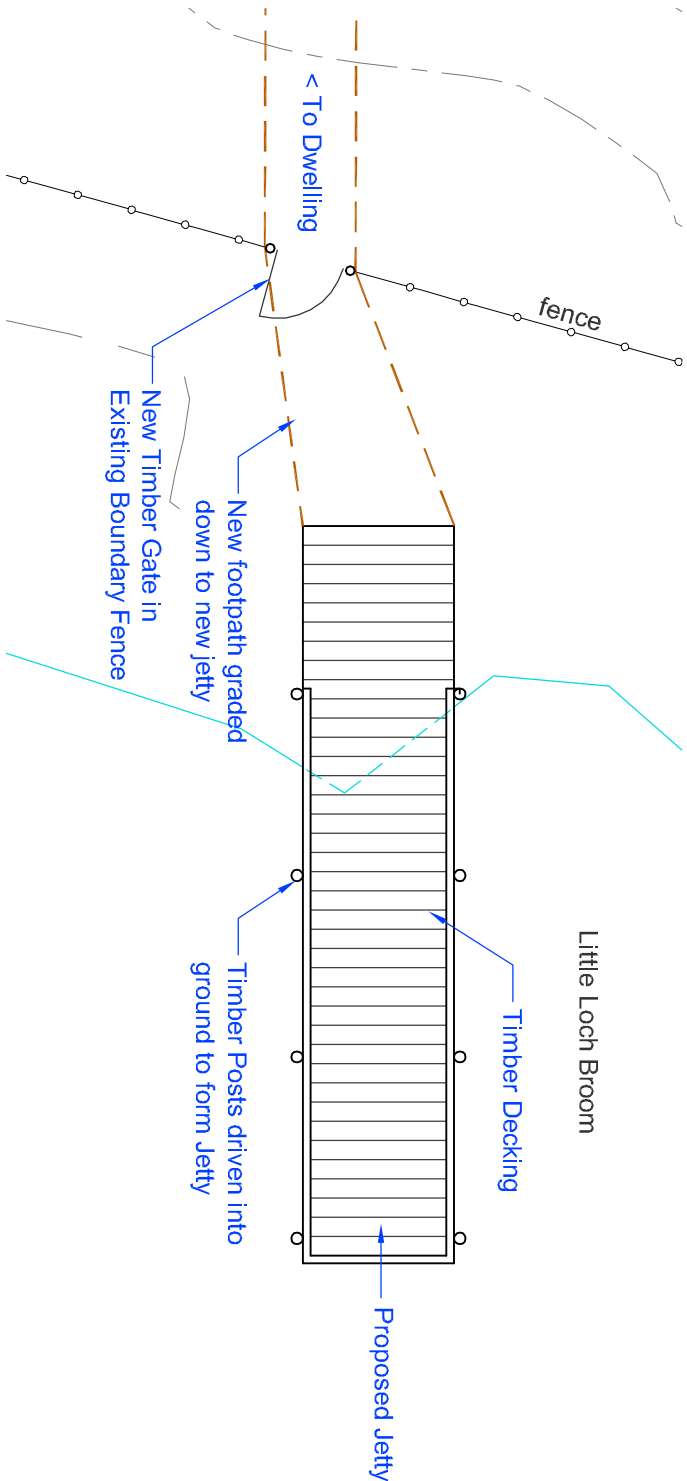


West Elevation
(scale 1:100)

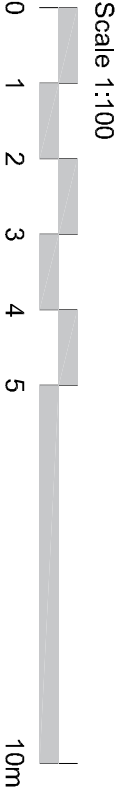


Typical Side Elevation
(scale 1:100)

Timber Posts driven into
ground to form Jetty



Proposed Jetty Floor Plan
(scale 1:100)



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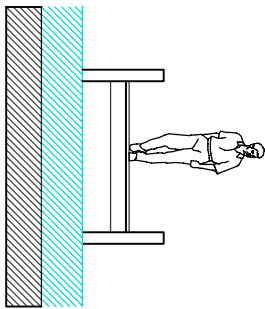
Client	Mr C. Parrino	Scale	1:100
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Project Proposed Dwelling at Croft 6, Badcaul, Garve IV23 2QY

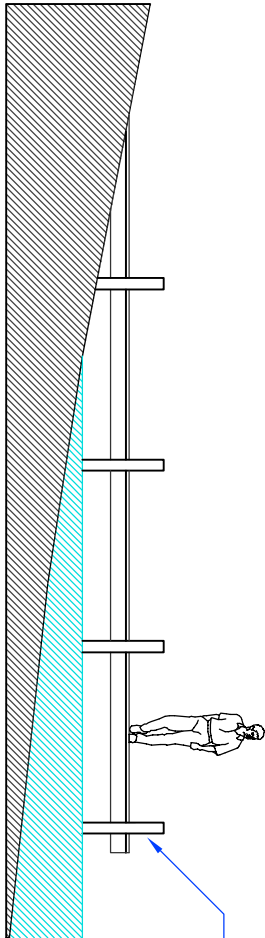
Title	Proposed Jetty Plans and Elevations	Size	A3
Drawing No.	P1000 / PL06	Rev	-



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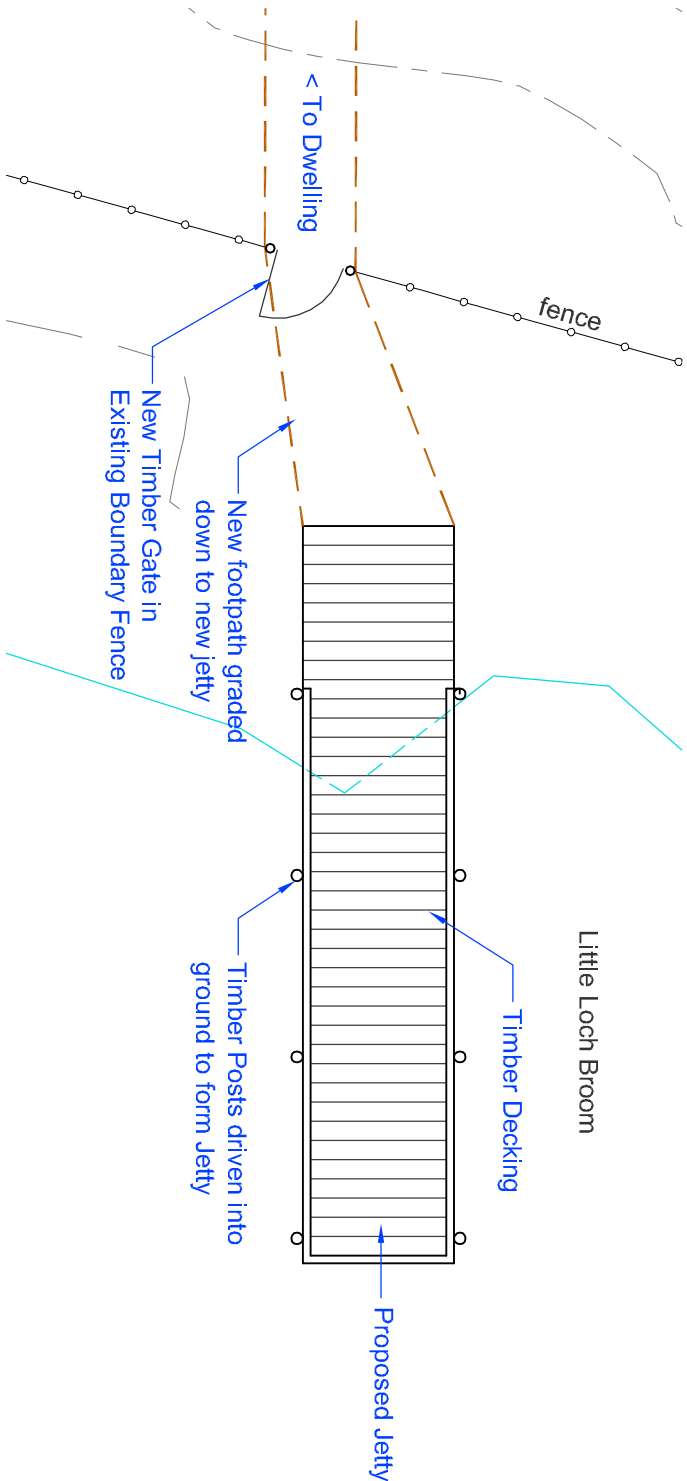


West Elevation
(scale 1:100)

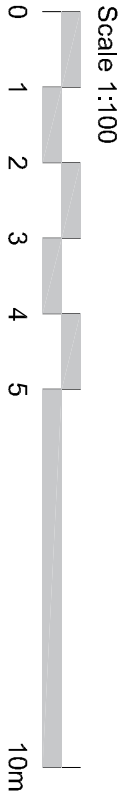


Typical Side Elevation
(scale 1:100)

Timber Posts driven into
ground to form Jetty



Proposed Jetty Floor Plan
(scale 1:100)



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Client	Mr C. Parrino	Scale	1:100
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Project Proposed Dwelling at Croft 6, Badcaul, Garve IV23 2QY

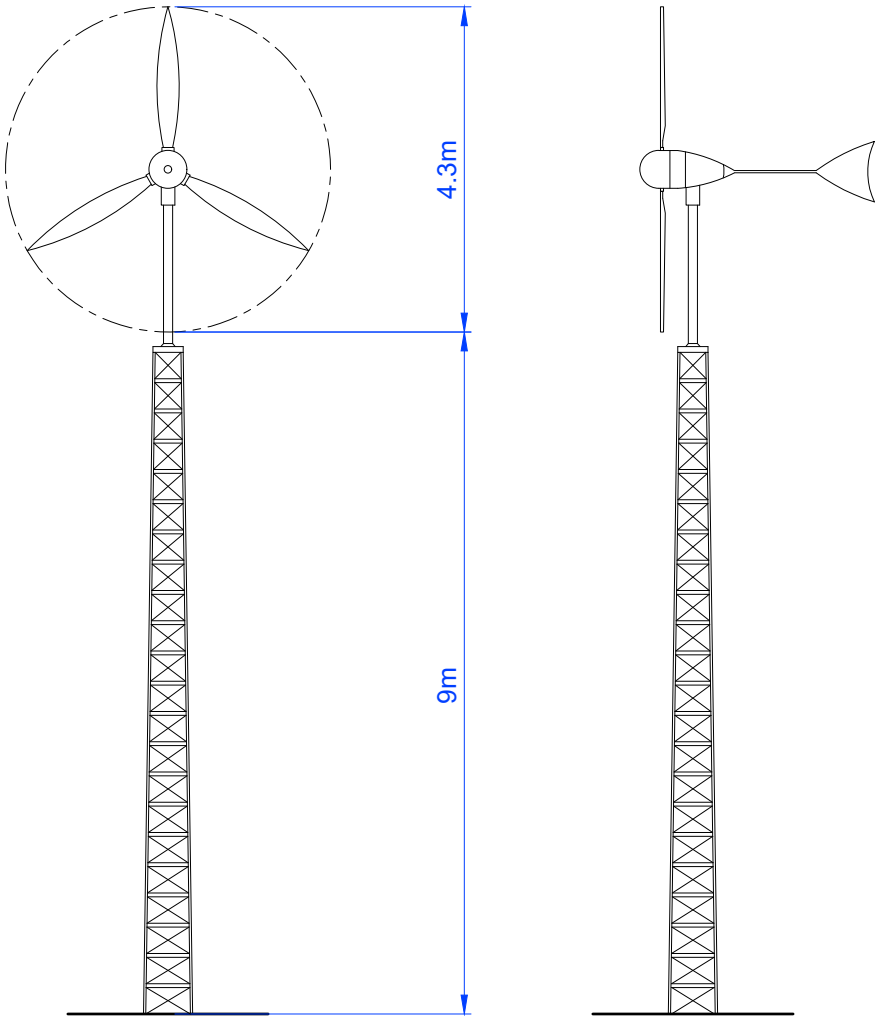
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Drawing No.	P1000 / PL06	Rev	-
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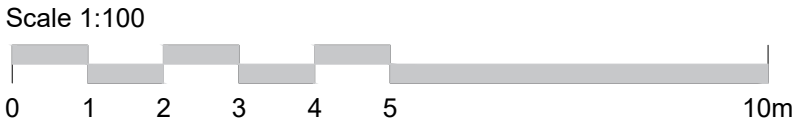


Example Wind Turbine Model



Front Elevation

Side Elevation



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Client	Mr C. Parrino	Scale	noted
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Project	Proposed Dwelling at Croft 6, Badcaul, Garve IV23 2QY		
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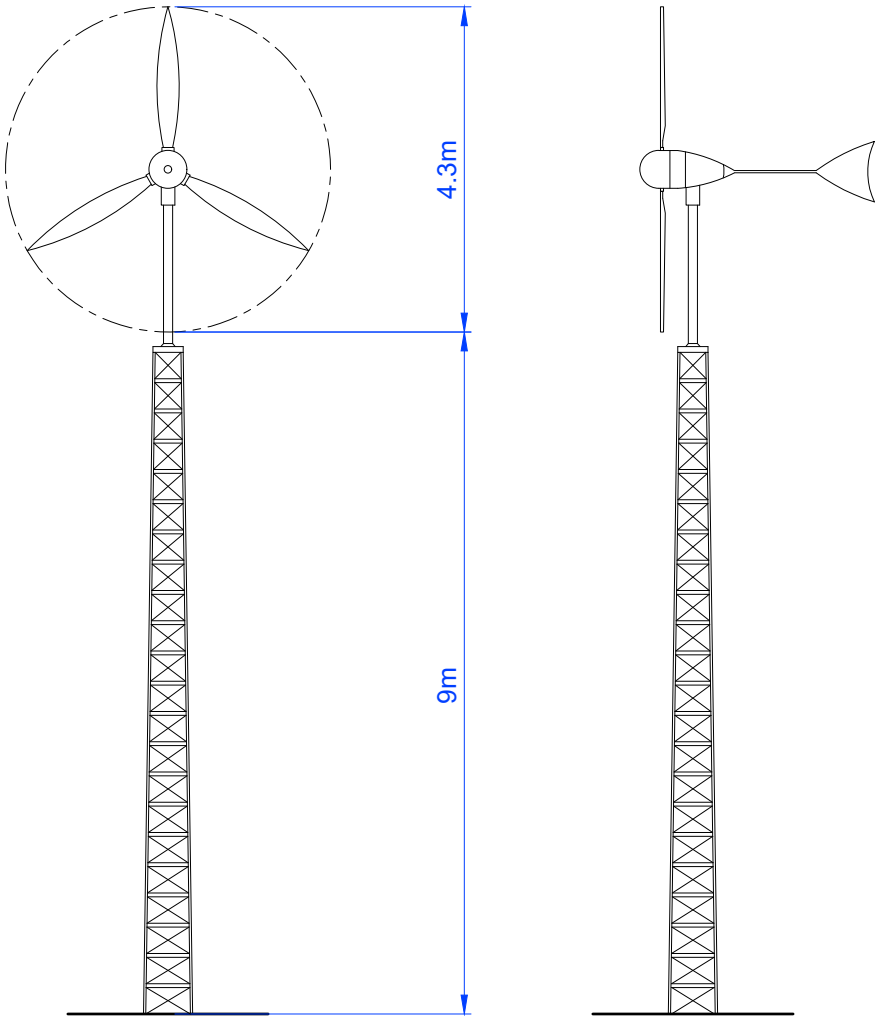
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Drawing No.	P1000 / PL08	Rev	-
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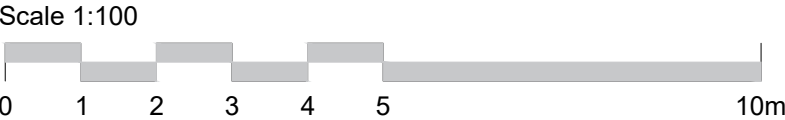


Example Wind Turbine Model



Front Elevation

Side Elevation



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Client	Mr C. Parrino	Scale	noted
Project	Proposed Dwelling at Croft 6, Badcaul, Garve IV23 2QY		
Title	Wind Turbine Details	Size	A3
Drawing No.	P1000 / PL08	Rev	-

