

Agenda Item	<b>6.4</b>
Report No	PLN/050/25

## HIGHLAND COUNCIL

**Committee:** North Planning Applications Committee

**Date:** Wednesday 6<sup>th</sup> August 2025

**Report Title:** 24/02782/FUL: Albyn Housing Society  
Land 70M SE of 26 Seaforth Road, Tain

**Report By:** Area Planning Manager - North

### Purpose/Executive Summary

**Description:** Erection of 16no. houses

**Ward:** 07 – Tain and Easter Ross

**Development category:** Local

**Reason referred to Committee:** Number of Objections Received

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

### Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

## **1. PROPOSED DEVELOPMENT**

- 1.1 Planning permission is sought for a residential development of 16 new homes to be offered as affordable tenures. There is a range of housing types on site, comprising of:
- 2no. 2-bed bungalows (attached to 2no. 3-bed semis);
  - 2no. 3-bed semis (attached to 2no. 2-bed bungalows);
  - 3no. 2-bed terraces;
  - 1no. 2-bed bungalow;
  - 1no. 8-bed villa;
  - 2no. 2-bed semis;
  - 1no. 4-bed detached; and
  - 4no. 3-bed semis
- 1.2 The application site is to the southeast side of Tain and will take access on to Seaforth Road to the north of the site from a new access road.
- 1.3 Pre Application Consultation: None
- 1.4 Supporting Information: Arboricultural Impact Assessment, Design and Access Statement, Drainage Impact Assessment
- 1.5 Variations: An amended set of plans was received on 23<sup>rd</sup> June 2025 to address Transport Planning comments. These show alterations to the road layout and parking.

## **2. SITE DESCRIPTION**

- 2.1 The application site is located within an allocated site (TN05 East of Burgage Drive) for housing within the Inner Moray Firth Local Development Plan 2 (IMFLDP2) adopted in 2024. The site is on the southeast edge of Tain, between an existing residential area to the north and the larger allocated site (TN06 Knockbreck Road) to the south. The site can be accessed by Seaforth Road, or by foot from a number of informal paths through the field and trees that bound the site to the south. The site currently comprises a flat, grassy field, with mature trees and areas of grassy undergrowth along its southern boundary. A small electricity substation is positioned near the western edge of the site. Further west of the substation, the site boundary is defined by sporadically spaced mature trees and the rear gardens of existing residential properties on Seaforth Road. While there are residential properties located to the east of the site, the proposed development does not extend into that area. Instead, it is concentrated primarily within the western two-thirds of the site, leaving approximately 0.4ha of green space between the site boundary and residential dwellings to the east.
- 2.2 The site is currently well used by locals, dog-walkers, and as a recreational greenspace for children. The proposed housing is concentrated to the western edge of the site, with tree planting and a proposed SUDS basin to the eastern edge of the site boundary, and greenspace beyond this.

- 2.4 The proposal aligns with NPF4 Policy 15: Local Living and 20-minute neighbourhood principles, as demonstrated by the Highland Council's Local Living Toolkit. The site has achieved a Local Living Score of 14.0 out of a maximum 15.8, indicating strong accessibility to key local services and infrastructure, and supporting a sustainable, well-connected community.

### 3. PLANNING HISTORY

- |     |              |   |                    |
|-----|--------------|---|--------------------|
| 3.1 | 10/02217/PIP | Masterplan for proposed mixed use development                   | PERMISSION GRANTED |
| 3.2 | 16/03969/PIP | Masterplan for proposed mixed use development on expansion area | PERMISSION GRANTED |

### 4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour

Date Advertised: 26.07.2024

Representation deadline: 09.08.2024

Timeous representations: 6 from 4 households

Late representations: 4 from 4 households

- 4.2 Material considerations raised are summarised as follows:

- a) Location of access to site leading to loss of potential disabled parking;  
***Planning Comment:*** *There is allocated disabled parking on Seafield Road to the opposite side of the road to which the new access would be created therefore these spaces will remain and will not be lost.*
- b) Loss of greenspace amenity used by locals in an area lacking in recreational facilities and amenity;  
***Planning Comment:*** *as detailed further in the assessment, the value of the site recreationally is recognised however it lies within a long standing mixed use (including housing) allocation dating back to 2013 therefore has always intended to deliver development. Nevertheless development of the site will deliver its own area of attractive and nature friendly open space with landscaping and planting.*
- c) Lack of playpark in the design plans;  
***Planning Comment:*** *The Council's requirements for additional play park facilities are not applicable to a development of this scale (16 units)*
- d) Disruption caused by construction (noise, dust, heavy vehicle traffic) which will impact on existing residents;  
***Planning Comment:*** *As with all new development there will be some impact during the construction phase; this can be mitigated through the preparation of a Construction Traffic Management Plan sought by condition and through*

*limitation on working hours for noise generating uses (governed by Environmental Health legislation with the developer advised by informative)*

- e) Negative impact on privacy and amenity of the existing properties to the west of the proposed development;

**Planning Comment:** *As detailed in the assessment it is considered that the site layout effectively mitigates any amenity impact through adequate separation distances, and positioning minimising direct window-to-window overlooking. Proposed boundary treatments (timber fencing of various heights and hedges) are considered sufficient to maintain an acceptable level of privacy for both existing and future residents.*

- f) Increased risk of flooding and impacts on the existing sewage network;

**Planning Comment:** *The site has been shown to be at low risk of flooding with sufficient detail provided to demonstrate the existing sewage network can accommodate the development.*

- g) Increased road safety concerns at the chosen access point;

**Planning Comment:** *The new access point has been considered acceptable to Transport Planning in respect of visibility splays and in terms of being sufficient to accommodate the proposed number of units.*

- h) The SUDS pond proposed is inconsistent throughout drawings.

**Planning Comment:** *The shape of the SUBS basin has been altered as shown on the revised set of drawings submitted in June however its location has not altered; the previous drawings have been superseded with consistency across all drawings to be approved.*

Non-material consideration raised are summarised as follows:

- i) Lack of maintenance of housing, greenspace, and roads by the applicant at other sites in the area;
- j) Other sites in Tain that are more suitable for the development without encroaching on essential community space; and
- k) Concerns over future development on the remaining green space to the east of the proposed housing;

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet [www.wam.highland.gov.uk/wam](http://www.wam.highland.gov.uk/wam).

## **5. CONSULTATIONS**

- 5.1 **CAG Team** do not object to the proposed development.

- 5.2 **Flood Risk Management Team** initially objected to the proposed development due to the lack of sufficient information in the form of a Drainage Impact Assessment (DIA). Following the submission of a DIA, the Flood Risk Management Team withdrew their objection subject to appropriate conditions. There are no watercourses in the immediate area and there is no fluvial flood risk shown on the SEPA flood maps in the vicinity of the proposed houses. Following receipt of a Drainage Impact Assessment, the FRM Team have withdrawn its



objection. The DIA demonstrates that there is no flooding from the existing Scottish Water surface water sewer to which the development will connect into it; during 30 year plus climate change events and 200 year plus climate change events. A condition is requested to agree the final surface water drainage design and this should include confirmation that Scottish Water are prepared to vest the system and that they accept the proposal to discharge into their existing surface water sewer at an agreed rate.

5.3 **Forestry** do not object to the proposal subject to the appropriate conditions to ensure tree protection measures and high-quality landscaping.

5.4 **Transport Planning** initially objected to the development and requested alterations to the layout to ensure the proposal aligned with the Road Construction Consent process and to create more conveniently located parking. Its response also notes that the adopted Highland Delivery Programme required a contribution of £1000 per house towards active travel which is requested for this development. This would be utilised by the Active Travel Team in relation to the Tain Active Travel Masterplan, in particular Action no.6 for minor improvements on Burgage Drive and Hartfield Road and action no.7 which is public realm and placemaking in south east Tain. Following receipt of amended plans, the planning application will align with the RCC which has also now been submitted and is pending consideration. Appropriate planning conditions will be attached to ensure that the site access, parking bays, active travel remote path, waste and recycling as well as a Construction Traffic Management Plan are conditioned. On this basis the original objection was withdrawn.

5.5 **Scottish Water** do not object to the proposal. There is currently sufficient capacity in the Assynt Water Treatment Works to service the development. However, further investigations may be required to be carried out once a formal application has been submitted to Scottish Water.

There is currently sufficient capacity for a foul only connection in the Tain Waste Water Treatment works to service this development. Again, it is noted that further investigations may be required to be carried out once a formal application has been submitted to Scottish Water.

There were concerns over the discharge of surface water into the combined sewer systems, but it has been confirmed with Scottish Water that for this development they accept the discharge of surface water (provided appropriate attenuation/treatment measures are in place) into the existing surface water sewer network.

## **6. DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

### **6.1 National Planning Framework 4 (2023) (NPF4)**

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation

Policy 3 - Biodiversity

Policy 4 - Natural Places

Policy 5 - Soils

Policy 6 - Forestry, Woodland and Trees  
Policy 12 - Zero Waste  
Policy 13 - Sustainable Transport  
Policy 14 - Design Quality and Place  
Policy 15 - Local Living and 20 Minute Neighbourhoods  
Policy 22 - Flood Risk and Water Management  
Policy 23 - Health and Safety  
Policy 27 - City, Town, Local and Commercial Centres

## 6.2 **Highland Wide Local Development Plan 2012 (HwLDP)**

28 - Sustainable Design  
29 - Design Quality and Place-making  
31 - Developer Contributions  
32 - Affordable Housing  
34 - Settlement Development Areas  
51 - Trees and Development  
55 - Peat and Soils  
58 - Protected Species  
59 - Other important Species  
60 - Other Importance Habitats  
63 - Water Environment  
64 - Flood Risk  
65 - Waste Water Treatment  
66 - Surface Water Drainage  
75 - Open Space  
77 - Public Access

## 6.3 **Inner Moray Firth Local Development Plan 2 (2024) (IMFLDP2)**

Policy 1 - Low and Zero Carbon Development  
Policy 4 - Greenspace  
Policy 8 - Placemaking  
Policy 10 - Increasing Affordable housing  
Policy 13 - Accessible and Adaptable Homes  
Policy 14 – Transport

### **Site Allocation TN09: East of Burgage Drive**

**Indicative housing capacity:** 40

**Use(s):** Housing, Community **Area:** 1.4 ha

Housing/Community with the following developer requirements:

**Developer Requirements:** Community use safeguarded only for greenspace; Protected Species Survey; holdback distance of 20 metres generally required between trees and new development. no construction activity within Root Protection Area; landscaping scheme which integrates with the green network; site history and possible Land Contamination Site Investigation.

#### **6.4 Highland Council Supplementary Planning Policy Guidance**

Access to Single Houses and Small Housing Developments (May 2011)  
Developer Contributions (March 2018)  
Flood Risk and Drainage Impact Assessment (Jan 2013)  
Green Networks (Jan 2013)  
Managing Waste in New Developments (March 2013)  
Open Space in New Residential Developments (Jan 2013)  
Standards for Archaeological Work (March 2012)  
Sustainable Design Guide (Jan 2013)  
Trees, Woodlands and Development (Jan 2013)

### **7. OTHER MATERIAL POLICY CONSIDERATIONS**

#### **7.1 Scottish Government Planning Policy and Guidance**

Designing Streets  
Creating Places  
PAN 61 – Sustainable Urban Drainage Systems  
PAN 67 – Housing Quality  
PAN 2/2011 – Planning and Noise

### **8. PLANNING APPRAISAL**

- 8.1 Sections 25(1) and 37(2) of the Town and Country Planning (Scotland) Act 1997 (as amended), collectively require that this application be determined in accordance with the development plan unless material considerations indicate otherwise. Section 24(1) requires that all planning applications must now be determined in accordance with the provisions of NPF4 and those of any the relevant, extant Local Development Plan unless material considerations provide justification otherwise. Section 24(3) states that in the event of any incompatibility between a provision of the National Planning Framework and a provision of a local development plan, whichever of them is the later in date is to prevail.

#### **Determining Issues**

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

#### **Planning Considerations**

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy;
  - b) site layout, design, and residential amenity;
  - c) access and travel;
  - d) flood risk, drainage, and servicing;
  - e) impact on recreational greenspace, landscaping, and open space amenity;

- f) impact on forestry and trees; and
- g) any other material considerations

### **Development plan/other planning policy**

- 8.4 Both the National Planning Framework (NPF) 4, through Policy 16 – Quality homes, and the Highland-wide Local Development Plan (HwLDP), through Policy 34 – Settlement Development Areas, support the principle of new residential development within identified settlement boundaries. Policy 16 of NPF4 introduces a presumption in favour of such development, aiming to encourage, promote, and facilitate the delivery of more high-quality, affordable, and sustainable homes in the right locations. Complementing this, HwLDP Policy 34 states that the Council will support housing within Settlement Development Areas (SDAs), provided proposals are consistent with other relevant policies, reflect existing development patterns, and are sustainably designed. In addition, HwLDP Policy 32 – Affordable Housing further supports the delivery of affordable homes across the Highland, with a particular emphasis on allocated sites, reinforcing the suitability of this location for such development.
- 8.5 The principal policy framework guiding the development of the site is established in the adopted Inner Moray Firth Local Development Plan 2 (IMFLDP2). The site corresponds with the allocated IMFLDP2 site, TN05, with a housing capacity of 40 units across a total site area of 1.4 hectares. This allocation confirms the site's appropriateness for housing and provides a clear policy basis for the proposed development.
- 8.6 The planning assessment that follows sets out how the house design and layout for the residential development presented here, addresses the subject-specific technical issues, while considering relevant NPF4, HwLDP, and IMFLDP2 policies.
- 8.7 All development requires to be assessed against Policy 1 of the NPF4 'Tackling the climate and nature crises' which states that when considering development proposals significant weight will be given to global and climate nature crises with the intent of the policy being to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis. The intended policy impacts include promoting local living and compact urban growth. Policy 3 – Biodiversity of the NPF4 applies to all development proposals. This seeks to protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks.. Policy 2 of the IMFLDP2 also requires enhancement to biodiversity in development and seeks developer contributions to enhance biodiversity in future.
- 8.8 NPF4 Policy 5 – Soils aims to protect carbon rich soils and prime agricultural land, as well as minimising disturbance to undeveloped land. There is no carbon rich soil nor prime agricultural land present on the site. While the site is located near areas that are classified as prime agricultural soils, detailed land capability maps—based on the classification developed by the Macaulay Land Use Research Institute (now the James Hutton Institute)—indicate that the site itself does not qualify. Additionally, the presence of tree cover, an electricity substation,

and surrounding residential development further limits any agricultural potential, even if more generalised mapping were applied. The site layout has also been carefully designed to minimise disturbance to existing features, with further details on greenspace provision and landscape integration to be addressed at a later stage.

- 8.9 NPF4 Policy 13 – Sustainable Transport requires development to encourage, promote and facilitate walking, wheeling, cycling, and public transport for everyday travel and reduce the need to travel unsustainably. These requirements are also reflected in Policy 56 – Travel of the HwLDP. The designated site is considered to be well-connected, with several nearby bus stops, accessible pavements for walking and wheeling, and the Tain train station within a reasonable walking distance.
- 8.10 Similar to the above, significance is given to NPF4 Policy 15 – Local Living and 20-minute neighbourhoods which supports the creation of connected neighbourhoods where people can meet the majority of their daily needs within a reasonable distance of their home, preferably by sustainable transport options. The site benefits from a range of transportation options and access to everyday amenities. It is well-integrated into the existing urban fabric and residential character of the area, while remaining locally accessible to employment hubs, retail outlets, healthcare and social services, schools, and green spaces. Indeed, the Council's Local Living Mapping Tool which is currently out for consultation identifies that the site has very high level of walkable services.
- 8.11 Consideration has to be given to Policy 22 – Flood risk and water management with particular reference to policy 22(c) which requires rain and surface water to be dealt with via sustainable urban drainage systems (SUDS) with a presumption against any connections into the combined sewer. 22(d) states that development proposals will be supported if they can be connected to the public water mains, this aligns with policies 65 – Waste Water Treatment, 66 – Surface Water Drainage of the HwLDP and Policy 3 – Water and Waste Water Infrastructure Impacts of the IMFLDP2.

#### **Site design, layout, and residential amenity**

- 8.12 The 16 proposed housing units will consist of a mix of detached, semi-detached and terraced houses, as well as bungalow style homes, and a large villa that can be retrofitted into two separate units (subject to the necessary planning consent). All properties will feature white render and weatherboard cladding on the external walls, with roofs finished in grey tiles. Grey Aluclad windows and timber doors will complete the external specification. The mixture of 2 storey housing typologies along with the variety of house types proposed provides a varied streetscape and a greater sense of place consistent with the existing housing styles in the wider context of Tain. The location of car parking will ensure it does not dominate the streetscape.
- 8.13 There were concerns expressed about the potential impact on the amenity and privacy of existing residents, particularly the houses to the west of the site at numbers 2-26 Seaforth Road. The site layout, although concentrated on the western portion of the allocated area, has been carefully designed with

consideration for the surrounding context. Adequate separation distances have been maintained between the existing and proposed dwellings to ensure a respectful and appropriate relationship. Notably, Plots 1 and 2 are positioned closest to the existing homes, with a rear-to-rear distance of approximately 20 metres to the nearest properties. The layout has been thoughtfully arranged to account for the orientation of buildings, window placement, and garden locations. This approach maximises solar gain and natural light while preserving privacy and minimising direct window-to-window overlooking. All proposed dwellings generally adhere to the recommended 21-metre separation between habitable room windows. Furthermore, the proposed boundary treatments (timber fencing of various heights and hedges) are considered sufficient to maintain an acceptable level of privacy for both existing and future residents.

### **Access and travel**

- 8.14 Vehicle access to the site will be from a new junction onto Seaforth Road. The location of the proposed junction itself is not an issue, however there were concerns that the design would reduce the possibility of street parking for residents across Seaforth Road and for emergency vehicle access. The amended plans show that the road access has been widened 15 m on either side to accommodate vehicle movements in the presence of parked cars, which is sufficient to address these concerns. However a revised layout is required to finalise these details but there is sufficient land available to achieve this and is likely to entail the requirement for on street parking restrictions at the junction. It is also noted that the houses at 65-73 Seaforth Road have private drives and garages to the rear, accessed via a small service road from Seaforth Court, which is considered to provide sufficient private parking. Concerns have been raised regarding the dimensions of the parking spaces. A condition is proposed to require further details of these.

The revised layout now shows a remote path to the west of the site being widened to 3m, in view of its proximity to vertical features, it reduces the available effective width and requires to be widened to take account of this. A condition is proposed in this regard. In addition to this wider active travel improvements a financial contribution of £1000 per house is required to contribute to the committed Active Travel Masterplan for Tain.

- 8.15 Concerns were raised due to the anticipated traffic generated by the proposed development will have an impact on existing roads. Subject to this, Transport Planning have not raised any concerns in relation to the visibility splays or capacity issues with the anticipated increase in vehicle movement. It is considered that subject to appropriate mitigation, the existing road network can accommodate the increase in vehicle movement. A construction phase traffic management plan is secured by condition in order to provide sufficient parking within the site due to the pressures on the surrounding residential road network.
- 8.16 There are additional concerns regarding the safety of pedestrians along Seaforth Road, particularly for children who cross the straight stretch of road where the new junction is planned. While it is understood that there are risks of people

crossing to access the green space in this area, Seaforth Road is a 20mph zone with no injury accidents found to have occurred during the last five years.

- 8.17 Amended plans were received reducing the number of visitor parking spaces to the western edge of the site and further extending the pavement to the southwestern housing plot. These changes are considered to be in line with local transport and active travel guidance, as well as national policy, which promote decreased reliance on private car travel and the provision of active travel routes. The remainder of the car parking arrangements are also under consideration by Transport Planning. While some minor amendments may be required, these can be addressed through the RCC (Road Construction Consent) process to ensure compliance with the Roads and Transport Guidelines for New Developments.

### **Flood risk, drainage, and servicing**

- 8.18 Surface water and foul drainage connections will be made to the existing drainage network, with the additional installation of a wet SUDs basin in the northeastern corner of the site. Following a review of the submitted Drainage Impact Assessment (DIA) Council's Flood Risk Management Team are satisfied with the drainage proposals and SUDS arrangements, with further engineer specifications to be secured via condition. Scottish Water has also confirmed its acceptability of the proposals.
- 8.19 In terms of flooding, the site is not shown to be at risk of fluvial flooding on SEPA's indicative future flood maps with no watercourses in vicinity of the site. As such flood risk to the site is considered low. The flood maps show small areas with the potential for surface water ponding close to the boundary however this can be managed through a well-designed surface water drainage system; in this case the SUDS basin proposed to the north east section of the site.

### **Impact on recreational greenspace and open space amenity, and landscaping**

- 8.20 One of the primary concerns associated with this application is the potential loss of existing greenspace, which currently functions as a valued recreational amenity for the local community, including dog walkers and families with children. Although this greenfield site is recognised as an important open space within a predominantly built-up area, it has been designated for residential development since the adoption of the Inner Moray Firth Local Development Plan (IMFLDP) in 2013. In the IMFLDP, the proposed development site was included as part of the larger Knockbreck Road (TN05 in the IMFLDP) site allocated for mixed-use development. Together with the adjacent greenfield land located to the south of the site (on the other side of the trees), this area was recommended for mixed-use development comprising residential and commercial uses, alongside the provision of appropriate amenity space.
- 8.21 The IMFLDP gives particular weight to a previously approved masterplan that encompasses the entirety of the 24.9ha site. The planning permission (10/02217/PIP) established the principle of development on this particular site and was re-established with permission 16/03969/PIP. While the current proposed development is a 1.03ha section of this larger site, it was approved for

housing and amenity space in both previous permissions. These permissions and the IMFLDP, which has since been superseded by the IMFLDP2, while no longer active, set a historic precedent for the use of this site for housing development and amenity green space.

- 8.22 The established use of the site for housing and amenity green space was retained and formally incorporated into the site allocation description for the IMFLDP2, adopted in 2024. Although the site was separated from the original Knockbreck site allocation and designated as a standalone area, the 1.4ha of open space was allocated for housing and community purposes. The site (TN05 – East of Burgage Drive in the IMFLDP2) has an indicative capacity of 40 homes and its strategic location near the new Tain Academy Campus makes it a key area for housing growth within the wider development framework of the SDA.
- 8.23 The IMFLDP2 defined developer requirements for the site include a stipulation that the term "community use" is to be interpreted—and safeguarded—exclusively as greenspace. This provision, together with the recognised housing capacity, is understood to mean that while the site can accommodate up to 40 dwellings, sufficient green space should be retained to ensure amenity for both residents and neighbouring properties. Although it has been indicated that the site can support more than the 16 homes proposed, the current proposal is considered compliant with the requirements set out in the IMFLDP2, as it delivers housing while maintaining adequate open green space for community benefit.
- 8.24 The site layout demonstrates a significant provision of greenspace, particularly to the west and east of the site. The proposed development will occupy approximately 0.8 hectares of the total 1.4-hectare site, ensuring that a suitable portion (0.6 hectares), just under half remains as open space. In addition, the inclusion of substantial SUDS infrastructure will contribute to the area's blue infrastructure and provide accessible walking paths for public use. A Section 75 agreement will also secure the long-term retention and maintenance of these open spaces for the benefit of both residents and the wider community.
- 8.25 Another developer requirement involves a landscaping scheme which integrates with the green network, and in particular the pathways through the wooded area to the south of the site. Amended plans have been submitted which better integrate these paths into the design of the site and take the landscaping into account alongside a plan for 10% biodiversity net gain which address both national and local planning policy in this regard.

### **Impact on forestry and trees**

- 8.26 The HwLDP highlights the multiple benefits provided by trees and woodlands throughout the Highlands, and in recognition of this, there is a strong presumption in favour of protecting the existing woodland resource. This approach is consistent with NPF4 Policy 6 (Forestry, Woodland and Trees), which promotes the protection and enhancement of woodland as part of a sustainable development strategy. An Arboricultural Impact Assessment has been prepared to inform the site layout, along with a Tree Protection Plan that sets out measures to safeguard retained trees during construction.



## **Matters to be secured by Upfront Payment**

- 8.27 In order to mitigate the impact of the development on infrastructure and services the following matters require to be secured prior to planning permission being issued:
- a) Developer contributions towards active travel at a rate of £1000 per house;
  - b) Education contributions towards Knockbreck Primary School at a rate of £10,517 per house;
  - c) Tain Royal Academy Community Complex. (Extension of fitness room and new dedicated community multi-functional room accessible during school day. Replace swimming pool and aquatic provision) at a rate of £1,568; and
  - d) Provision of on-site open space to be secured (via planning condition)
- 8.28 The applicant has confirmed that they are content to pay the required Developer Contributions in full and upfront, in accordance with the relevant policies and guidance. As all units are proposed as affordable housing, a legal agreement is not required in this instance.

## **9. CONCLUSION**

- 9.1 The application concerns the development of an allocated site within Tain which is considered to satisfactorily comply with both local and national planning policy and will deliver additional affordable housing to Tain. It addresses the requirements of National Planning Framework 4 to address local living and sustainability and will integrate successfully into the existing urban fabric and residential character within this area of Tain. The layout has been well considered to take account of the proximity to existing housing with all amenity issues mitigated through design.
- 9.2 The concerns of third parties with respect to a loss of open space are understood. Provision is however made within the site for an area of open space to the east and the allocation sets out a requirement that community uses for the remaining field (once the housing element is fully developed) to be safeguarded for green space.
- 9.3 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **10. IMPLICATIONS**

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Biodiversity Enhancements

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

## 11. RECOMMENDATION

**Action required before decision issued** N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

**Subject to the above actions,** it is recommended to

**GRANT** the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

**Reason:** In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development shall commence on site until a **Construction Traffic Management Plan** (including a routing plan for construction vehicles) has been submitted to, and approved in writing by, the Planning Authority. In particular this shall include details of contractor parking to be delivered within the site and:

- Proposed construction sequencing to minimise disruption to local residents;
- Clarification of the potential for abnormal loads;
- Predicted volume and type of construction traffic;
- Proposals for traffic management;
- Location of site compound;
- Location of staff and visitor parking;
- Locations for loading and unloading of materials, plant and machinery;
- Location of storage materials, skips and plant;
- Proposals for consultation with anyone affected by construction traffic;
- Construction traffic hours of operation;
- Length of construction period;
- Measures to protect the public road from mud and debris;

- Measures to ensure the safety of the public;

The approved traffic management plan shall be implemented prior to development commencing and remain in place until the development is complete.

**Reason:** In order to ensure the safety and free flow of traffic on the public road.

3. No development shall commence until a **Recreational Access Management Plan** (RAMP) has been submitted to, and approved in writing by the Planning Authority, in consultation with the councils Access Officer, Transport Planning and Transport Scotland. The submitted RAMP shall detail how the core path(s) and wider access network of paths will be upgraded and how it will be phased or diverted to reduce any disruption to the public use of the core path. The RAMP shall also ensure the section of core path remains open at all times, or nearly all the time, for public access and recreational purposes.

**Reason:** In order to safeguard public access both during and after the construction phase of the development.

4. Prior to the commencement of development, full details of the design and construction of the **active travel path** to the west of the site shall be submitted to and approved in writing by the Planning Authority. The path shall be designed in accordance with the standards set out in Transport Scotland's Cycling by Design guidance. In particular, where the path runs adjacent to vertical features such as walls or fences, a 0.5 metre verge shall be provided, or the path shall be widened accordingly to maintain an effective usable width of 3.0 metres. The approved details shall be implemented in full prior to the occupation of the first unit and maintained thereafter.

**Reason:** To ensure the active travel path is designed to a safe and accessible standard, promoting sustainable travel in accordance with national guidance and the principles of Designing Streets and Cycling by Design.

5. No development shall commence until details of a scheme of **hard and soft landscaping** works have been submitted to, and approved in writing by, the Planning Authority. Details of the scheme shall include:
  - i. All earthworks and existing and finished ground levels in relation to an identified fixed datum point;
  - ii. A plan showing existing landscaping features and vegetation to be retained;
  - iii. The location and design, including materials, of any existing or proposed walls, fences and gates;

- iv. All soft landscaping and planting works, including plans and schedules showing the location, species and size of each individual tree and/or shrub and planting densities; and
- v. A programme for preparation, completion and subsequent on-going maintenance and protection of all landscaping works.

Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme.

Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

**Reason:** In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

- 6. No development shall commence until a scheme for the **layout, design and construction of green spaces, play areas and outdoor sports and recreation facilities** (including specifications, protection measures, boundary treatments and timescales for implementation) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** In order to comply with the requirements of the Council's Open Space in New Residential Development supplementary planning guidance (adopted 20th May 2009) and to ensure that sufficient play equipment exists within the application site to serve future residents' needs.

- 7. A suitably qualified **landscape consultant** must be employed at the applicant's expense to ensure that the approved Landscape Plan is implemented to the agreed standard. Stages requiring supervision are to be agreed with the planning authority and certificates of compliance for each stage are to be submitted for approval. No development shall commence until a work instruction has been issued to the landscape consultant to enable them to undertake the necessary supervision unhindered for the duration of the project.

**Reason:** To secure the successful implementation of the approved landscape works.

- 8. No development shall commence until a scheme for the **maintenance**, in perpetuity, of all on-site green spaces and/or woodland and/or sports facilities and/or play areas and/or other spaces, facilities, features or parts

of the development that are not the exclusive property of any identifiable individual home owner (such as communal parking areas, the common entrances to flatted developments and estate lighting, and those elements of surface water drainage regimes not maintained either by the Council or Scottish Water), have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

**Reason:** To ensure that all communal spaces, facilities and landscaping areas are properly managed and maintained.

9. No development shall commence until full details of the final **surface water drainage design** have been submitted to and approved in writing by the Planning Authority. These details shall include the design of the access to the SUDS basin from Seaforth Road, demonstrating compliance with Council standards in terms of geometry and visibility. The submission shall also include written confirmation from Scottish Water confirming that they are prepared to vest the drainage system and accept the proposed discharge into their existing surface water sewer at an agreed rate.

**Reason:** In order to ensure that water and sewerage infrastructure is carefully managed and provided timeously, in the interests of public health and environmental protection.

10. No development shall commence until full details of a suitably sized and designed **bin storage** area, to accommodate waste and recycling bins for properties not served by the adopted road, have been submitted to and approved in writing by the Planning Authority. The approved bin storage area shall be installed prior to the first occupation of the development and shall be maintained thereafter in accordance with the approved details.

**Reason:** To ensure the provision of adequate and accessible waste and recycling storage facilities for all properties, in the interests of residential amenity, public health, and to support effective waste collection services.

11. All car **parking bays** within the development shall be designed and constructed to meet the Highland Council's minimum dimensional standards, unless otherwise agreed in writing with the Planning Authority. For the avoidance of doubt, the required dimensions are as follows:
  - End-on in curtilage: 3.0 metres wide by 11 metres long;
  - Adjacent in-curtilage parking: 5.5 metres wide by 5.0 metres long; and
  - Communal parking bays: 2.5 metres wide by 5.0 metres long.

Full details shall be submitted to and approved in writing by the Planning Authority prior to the commencement of development.

**Reason:** To ensure that car parking provision is safe, accessible, and in accordance with the Council's Roads and Transport Guidelines for New Developments.

12. No development, site excavation or groundwork shall commence until all retained trees have been protected against construction damage using protective barriers located beyond the **Root Protection Area** (in accordance with BS5837:2012 Trees in Relation to Design, Demolition & Construction, or any superseding guidance prevailing at that time). These barriers shall remain in place throughout the construction period and must not be moved or removed during the construction period without the prior written approval of the Planning Authority.

**Reason:** In order to ensure the protection of retained trees, which are important amenity assets, both during construction and thereafter.

13. No **trees** within the application site, other than those which are specifically identified for removal on the approved plans, shall be cut down, uprooted, topped, lopped (including roots) or wilfully damaged in any way, without the prior written permission of the Planning Authority.

**Reason:** In order to ensure the protection of retained trees, which are important amenity assets, both during construction and thereafter.

14. All plant, machinery and equipment associated with ventilation, air-conditioning, heating and refrigeration services or similar and including fans, ducting and external openings shall be so installed, maintained and operated such that any associated operating noise does not exceed **NR 20** when measured or calculated within any noise-sensitive premises with windows open for ventilation purposes. For the purposes of this condition, "noise-sensitive premises" includes, but is not necessarily limited to, any building, structure or other development the lawful use of which a) falls within Classes 7 (Hotels & Hostels), 8 (Residential Institutions) or 9 (Houses) of the Town and Country Planning (Use Classes) (Scotland) Order 1997 (as amended), or b) is as a flat or static residential caravan.

**Reason:** To safeguard the amenity of neighbouring properties and occupants.

15. Before the first occupation of the development hereby approved, a scheme for the **maintenance** in perpetuity of all on-site green spaces (including the play area) and/or woodland and/or sports facilities, features or parts of the development that are not the exclusive property of any identifiable individual house owner such as communal parking areas, landscaping within the adopted carriageway, estate lighting, and those elements of surface water drainage regimes not maintained either by the Highland Council or Scottish Water, shall be submitted to and agreed in writing by the planning Authority. The agreed scheme, which shall accord

with the Highland Council's adopted standards contained within 'Open Space in Residential Development' and the provisions of the Property Factors (Scotland) Act 2011, shall be implemented thereafter to the satisfaction of the planning authority.

**Reason:** In the interests of amenity and to ensure that open space and recreational facilities are maintained in accordance with the Council's standards.

16. Each dwelling shall be provided with an **electric vehicle (EV) charging point** connection, or a ducted connection capable of accommodating future installation of an EV charging point, prior to first occupation. Details of the proposed EV charging provision, including location, specification, and installation method, shall be submitted to and approved in writing by the Planning Authority prior to commencement of development and shall be implemented as approved.

**Reason:** To support sustainable travel and reduce carbon emissions in accordance with National Planning Framework 4 (NPF4) Policy 13 (Sustainable Transport).

## **REASON FOR DECISION**

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

## **INFORMATIVES**

### **Initiation and Completion Notices**

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

## **Flood Risk**

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

## **Scottish Water**

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

## **Local Roads Authority Consent**

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at:

<http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

[http://www.highland.gov.uk/info/20005/roads\\_and\\_pavements/101/permits\\_for\\_working\\_on\\_public\\_roads/2](http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2)

## **Mud and Debris on Road**

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

## **Construction Hours and Noise-Generating Activities**

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to



Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact [env.health@highland.gov.uk](mailto:env.health@highland.gov.uk) for more information.

### **Protected Species – Halting of Work**

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

### **Protected Species - Tree Felling**

Any mature trees within the application site which are to be felled, lopped or topped must be surveyed for bats prior to the works being carried out. If a bat roost is identified work must stop and further advice sought from SNH's area office. It is an offence to interfere with bats and/or their roosts without a license and strict penalties will be applied through the courts where a license has not been obtained.

Signature:	Dafydd Jones
Designation:	Area Planning Manager - North
Author:	Claire Farmer – Acting Team Leader
Background Papers:	Documents referred to in report and in case file.
Relevant Plans:	Plan 1 - Location Plan - AST-NOR-XX-ZZ-DR-A-0001 - REV P06
	Plan 2 - Site Layout Plan - AST-NOR-XX-ZZ-DR-A-0003 - REV P09
	Plan 3 - Site Layout Plan - AST-NOR-XX-XX-DR-A-0002 - REV P07
	Plan 4 - Road Construction Details - 59326-1006 - REV B
	Plan 5 - Visibility Splays - 59326-1004 - REV B

Plan 6 - Vehicle Tracking Plan - 59326-1003 - REV C  
Plan 7 - Road Adoption Areas - 59326-1002 - REV C  
Plan 8 - Flood Routing Plan - 159326-2001 - REV G  
Plan 9 - Drainage Layout Plan - 159326-2000 - REV H  
Plan 10 - Road Car Park Levels Plan - 159326-1005 - REV D  
Plan 11 - Road Layout Plan - 159326-1001 - REV D  
Plan 12 - Drainage Construction Details - 159326-2003  
Plan 13 - Drainage Construction Details - 159326-2002  
Plan 14 - Floor/Elevation Plan - House Type 1 - AST-NOR-XX-XX-DR-A-1000  
Plan 15 - Floor/Elevation Plan - House Type 2 - AST-NOR-XX-XX-DR-A-2000  
Plan 16 - Floor/Elevation Plan - House Type 3 - AST-NOR-XX-XX-DR-A-3000  
Plan 17 - Floor/Elevation Plan - House Type 4 - AST-NOR-XX-XX-DR-A-4000  
Plan 18 - Floor/Elevation Plan - House Type 5 - AST-NOR-XX-XX-DR-A-5000  
Plan 19 - Floor/Elevation Plan - House Type 6 - AST-NOR-XX-XX-DR-A-6000  
Plan 20 - Floor/Elevation Plan - House Type 7 - AST-NOR-XX-XX-DR-A-7000  
Plan 21 - Floor/Elevation Plan - House Type 8 - AST-NOR-XX-XX-DR-A-8000  
Plan 22 - Tree Protection Plan - 002  
Plan 23 - Tree Constraints Plan - 001

## Appendix 2

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* <sup>1</sup>	Index Linked <sup>1</sup>	Base Date* <sup>2</sup>	Payment Trigger* <sup>3</sup>	Accounting Dates* <sup>4</sup>	Clawback Period* <sup>5</sup>
<b>Schools<sup>2</sup></b>									
Primary – Build Costs	Knockbreck Primary School and future Tain Campus catchment	£10,517	£0.00	£168,272	BCIS	Q2 2023	TOC/CC	Apr/Oct	15
<del>Primary – Land Costs</del>	<del>N/A</del>	<del>£0.00</del>	<del>£0.00</del>	<del>£0.00</del>	<del>BCIS</del>	<del>Q2 2018</del>	<del>TOC/CC</del>	<del>Apr/Oct</del>	<del>15 or 20</del>
<del>Secondary – Build Costs</del>	<del>N/A</del>	<del>£0.00</del>	<del>£0.00</del>	<del>£0.00</del>	<del>BCIS</del>	<del>Q2 2018</del>	<del>TOC/CC</del>	<del>Apr/Oct</del>	<del>15 or 20</del>
<del>Secondary – Land Costs</del>	<del>N/A</del>	<del>£0.00</del>	<del>£0.00</del>	<del>£0.00</del>	<del>No</del>		<del>TOC/CC</del>	<del>Apr/Oct</del>	<del>15 or 20</del>
<b>Community Facilities</b>	Tain Royal Academy Community Complex upgrades	£1,568	£0.00	£25,088	BCIS	Q2 2023	TOC/CC	Apr/Oct	15
<b>Affordable Housing</b>									
On-site provision <sup>3</sup>	16 units.	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
<del>Off-site provision<sup>4</sup></del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>
Commuted Sum <sup>5</sup>	N/A	N/A	N/A	£0.00	N/A	N/A	Insert specific payment date	N/A	5 Years
Agreement for Delivery Needed	N.	N/A	N/A	N/A	N/A	N/A		N/A	N/A
<b>Transport</b>									
Active Travel	Tain Active Travel Masterplan	£1,000	£0.00	£16,000	BCIS		TOC/CC	Apr/Oct	15
<del>Safer Routes to Schools</del>	<del>Insert what contribution is for</del>	<del>£0.00</del>	<del>£0.00</del>	<del>£0.00</del>	<del>BCIS</del>		<del>TOC/CC</del>	<del>Apr/Oct</del>	<del>15 or 20</del>
<del>Public Realm</del>	<del>Insert what contribution is for</del>	<del>£0.00</del>	<del>£0.00</del>	<del>£0.00</del>	<del>BCIS</del>		<del>TOC/CC</del>	<del>Apr/Oct</del>	<del>15 or 20</del>
<del>Wayfinding</del>	<del>Insert what contribution is for</del>	<del>£0.00</del>	<del>£0.00</del>	<del>£0.00</del>	<del>BCIS</del>		<del>TOC/CC</del>	<del>Apr/Oct</del>	<del>15 or 20</del>

<sup>1</sup> If the contribution is to be used towards infrastructure projects involving building e.g. new school, new cycle route etc BCIS ALL IN TENDER will be the index, if it doesn't involve building then another appropriate index may need to be chosen with the agreement of Team Leader

<sup>2</sup> Indicate whether or not 1 bed houses/flats are exempt

<sup>3</sup> Indicate whether a penalty payment due for late delivery (and, if so, what it is based upon).

<sup>4</sup> As above

<sup>5</sup> Indicate whether a penalty payment is due for late payment of commuted sum (and, if so, what it is based upon)

	COMPLETE FOR LEGAL AGREEMENTS AND UPFRONT PAYMENTS				REQUIRED FOR LEGAL AGREEMENTS ONLY				
Type	Contribution	Rate (per house)	Rate (per flat)	Total Amount* <sup>1</sup>	Index Linked <sup>1</sup>	Base Date* <sup>2</sup>	Payment Trigger* <sup>3</sup>	Accounting Dates* <sup>4</sup>	Clawback Period* <sup>5</sup>
Public Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
School Transport	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Improvements	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Parking	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
EV Charging	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Traffic Signals	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Lighting	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Road Traffic Orders	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Cumulative Transport Contributions	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Green Infrastructure</b>									
Open Space	On Site provision?	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Green Network	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Built/Natural Heritage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Water and Waste</b>									
Catchment Improvement Works	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Strategic Flood Scheme	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Maintenance of SuDs	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Off Street Waste Storage	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Recycling Point Provision	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
Glass Banks	Insert what contribution is for	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
		£0.00	£0.00	£0.00					
<b>Public Art</b>	N/A	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20
<b>Other (Please Specify)</b>	N/A	£0.00	£0.00	£0.00	BCIS		TOC/CC	Apr/Oct	15 or 20

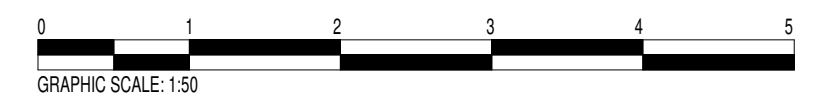
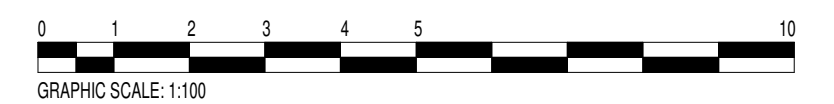
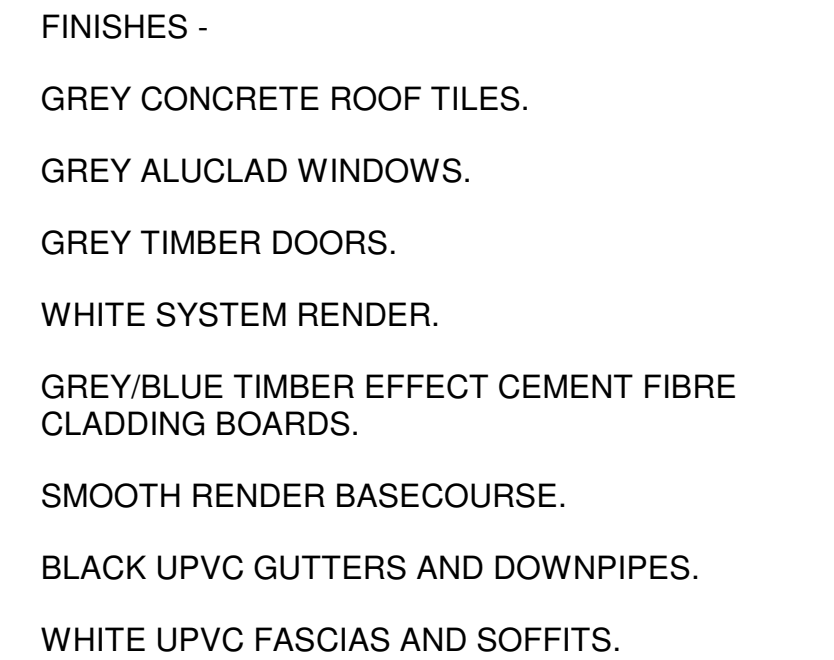
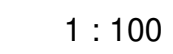
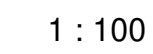
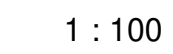
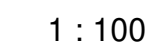
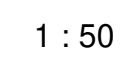
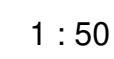
\*<sup>1</sup> Adjust total to take account of flat exemptions

\*<sup>2</sup> Base Date – Set out in Supplementary Guidance on Developer Contributions

\*<sup>3</sup> TOC/CC – The earlier of the issue of either a temporary occupation certificate or a completion certificate – or specify alternative time if appropriate

\*<sup>4</sup> Accounting dates - 1 April and 1 October each year of development (if the contribution is to be paid on a basis other than related to units completed in the preceding 6 months (e.g. lump sum on a specific date) then indicate this instead of the Apr/Oct payment dates)

\*<sup>5</sup> Clawback – 15 years for Major development; 20 years for Local development



P01	2024	Planning	GD	MP
Rev	Date	Details	Drawn	Checked

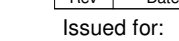
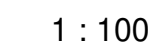
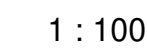
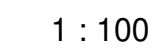
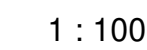
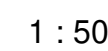
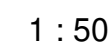
Issued for:

Project/Client:	Project No:
ALBYN HOUSING SOCIETY	DZ3024-0010-00
ALDI SITE - TAIN	Dwg No:
	AST-NOR-XX-XX-DR-A-1000
	Rev:
	P01
Drawing:	Scale: @A1
HOUSE TYPE 01	Indicated
2B3P Bungalow + 3B5P semi	Drawn By: Date:
	MP
	Checked By: Date:
	GD

5 Longman Road, Inverness, IV1 1RY  
T: +44 (0)1463 729 307  
[www.norr.com](http://www.norr.com)

Contractors must work only to figured dimensions which are to be checked on site.  
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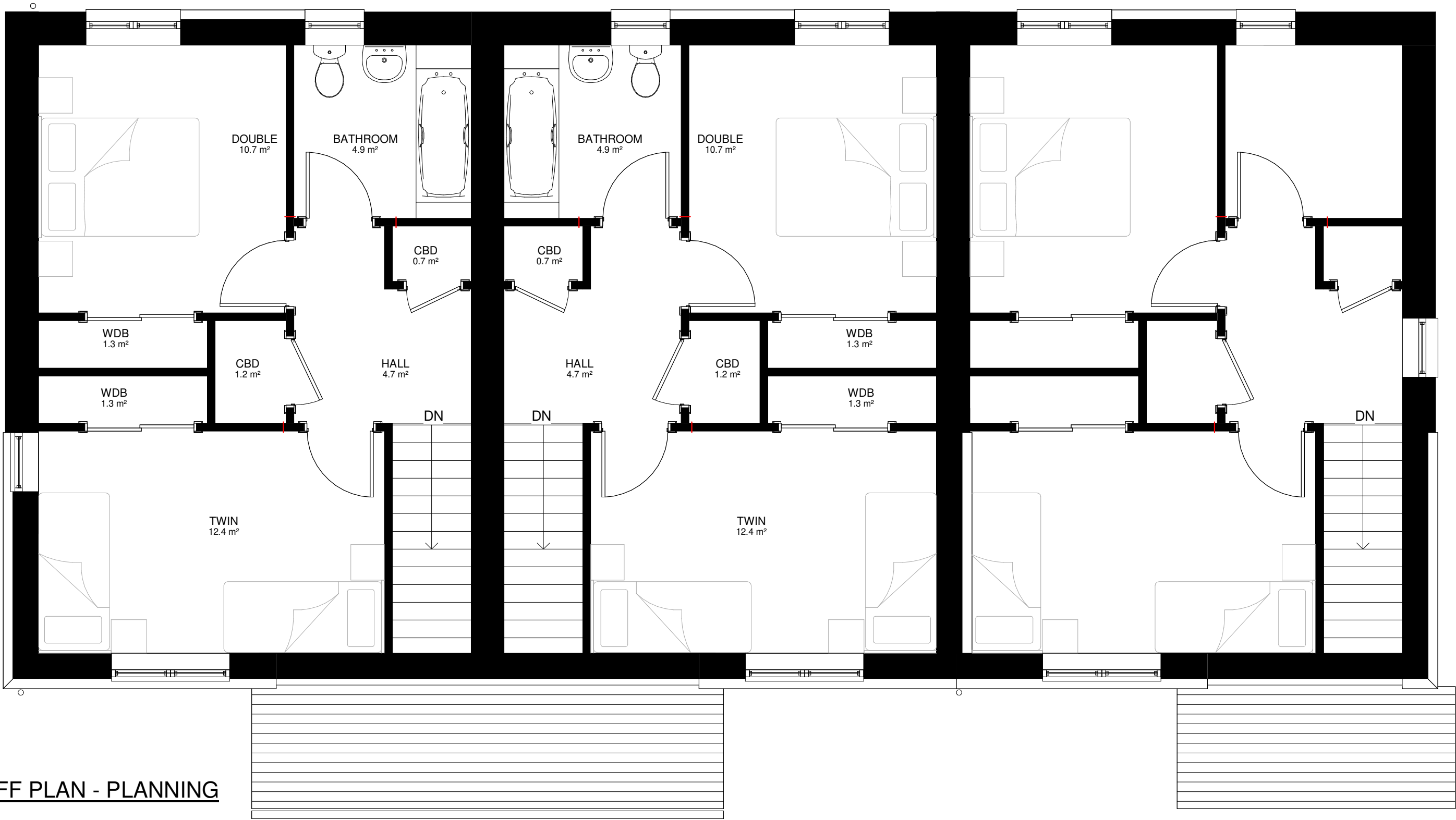




Project/Client:	Project No: RZ3024-0010-00
ALBYN HOUSING SOCIETY	Dwg No: AST-NOR-XX-XX-DR-A-2000
ALDI SITE - TAIN	Rev: P01
Drawing:	Scale: AS indicated @A1
HOUSE TYPE 02	Drawn By:      Date:
2B3P Bungalow + 3B5P semi	MP
	Checked By:      Date:
	GD

5 Longman Road, Inverness, IV1 1RY  
T: +44 (0)1463 729 307  
[www.norr.com](http://www.norr.com)

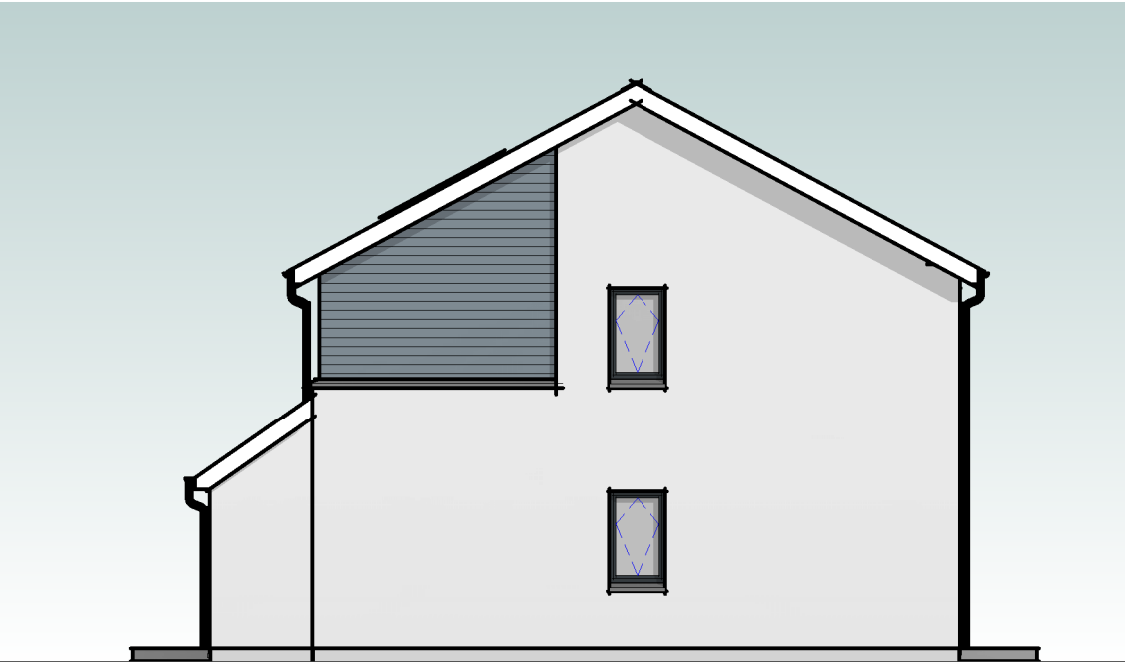
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FF PLAN - PLANNING  
1 : 50



REAR ELEVATION..  
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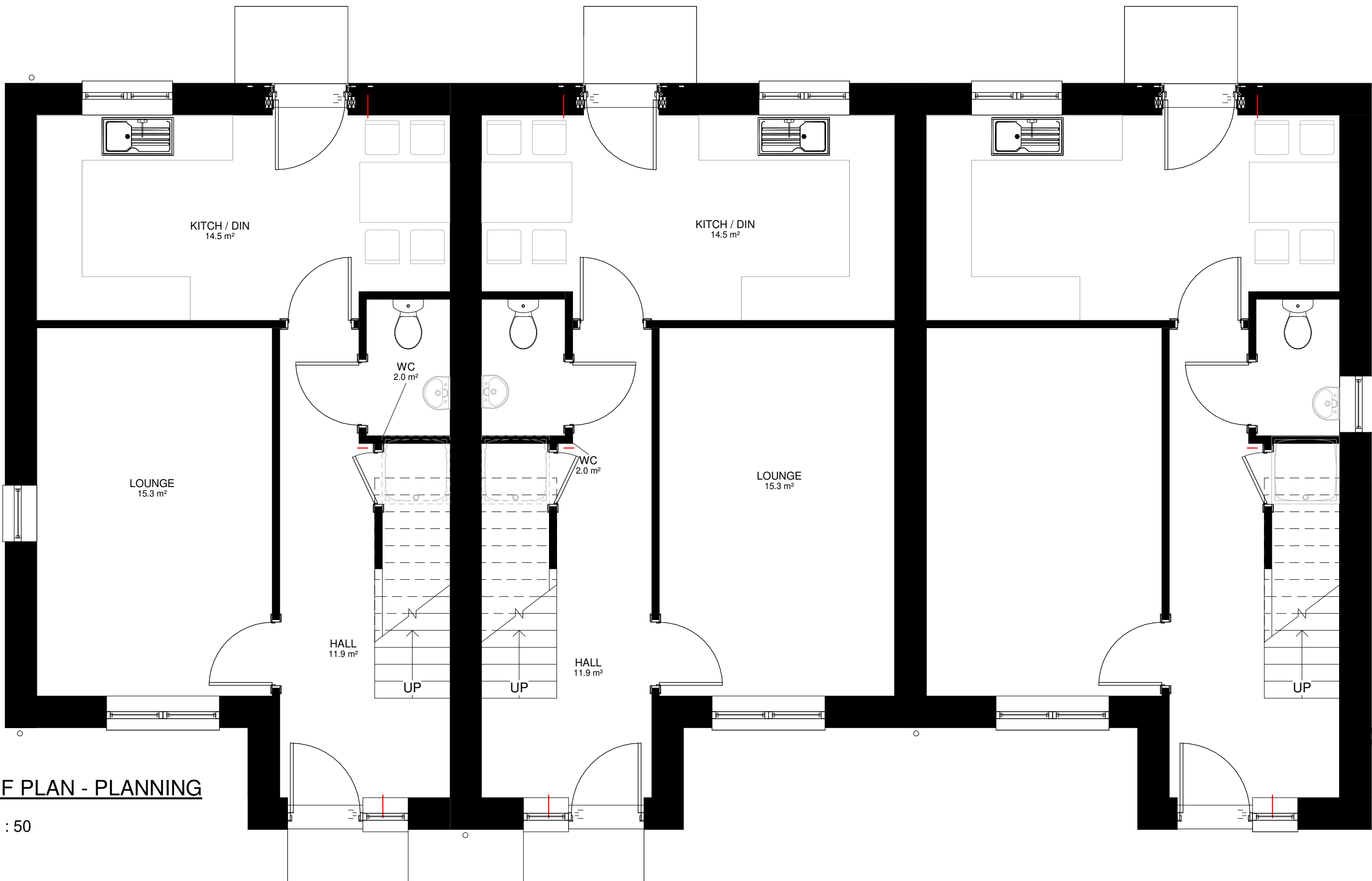
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ENTRANCE ELEVATION..  
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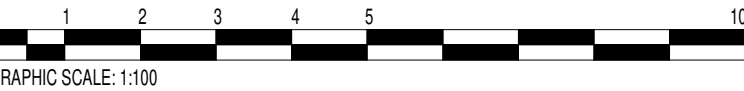
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GF PLAN - PLANNING  
1 : 50



- FINISHES -
- GREY CONCRETE ROOF TILES.
  - GREY ALUCLAD WINDOWS.
  - GREY TIMBER DOORS.
  - WHITE SYSTEM RENDER.
  - GREY/BUE TIMBER EFFECT CEMENT FIBRE CLADDING BOARDS.
  - SMOOTH RENDER BRICK BASECOURSE.
  - BLACK UPVC GUTTERS AND DOWNPIPES.
  - WHITE UPVC FASCIAS AND SOFFITS.



Rev	Date	Planning	Details	MP	GD
P01	2024	Planning		MP	GD

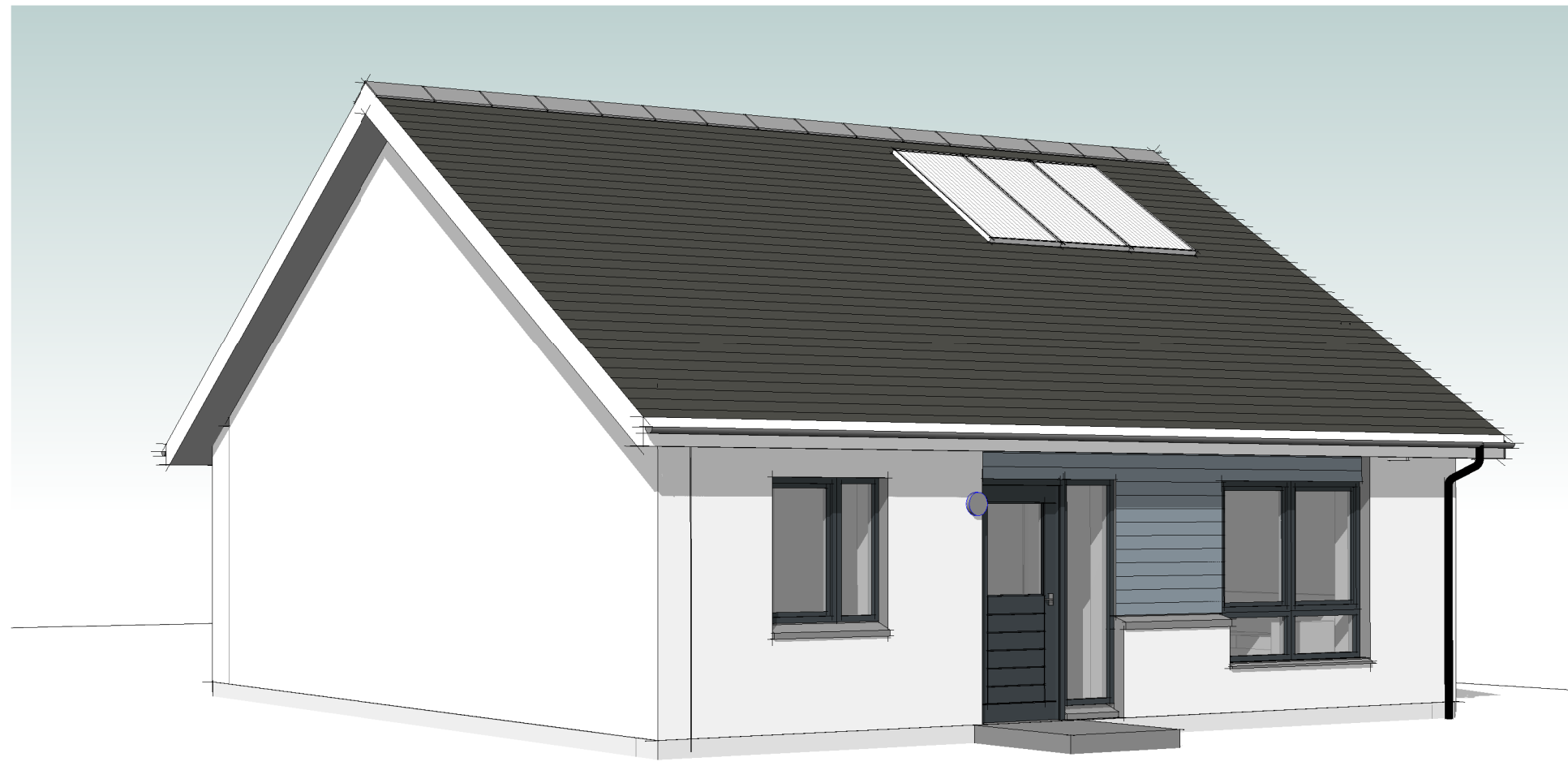
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Project/Client:		Project No:	
ALBYN HOUSING SOCIETY		RZ3024-0010-00	
ALDI SITE - TAIN		Dwg No:	
		AST-NOR-XX-XX-DR-A-3000	
		Rev:	
		P01	
Drawing:		Scale:	
HOUSE TYPE 03		As indicated @A1	
2B4P Terr		Drawn By: Date:	
		MP	
		Checked By: Date:	
		GD	

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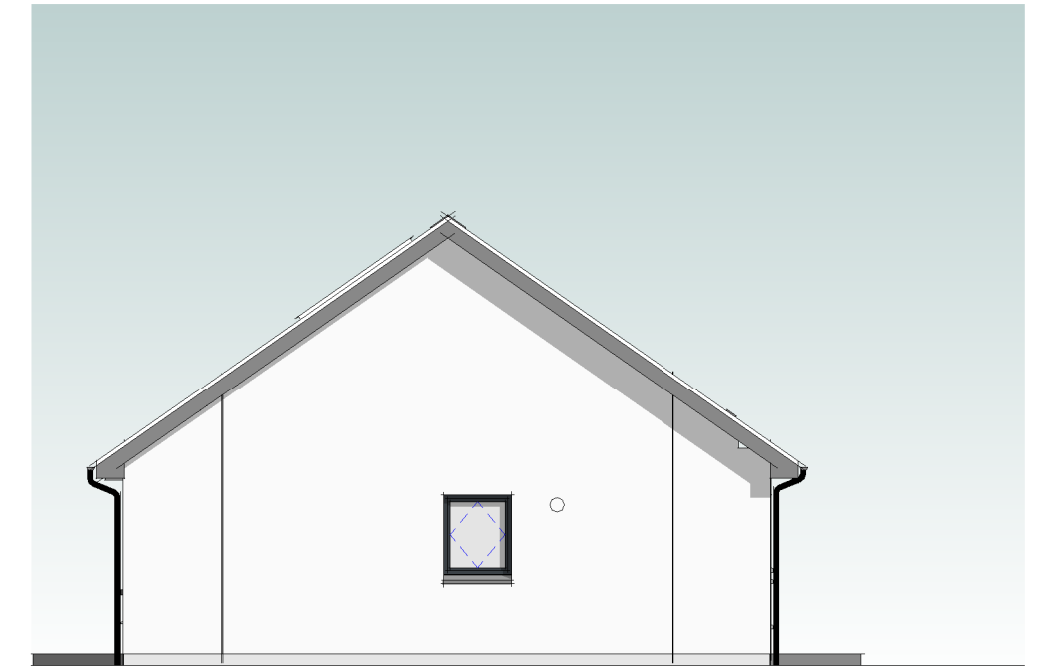
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Front Elevation.

1 : 100



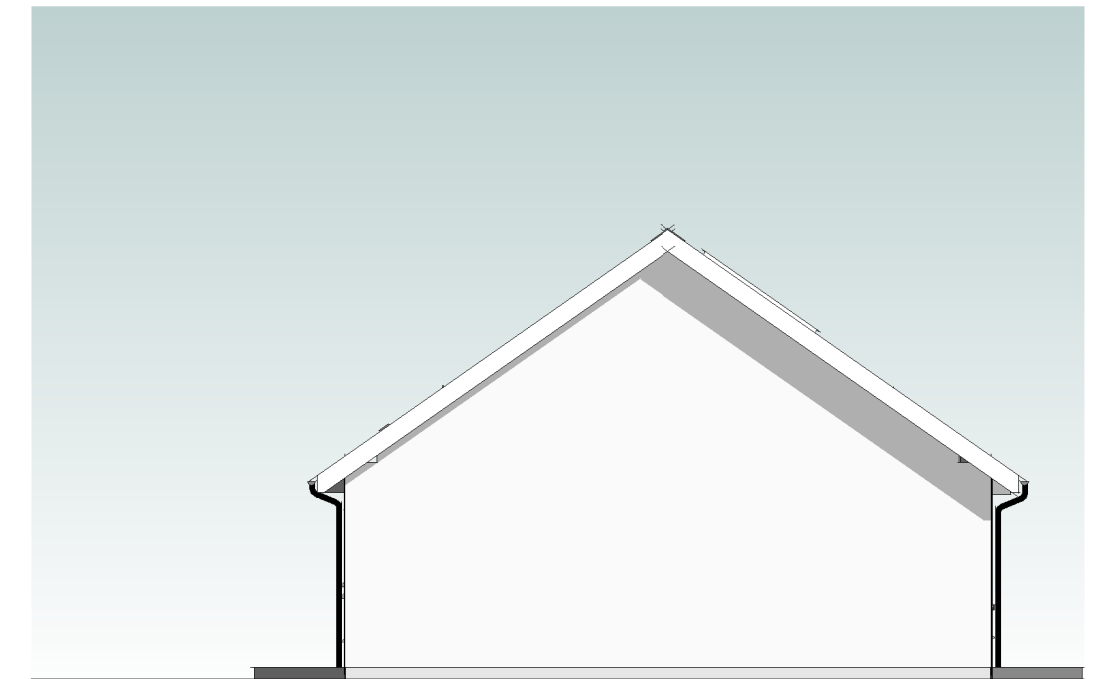
Side Elevation.

1 : 100



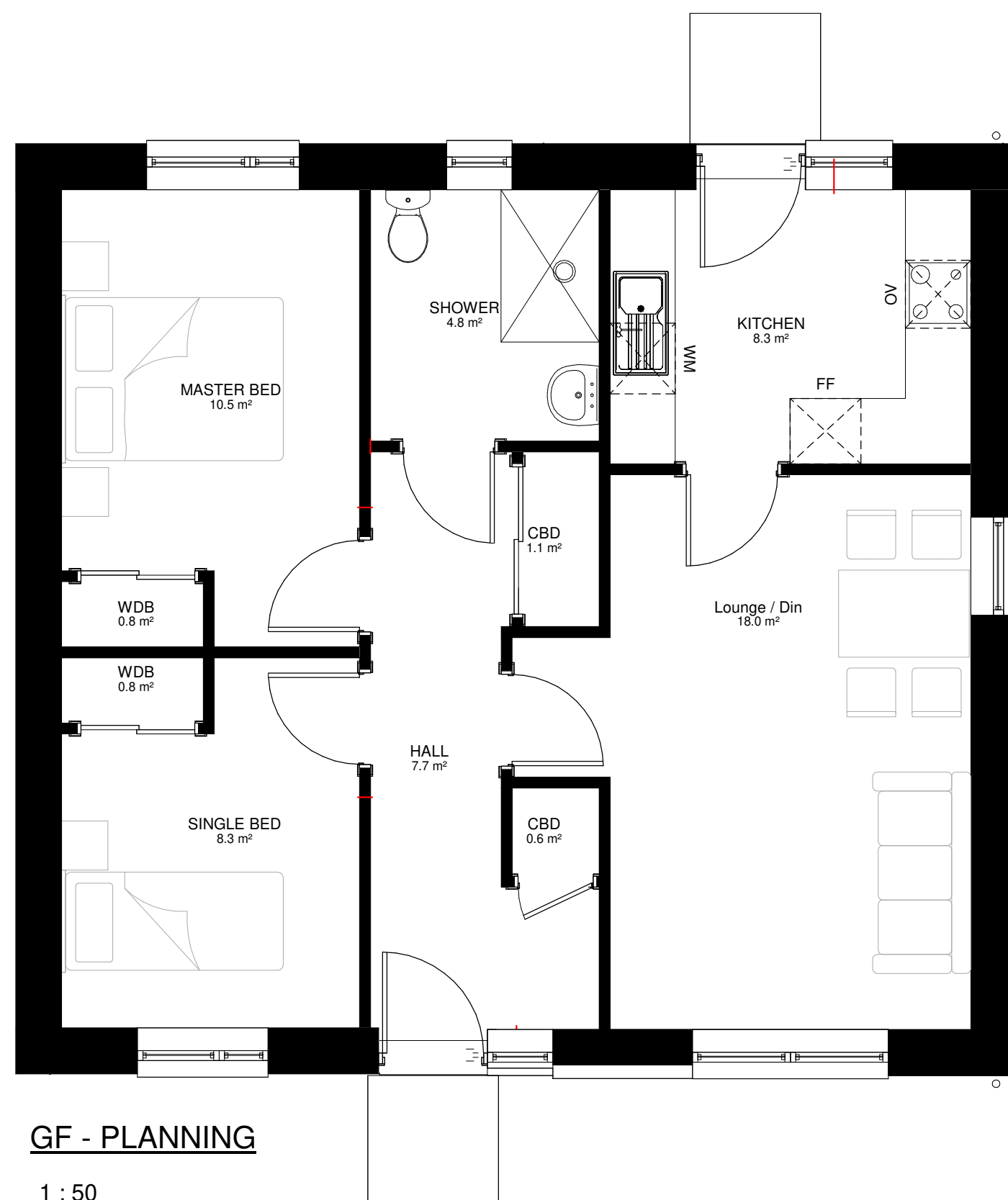
Rear Elevation.

1 : 100



Side Elevation..

1 : 100



## GF - PLANNING

1 : 50

FINISHES -

GREY CONCRETE ROOF TILES.

GREY ALUCLAD WINDOWS.

GREY TIMBER DOORS.

WHITE SYSTEM RENDER.

GREY/BLUE TIMBER EFFECT CEMENT FIBRE CLADDING BOARDS.

SMOOTH RENDER BASECOURSE.

BLACK UPVC GUTTERS AND DOWNPIPES.

WHITE UPVC FASCIAS AND SOFFITS.



P01	2024	Planning	MP	GD
Rev	Date	Details	Drawn	Checked

Rev	Date
Issued for:	

## PLANNING

Project/Client:

ALBYN HOUSING SOCIETY

ALDI SITE - TAIN

Project No:  
RZ3024-0010-00

Dwg No:  
AST-NOR-XX-XX-DR-A-4000

Rev:  
P01

Drawing:

HOUSE TYPE 04  
2B3P Bungalow

As indicated @A1

Drawn By: MP Date:

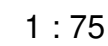
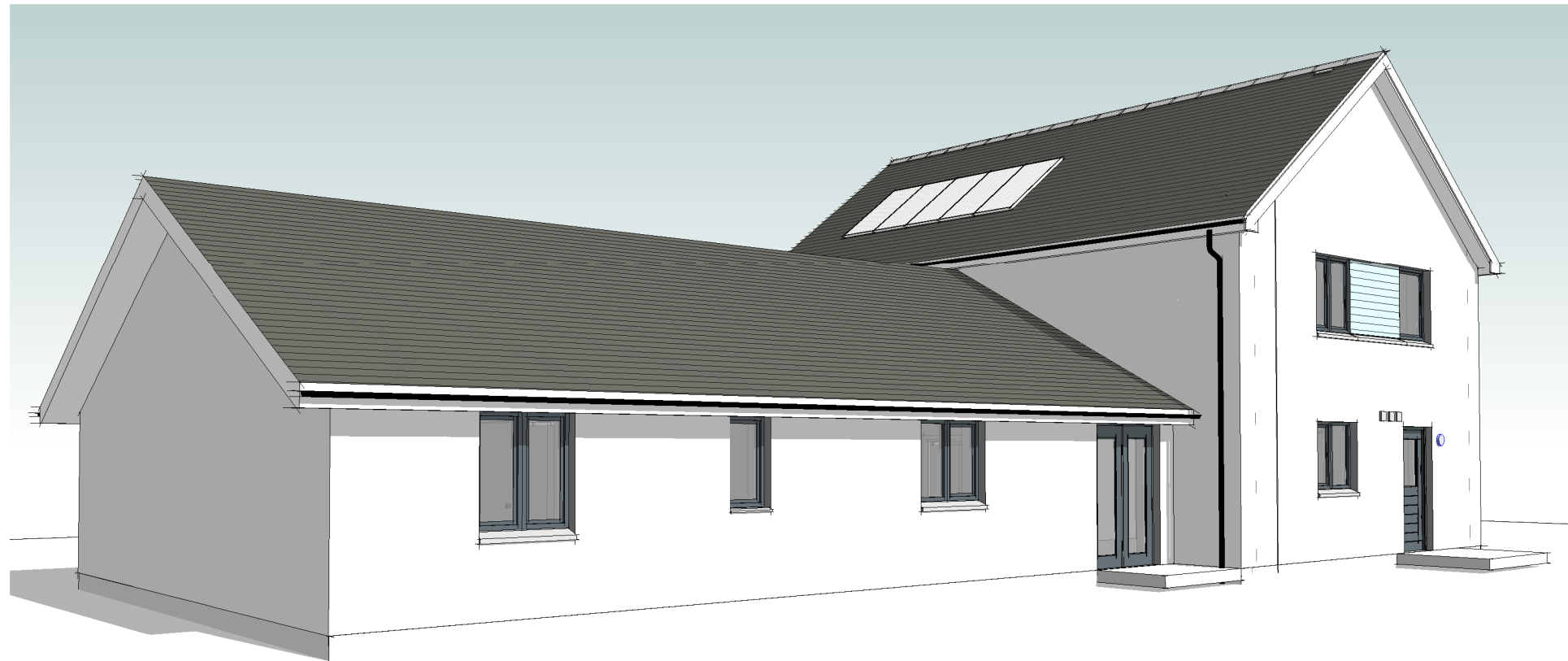
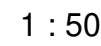
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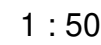
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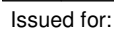




KITC  
KIT/DIN  
LIVING  
LGE/DIN



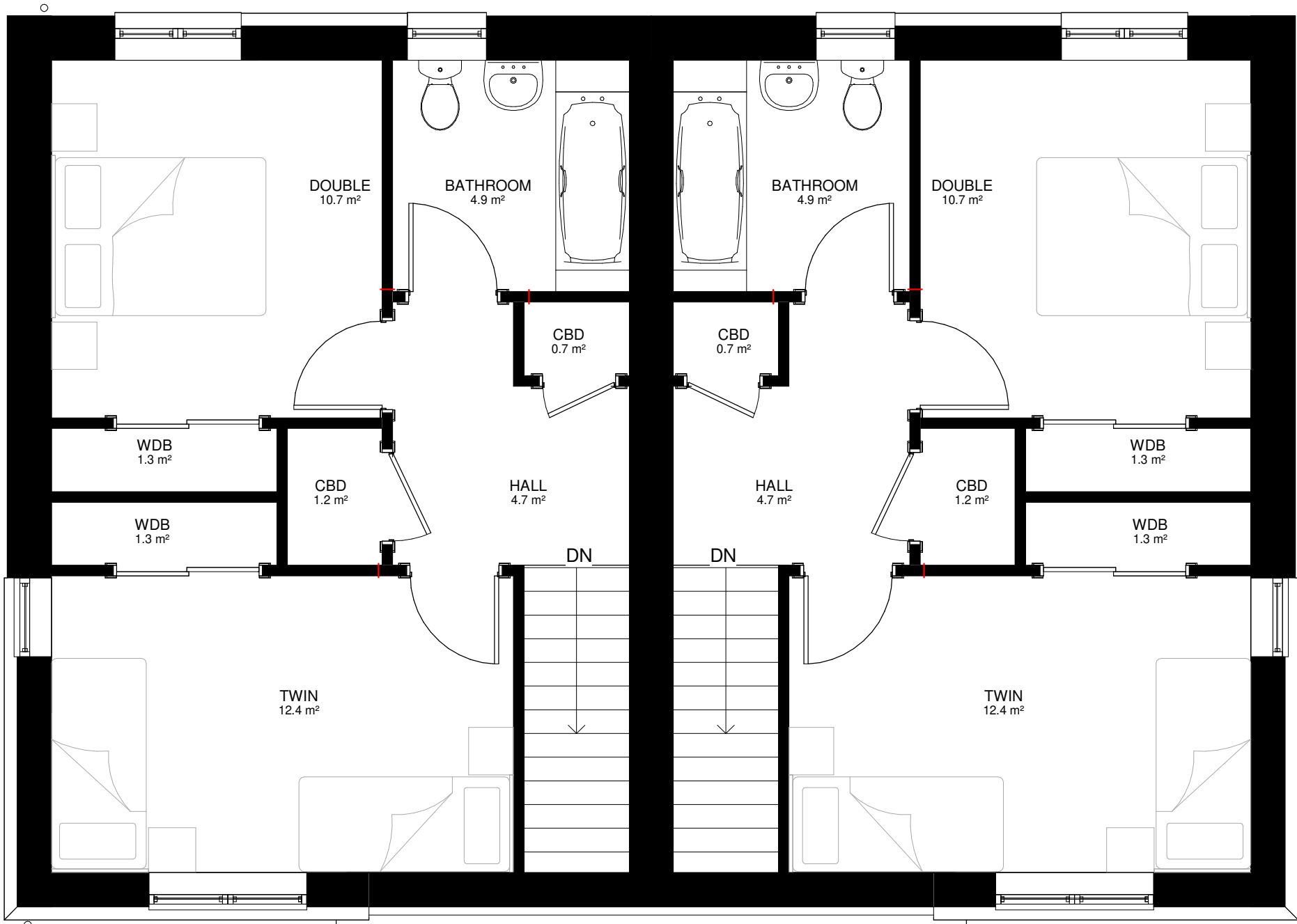
WHITE UPVC FASCIAS AND SOFFITS.



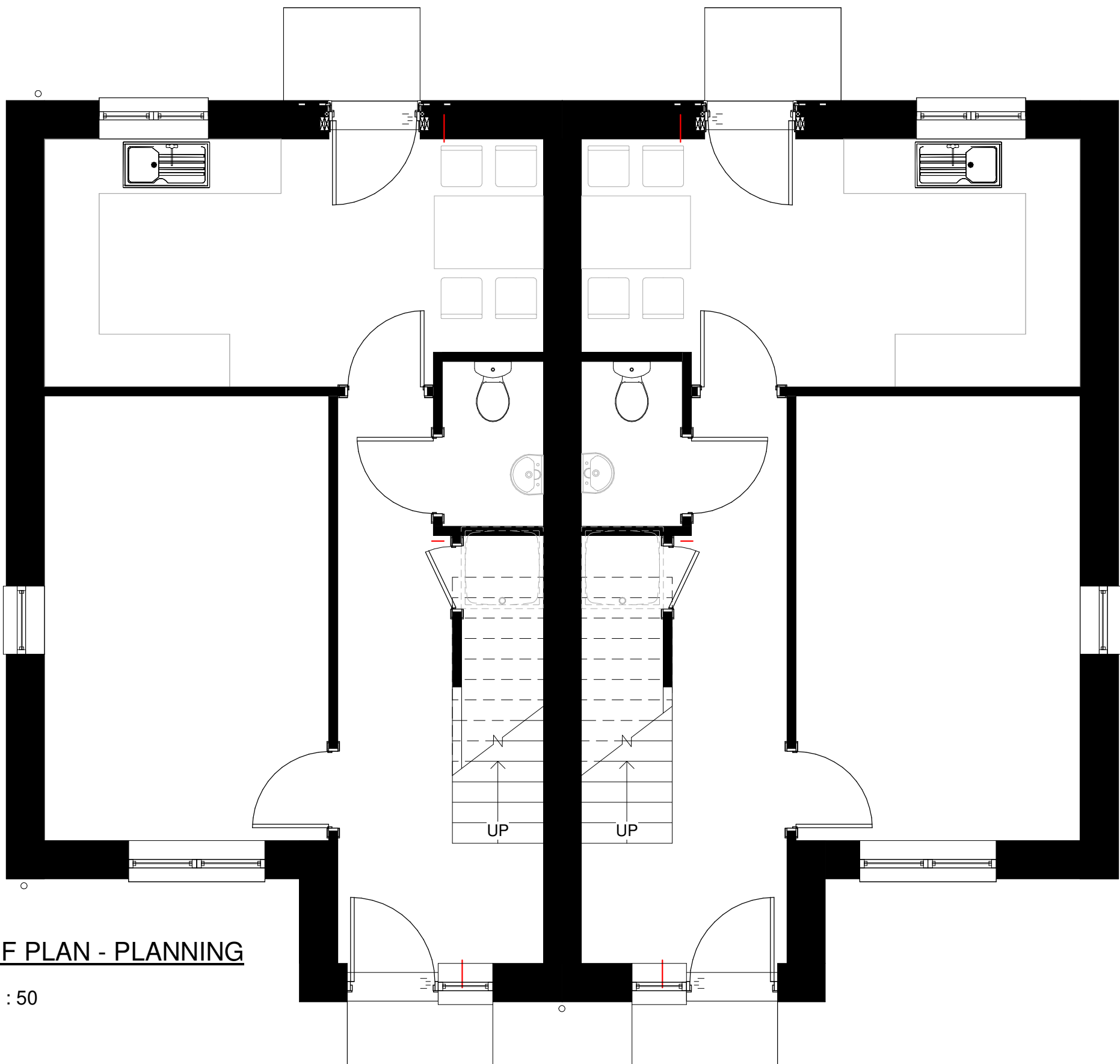
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FF PLAN - PLANNING  
1 : 50



GF PLAN - PLANNING  
1 : 50



REAR ELEVATION..  
1 : 100



END ELEVATION..  
1 : 100



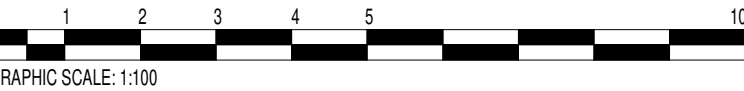
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END ELEVATION..  
1 : 100



- FINISHES -
- GREY CONCRETE ROOF TILES.
  - GREY ALUCLAD WINDOWS.
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  - SMOOTH RENDER BRICK BASECOURSE.
  - BLACK UPVC GUTTERS AND DOWNPIPES.
  - WHITE UPVC FASCIAS AND SOFFITS.



Rev	Date	Drawn	Checked
P01	2024	Planning	MP
		Details	GD

Issued for:		<b>WARRANT</b>	
Project/Client:		Project No:	
ALBYN HOUSING SOCIETY		RZ3024-0010-00	
ALDI SITE - TAIN		Dwg No:	
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		Rev:	
		P01	
Drawing:		Scale:	
HOUSE TYPE 06		As indicated @A1	
2B4P Semi		Drawn By: Date:	
		MP	
		Checked By: Date:	
		GD	

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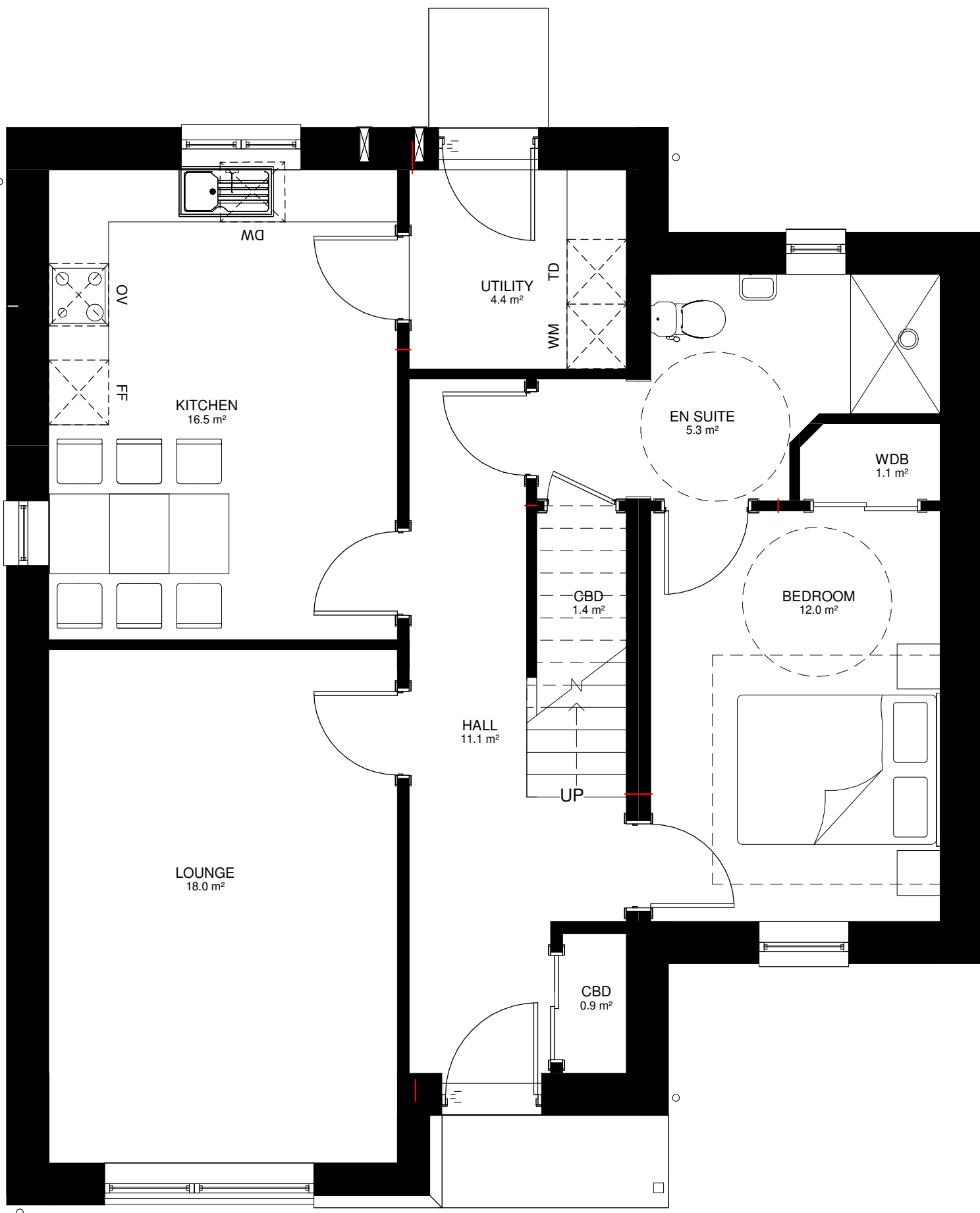
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FF - PLANNING

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GF - PLANNING

1 : 50



ENTRANCE ELEVATION.

1 : 100



REAR ELEVATION.

1 : 100



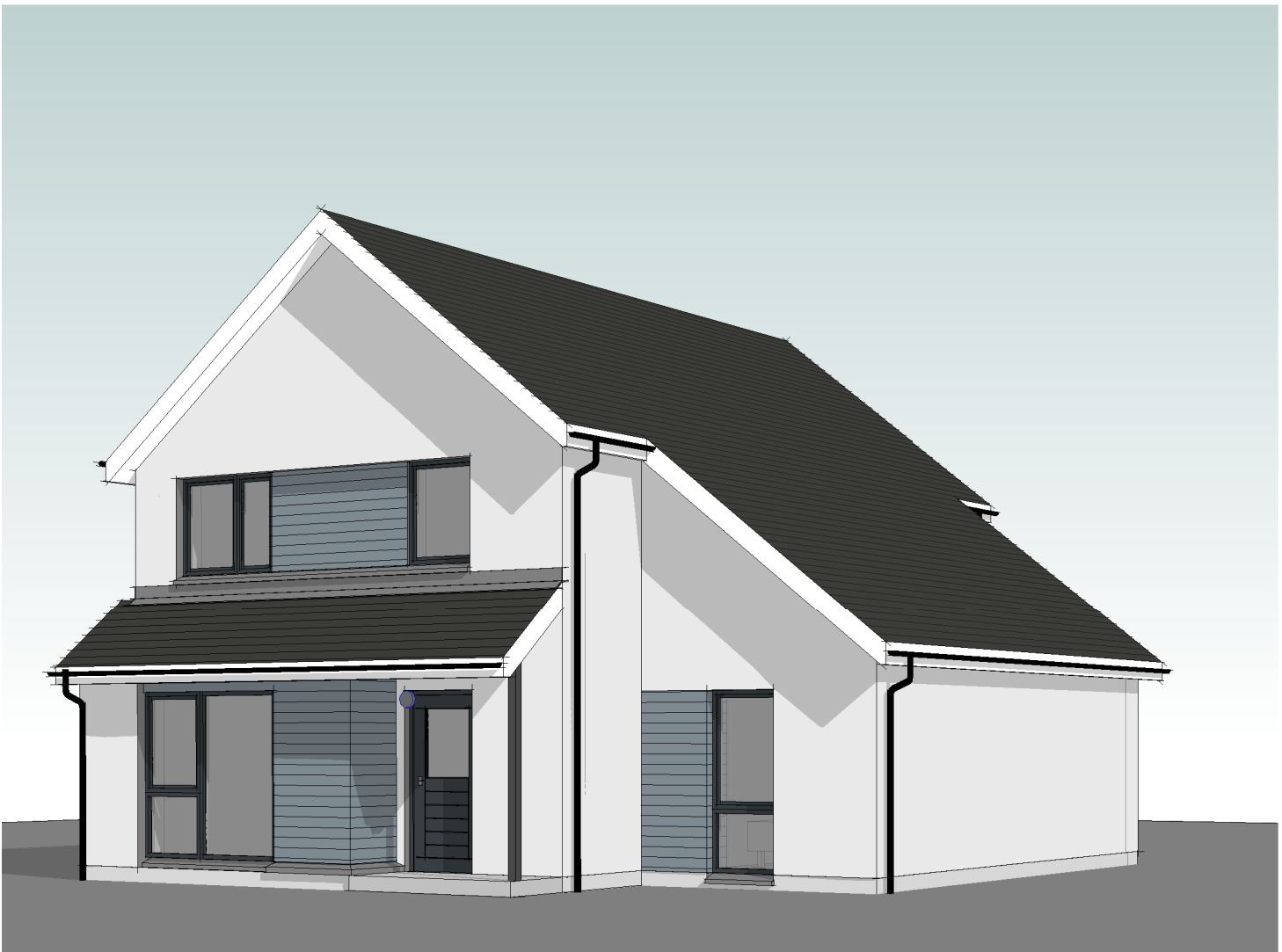
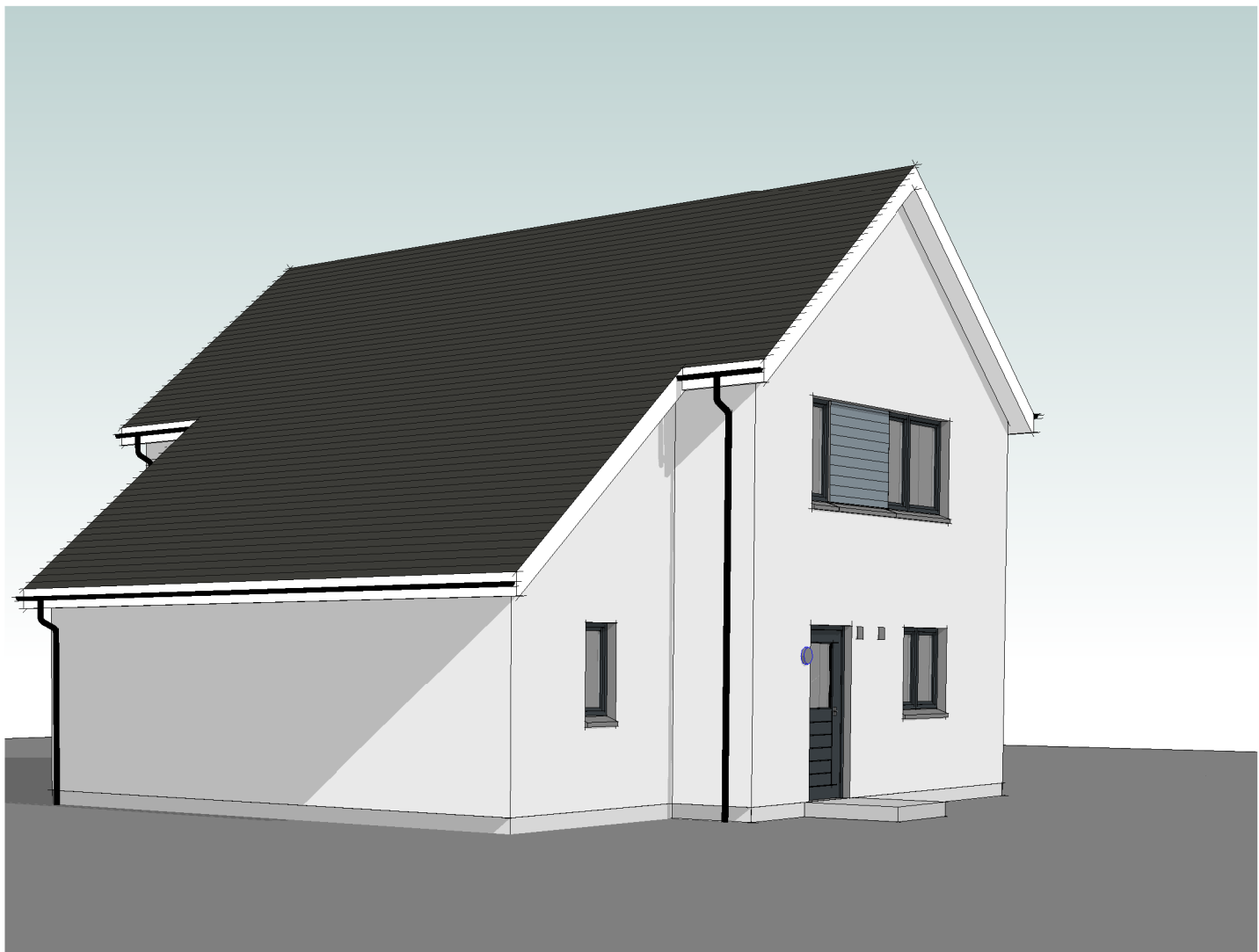
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SIDE ELEVATION 2.

1 : 100



- FINISHES -
- GREY CONCRETE ROOF TILES.
  - GREY ALUCLAD WINDOWS.
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Rev	Date	Details	GD	MP
P01	2024	Planning	GD	MP
			Drawn	Checked

Project/Client:		Project No:	
ALBYN HOUSING SOCIETY		RZ3024-0010-00	
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		AST-NOR-XX-XX-DR-A-7000	
		Rev:	
		P01	
Drawing:		Scale:	
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4B7P Detached		Drawn By: Date:	
		MP	
		Checked By: Date:	
		GD	

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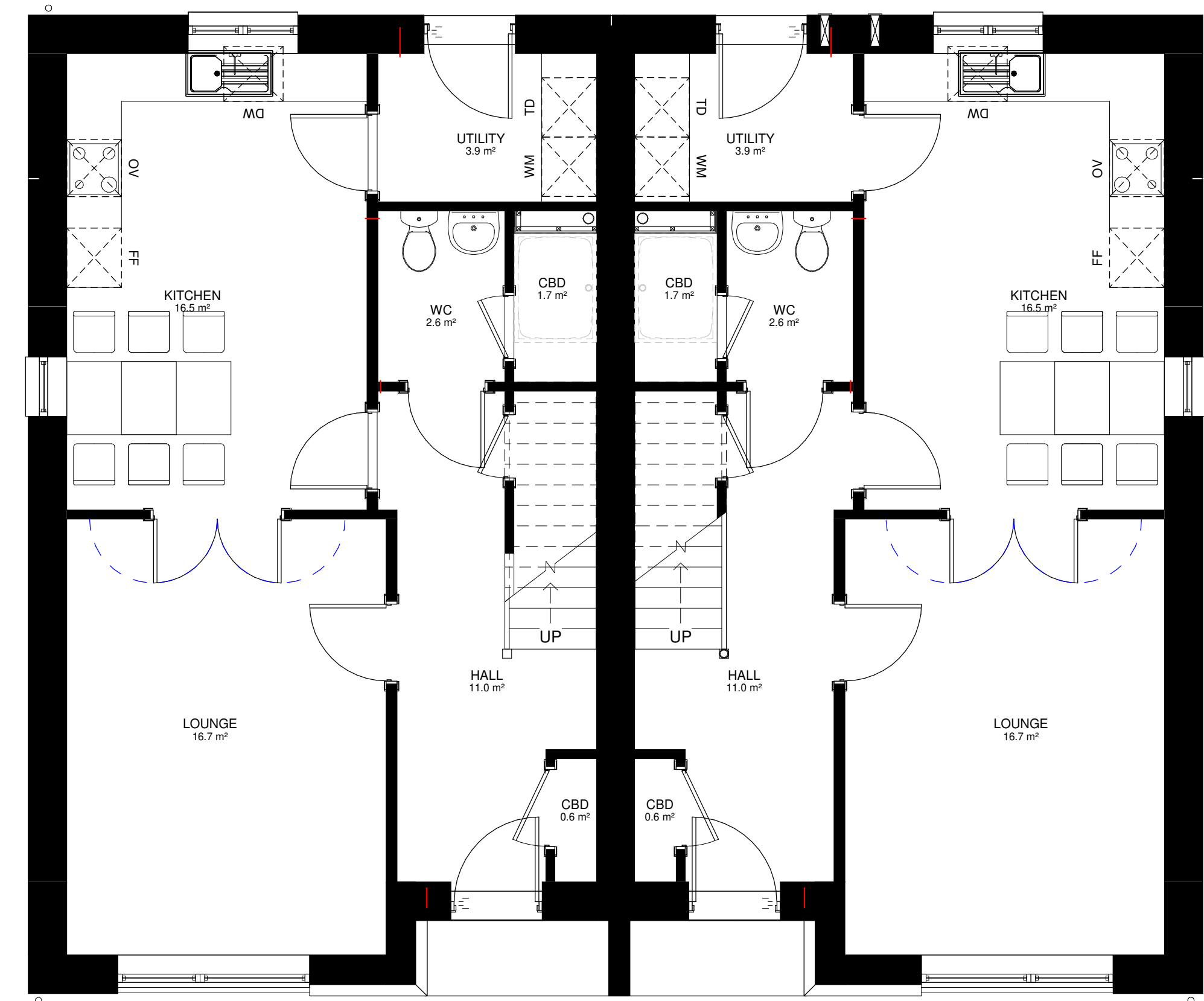
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FF - PLANNING

1 : 50



GF - PLANNING

1 : 50



ENTRANCE ELEVATION.

1 : 100



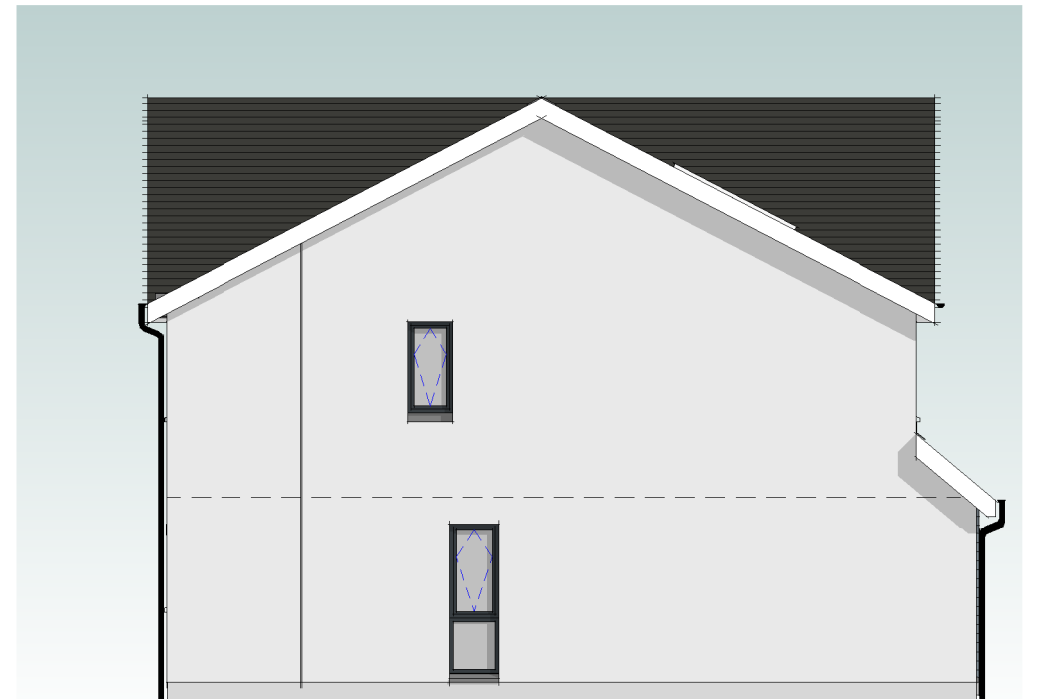
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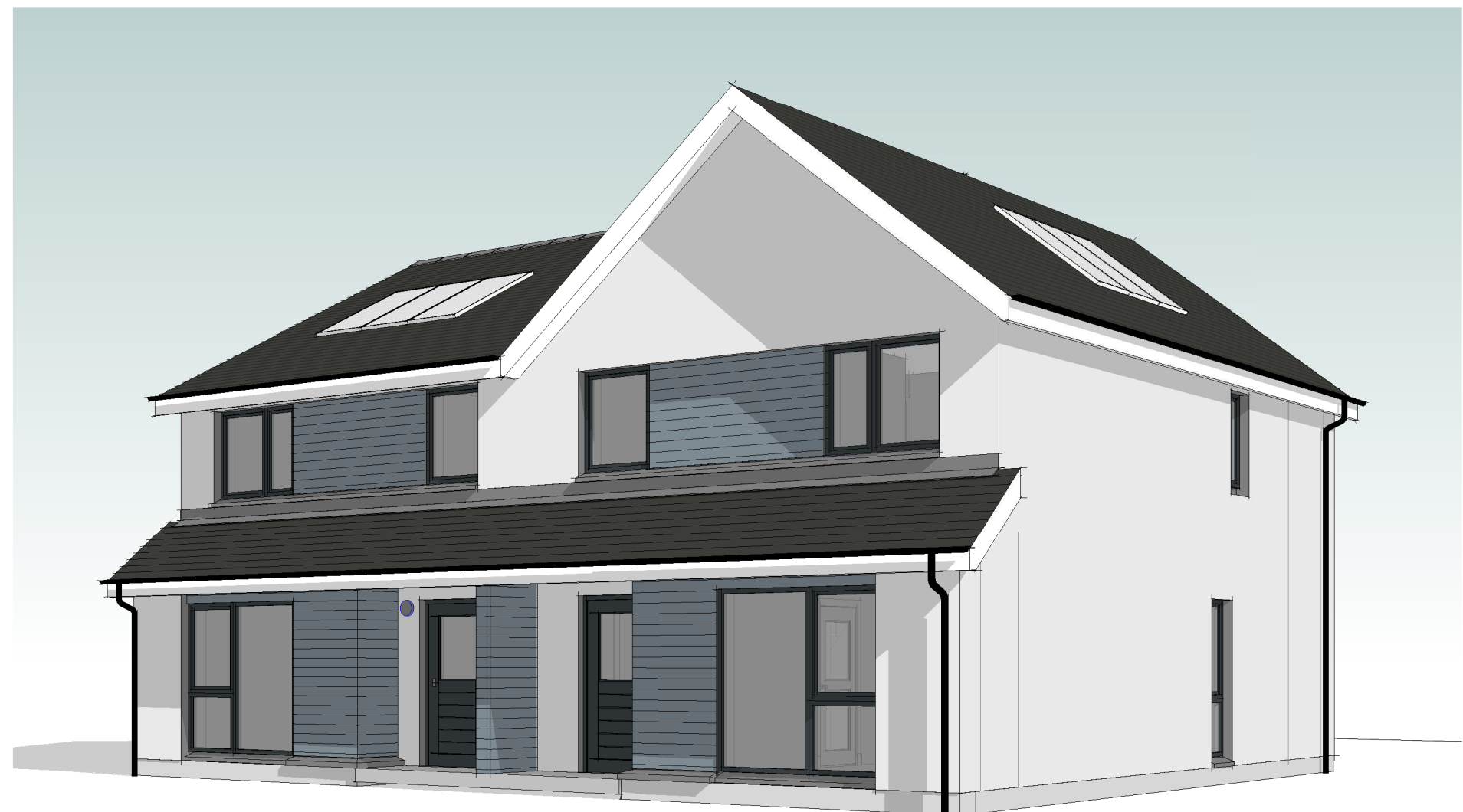
REAR ELEVATION.

1 : 100



SIDE ELEVATION 2.

1 : 100



- FINISHES -
- GREY CONCRETE ROOF TILES.
  - GREY ALUCLAD WINDOWS.
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  - BLACK UPVC GUTTERS AND DOWNPIPES.
  - WHITE UPVC FASCIAS AND SOFFITS.

0 1 2 3 4 5  
GRAPHIC SCALE: 1:100

0 1 2 3 4 5  
GRAPHIC SCALE: 1:50

Rev	Date	Planning	Details	GD	MP
P01	2024	Planning		GD	MP

Issued for:		<b>PLANNING</b>	
Project/Client:		Project No:	
ALBYN HOUSING SOCIETY		RZ3024-0010-00	
ALDI SITE - TAIN		Dwg No:	
		AST-NOR-XX-XX-DR-A-8000	
		Rev:	
		P01	
Drawing:		Scale:	
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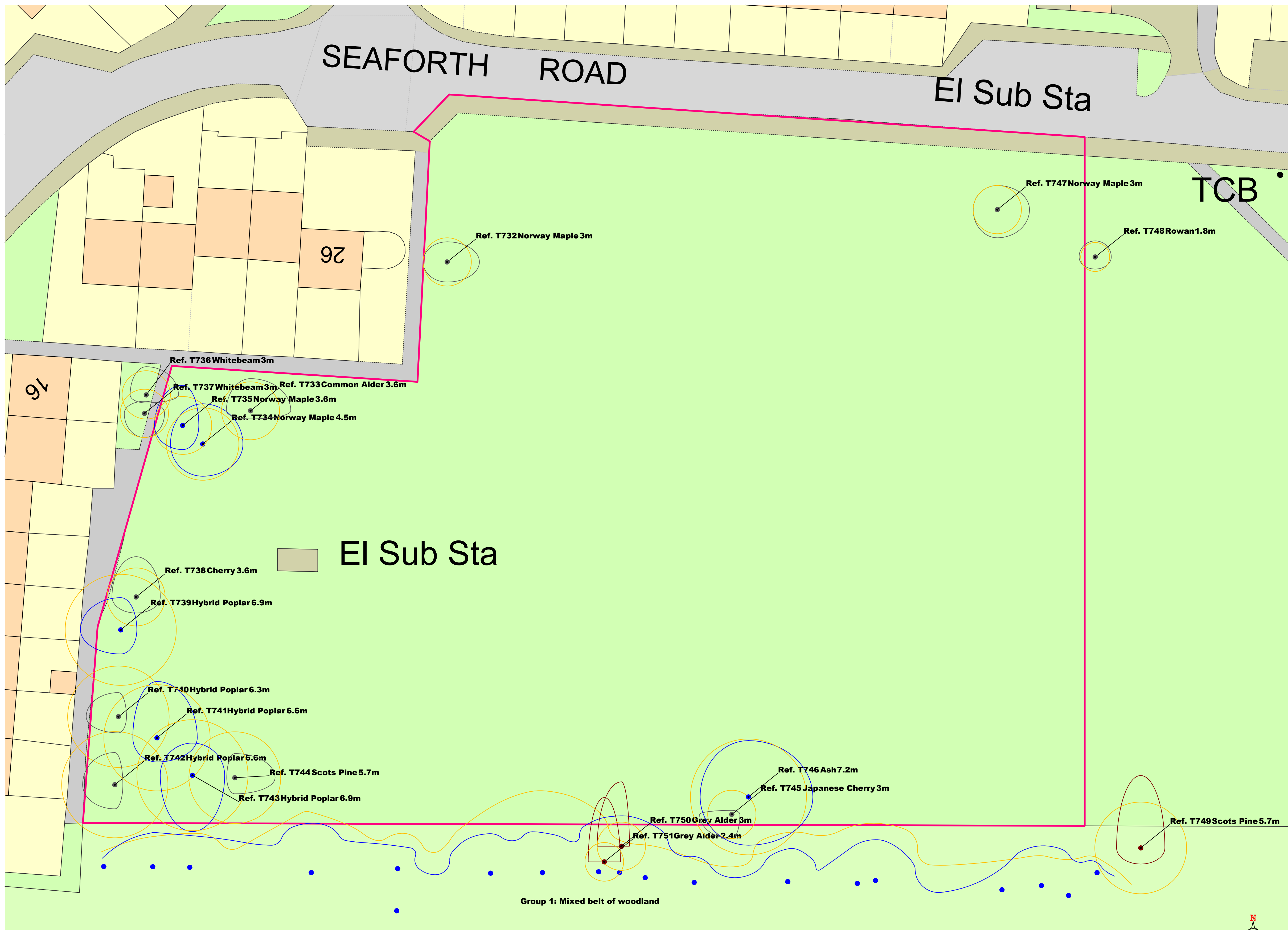
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# Tree Constraints Plan



General Notes

**KEY**

- Tree Reference, Common Name and Root Protection Area radius
- Ref: T001 Silver Birch 2.3m
- Stem
- Tree Canopy
- Root Protection Area (RPA)

Colours are in accordance with BS5837:2012 quality grading:

- Red: Unsuitable for retention
- Grey: Low quality
- Blue: Moderate quality
- Green: High quality

Root Protection Area (RPA): The minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority (BS5937:2012)

Group of trees

Site Boundary

Tree survey performed by Callum McCutcheon  
BSc (Hons) M.Arbor.A on 12.04.2024

Urban-Arb LLP  
Arboricultural Consultants

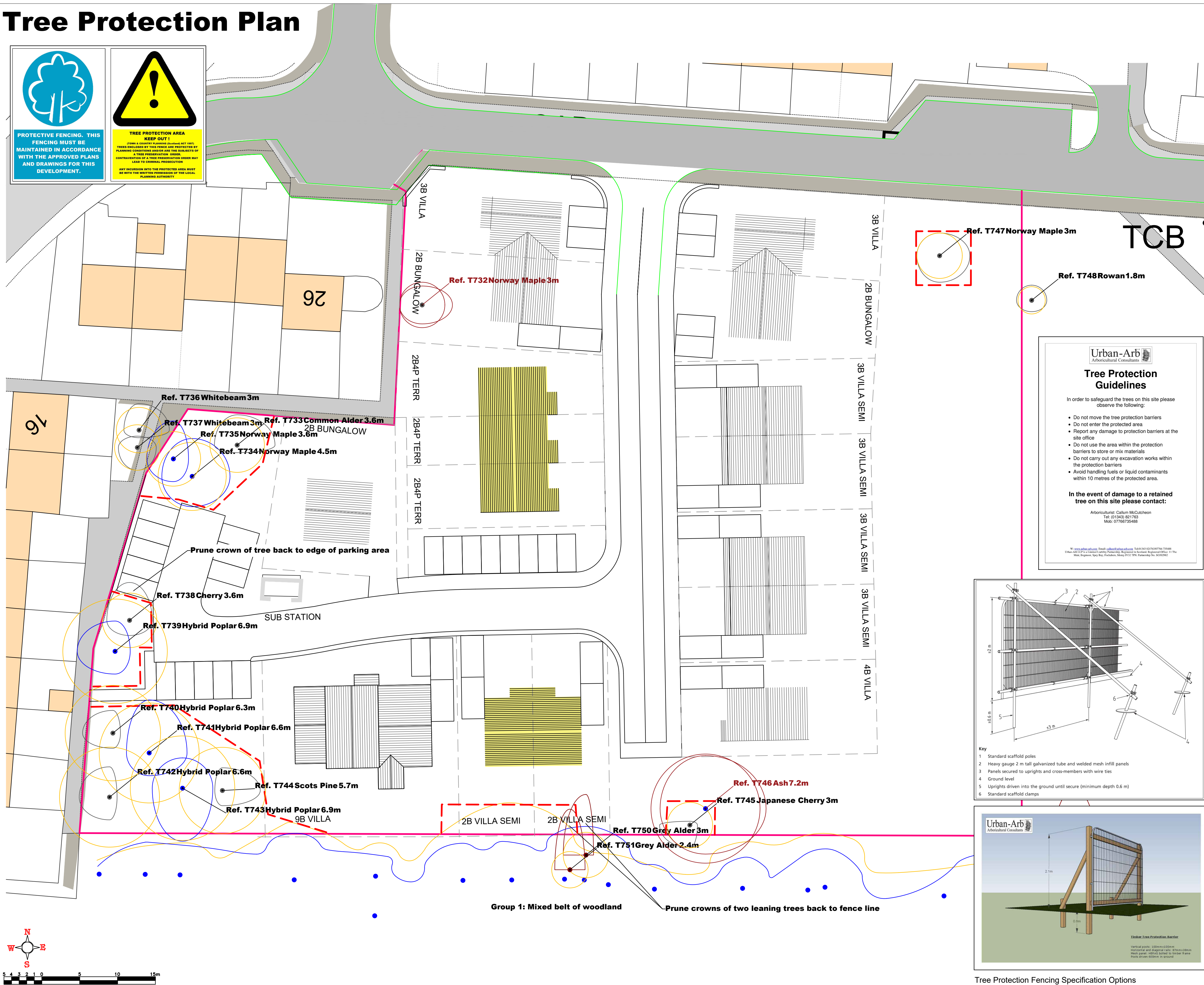
No.	Revision/Issue	Date

Firm Name and Address  
Urban-Arb LLP  
Dolphin Cottage  
11 The Muir  
Bogmoor  
Spey By  
Fochabers  
Moray IV32 7PN  
www.urban-arb.com

Project Name and Address  
**Site adjacent to Seaforth Road  
Tain**

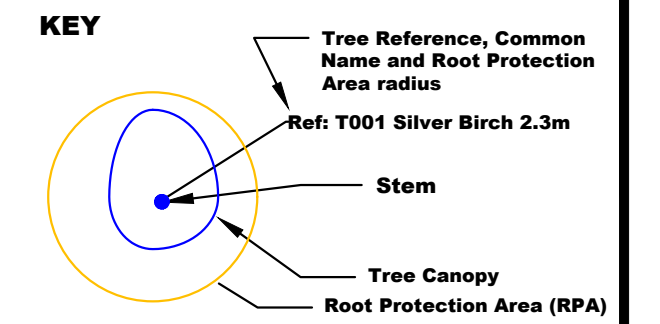
Project <b>TREE CONSTRAINTS PLAN</b>	Sheet <b>001</b>
Date <b>14.04.2024</b>	
Scale <b>1:250@A1</b>	





### General Notes

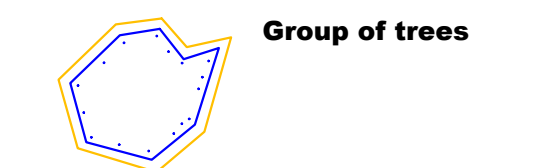
## KEY



**Colours are in accordance with  
BS5837:2012 quality grading:**

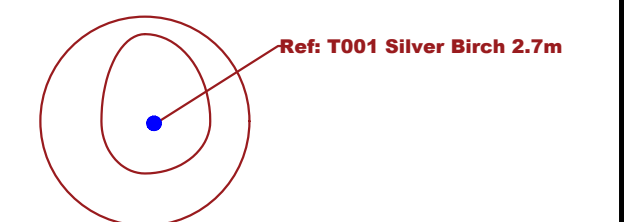
**Red: Unsuitable for retention**  
**Grey: Low quality**  
**Blue: Moderate quality**  
**Green: High quality**

**Root Protection Area (RPA):** The minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority (BS5937:2012)



**Site Boundary**

**TREE TO BE REMOVED**



**--- Tree Protection Fencing**

Urban-Arb 

## Tree Protection Guidelines

In order to safeguard the trees on this site please observe the following:

- Do not move the tree protection barriers
- Do not enter the protected area
- Report any damage to protection barriers at the site office
- Do not use the area within the protection barriers to store or mix materials
- Do not carry out any excavation works within the protection barriers
- Avoid handling fuels or liquid contaminants within 10 metres of the protected area.

**In the event of damage to a retained tree on this site please contact:**

Arboriculturist: Callum McCutcheon  
Tel: (01343) 821763  
Mob: 07786735488

Tree survey performed by Callum McCutcheon  
BSc (Hons) M.Arbor.A on 12.04.2024

**Urban-Arb<sup>LLP</sup>**  
Arboricultural Consultants 

No.	Revision/Issue	Date

Firm Name and Address

**Urban-Arb LLP**  
**Dolphin Cottage**  
**11 The Muir**  
**Bogmoor**  
**Spey By**  
**Fochabers**  
**Moray IV32 7PN**  
**www.urban-arb.com**



Project Name and Address

**Site adjacent to Seaforth Road  
Tain**

Project

### TREE PROTECTION PLAN

Date  
**14.04.2024**

Scale  
**1:250@A1**

Sheet

002



TYPICAL MANHOLE DETAIL – TYPE B1  
Scale 1:20

First joint to be close to manhole base as possible. This should not exceed a clear 100mm from concrete base and must not be encased in the concrete base

Pipe joint with channel to be located min 50mm inside face of manhole

Minimum width of benching to be 500mm

First joint to be close to manhole base as possible. This should not exceed a clear 100mm from concrete base and must not be encased in the concrete base

See specification SFS4 clause 4.6.6.2 for rocker pipe details

Minimum width of benching to be 225mm

SECTIONAL PLAN A - A

Scale 1:20

Manhole covers to be class D400-N heavy duty double triangular with 675x675 clear opening, kite marked to BS EN124 and stamped 'SW' covers

FGL

Pull handle

1.50m Ø CHAMBER

250mm Deep sump

INLET

Outlet

75mm Thick prescribed concrete mix ST2 blinding

Minimum 200mm thick C30P/20 concrete base

HYDRO-BRAKE OPTIMUM With pivoting by-pass door, fitted over square opening in division wall.

Diagram illustrating the construction of a restricted access shaft for depths greater than 1.2m. The shaft is constructed using a 450mm  $\phi$  plastic inspection chamber riser piece and a 450mm  $\phi$  plastic inspection chamber base section. The shaft is surrounded by 150mm thick as-dug material with no stone size bigger than 40mm. The shaft is covered and framed with 350mm  $\phi$  restricted access shaft for depths greater than 1.2m. The shaft is installed in a 100mm P bedding layer. The diagram also shows the FGL (Finished Ground Level) and the 100mm P bedding layer.

[illegible]

- 1 Multiple ductile iron cover and frame shall be Stanton pipe "Briton" Type H2DN or similar
- 2 approved to BS EN 124 Class D400. Frames shall have a minimum clear opening of 1220mm x
- 3 685mm and be bedded on a minimum of 12mm of Mortar Designation (i) to Clause 2404 of
- 4 the Specification.
- 5 225mm Class B engineering brickwork to Clause 2406 of the Specification. Precast concrete
- 6 units surrounded with concrete Mix S14 to give a total thickness of 225mm, may be used as an
- 7 alternative.
- 8 25mm min. granolithic concrete rendering. The concrete to compose of 1 part
- 9 cement, 3 parts of granolithic all-in aggregate BS 882:1992 by volume and mixed in an
- 10 approved manner. The surface of the concrete benching is to be mixed in an approved manner.
- 11 The surface of the concrete benching is to be brushed free from dirt and thoroughly soaked with
- 12 water, the rendering shall then be spread over the surface and screeded to a uniform surface,
- 13 floated with a wooden float and trowelled with a steel trowel. Curing to be carried out for 7
- 14 days. Fall to soffit of pipe to be not less than 1:30 and not more than 1:10. All benching to be
- 15 to orientation of pipe runs with side connections turned towards direction of flow.
- 16 Pipes built into chamber walls and rocker pipes to Clause 507.15 of the Specification. See
- 17 Note e for length of rocker pipes.
- 18 Mix S14 to Clause 2602 of the Specification concrete foundation and benching Gradient of
- 19 benching to be not less than 1:30 and not more than 1:10.
- 20 Galvanised mild steel step iron at 300mm centres vertically.
- 21 Arch over pipe.
- 22 Inverts to be constructed using preformed half circle channels.
- 23 Pipe joint with channel to be located inside face of chamber.
- 24 Class 1 mortar haunching to cover and frame.
- 25 Brickwork corbelled to suit cover.
- 26 Steel mesh to BS4483 reference A252, 40mm cover.

Notes:

- a. Chamber width should be increased for pipes larger than 225mm dia. to give 225mm benching each side with the brickwork corbelled down to suit cover.
- b. Manhole covers and frames shall be marked with the following initials:-  
Foul manholes -FW  
Surface water manholes -SW  
Highway drainage manholes -HD
- e. The length of rocker pipes are to be in accordance with the table below:-

Nominal Diameter (mm)	Effective Length (m)
150 to 600	0.6
675 to 750	1.0
825 and over	1.25

1. Concrete mix ST4 to Clause 2602 of the Specification.
2. Concrete mix ST2 to Clause 2602 of the Specification.
3. Pipe bedding material to Clause 503.3(i) of the Specification evenly compacted.
4. Class 8 lower trench fill to Clause 503.3(iv) of the Specification compacted by hand
5. Accessible material (Class 1, 2 or 3) compacted to Clause 505 of the Specification unless specified otherwise.
6. Pipe bedding material to Clause 503.3(ii) of the Specification.

NOTES:

- A. All dimensions are in millimetres.
- B. Dimension x is the external diameter of the pipe.
- C. The specified width of the concrete arch in bed Type A is not to be exceeded.
- D. For Type 2 trench the concrete cover may be formed to a radius, batter or horizontal surface. Minimum cover of concrete shall be 150mm.
- E. For trench Types A and Z flexible construction joints are to be formed in the concrete to coincide with each pipe joint with preformed joint filler to Clause 1015 of the Specification. Thickness of filler board to be 25mm.
- F. The minimum and maximum trench widths are as follows:
- Minimum =  $x + 300$
- Maximum =  $x + 600$

For measurement purposes the volumes of hard breakout or imported backfill to trenches shall be calculated using the mean of the minimum and maximum trench widths.

ACO channel drain system or equally approved with minimum load class D400 grating. Installed per manufacturer's specification

Channel Depth

C20/25 to BS EN-206:2013 concrete bed and haunch

Formation and sidefill

35

70

200

200

Channel drain concrete bed and haunch dimensions may vary depending on channel drain type. Refer to manufacturer's specification.

Grade D400 Cover & Frame to Comply with BS EN 124 and Set 6mm Below Road Surface.

Two Courses Class B Engineering Brick Bedded on Class (i) Mortar.

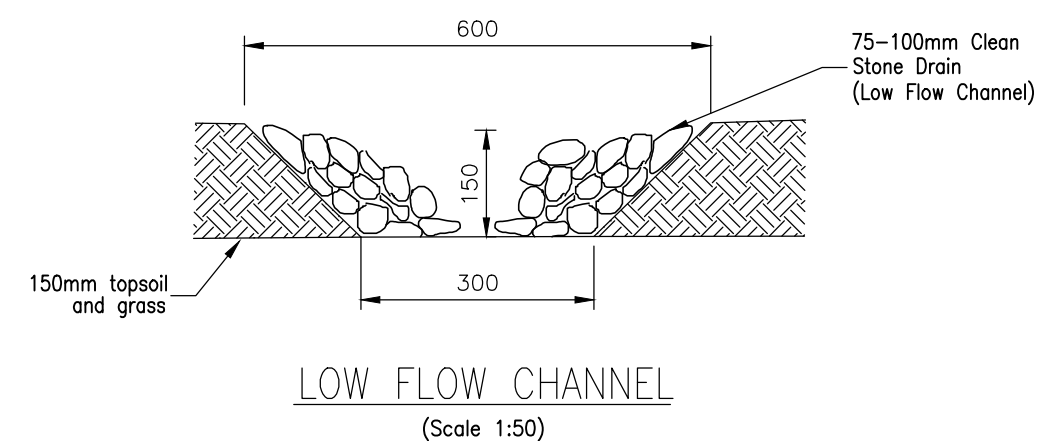
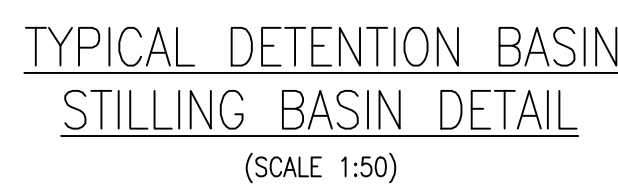
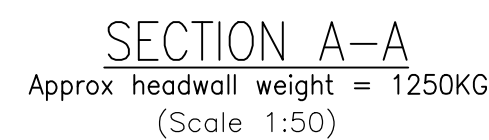
Gully Pot to be 510mm Dia. Minimum with 150mm Outlet Built in Accordance with Manufacturers Instructions

150mm Concrete Surround to Outlet Pipe and Pot

Gully Connection Surrounded with 150mm Thick Concrete to 1m Below Finished Road Level

1000





Do not scale from this drawing.
SAFETY HEALTH AND ENVIRONMENTAL INFORMATION
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.
<u>CONSTRUCTION:</u>
HIGH VOLTAGE 11KV UNDERGROUND CABLES WITHIN VICINITY OF SITE.
<u>DEMOLITION:</u>
NONE THAT WOULD NOT BE APPARENT TO A COMPETENT CONTRACTOR
FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Rev.	Date	Description	Drawn	Checked	Approved

Notes:
1. Refer to Fairhurst drawings 159326/2000 for drainage layout plan.
2. Refer to Fairhurst drawing 159326/2002 for drainage construction details sheet 1.

Client:	
---------	--



Project Title:  
20 HOUSING UNITS  
ALDI SITE  
TAIN

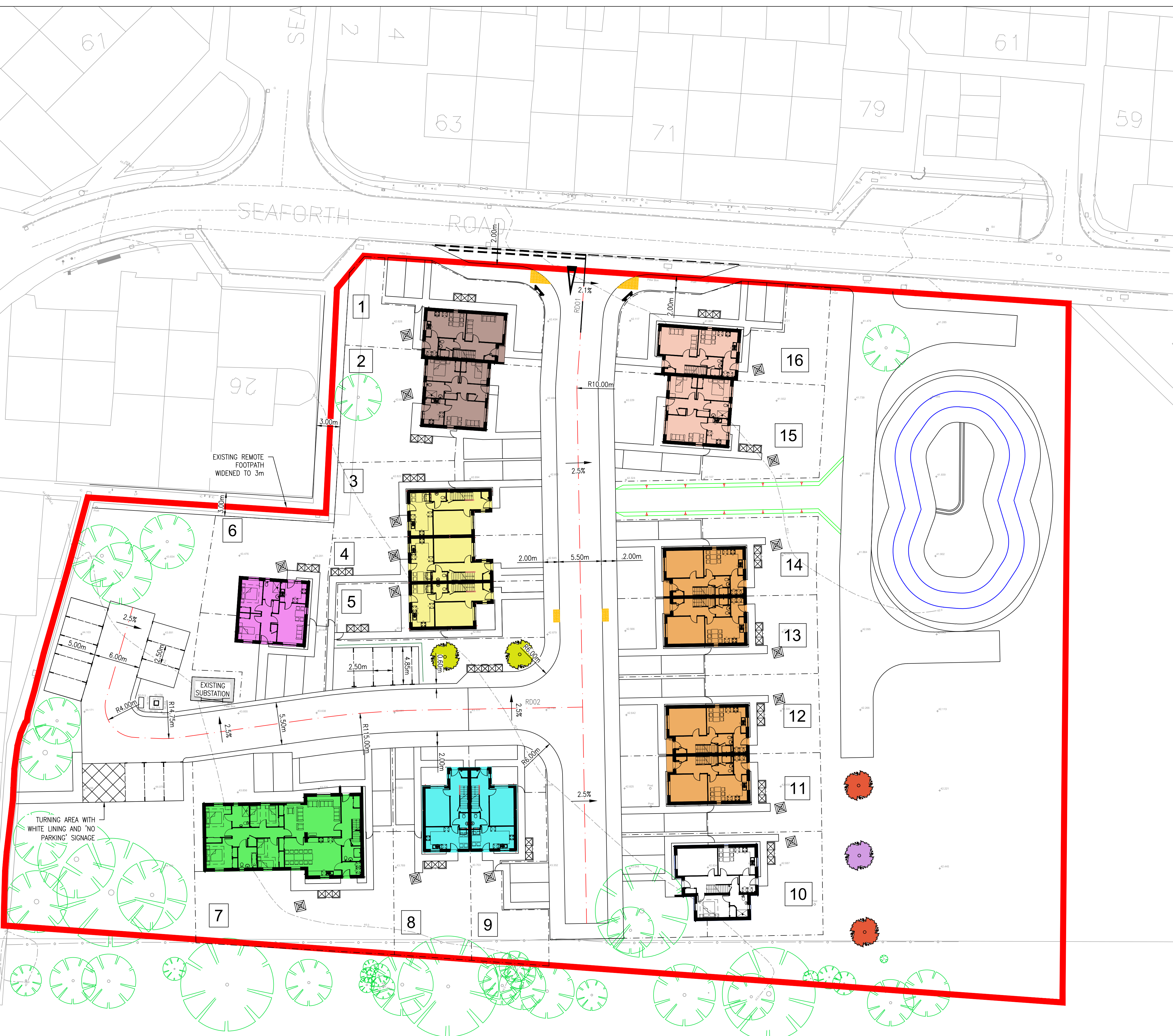
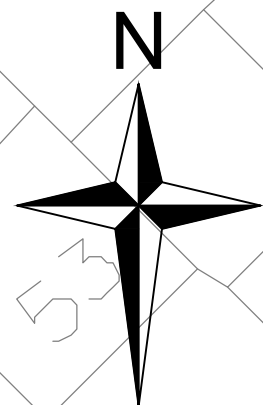
Drawing Title:  
DRAINAGE CONSTRUCTION DETAILS  
SHEET 2 OF 2



Elvie House,  
Beechwood Business Park, INVERNESS, N2 3BW  
Tel: 01463 724 544 Fax: 0844 381 4412

Scale at A1: As Shown		Status: Planning	
Drawn: SWM	Checked: RMS	Approved: DE	
Date: 27/06/24	Date: 27/06/24	Date: 27/06/24	
Drawing No.: 159326/2003			Revision: —





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RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

**CONSTRUCTION:**  
HIGH VOLTAGE 11KV UNDERGROUND CABLES WITHIN VICINITY OF SITE.

**DEMOLITION:**  
NONE THAT WOULD NOT BE APPARENT TO A COMPETENT CONTRACTOR

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

**NOTES:**

- DO NOT SCALE FROM THIS DRAWING.
- ALL DIMENSIONS ARE IN METRES UNLESS SPECIFIED OTHERWISE.
- FOR CLARITY THIS DRAWING SHOULD ONLY BE PRINTED AND READ IN COLOUR.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND ENGINEERING DRAWINGS, DETAILS AND SPECIFICATIONS.
- UNDERGROUND SERVICES MUST BE LOCATED IN ACCORDANCE WITH HEALTH AND SAFETY EXECUTIVE GUIDANCE NOTE HSG 47.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO WORK COMMENCING SHOULD THEY NOTE ANY DISCREPANCIES OR REQUIRE CLARIFICATION ON ANY ASPECT OF THE DESIGN.

**LEGEND:**

- SITE BOUNDARY
- TACTILE BLISTER PAVING
- STREET NAME PLATE

Rev.	Date	Description	Drawn	Chkd.	Appd.
D	11/06/24	SLOPS BASIN ROTATED TO SUIT. DRAWING UPDATED TO SUIT REVISED ARCHITECTS LAYOUT.	JD	RL	DE
C	08/06/24	BASIN TRACK AMENDED AND EMERGENCY SPILL ROUTE ADDED. DRAWING UPDATED TO SUIT REVISED ARCHITECTS LAYOUT.	RL	DE	DE
B	07/07/24	DRAWING STATUS UPDATED TO APPROVAL.	GM	RL	DE
A	18/07/24	ARCHITECT'S LAYOUT HAS BEEN UPDATED, DRAWING STATUS UPDATED TO TENDER AND SLOPS BASIN ROTATED.	GM	RMS	DE

**FAIRHURST**

Elvie House  
Beechwood Business Park  
WINGERSHAW  
M2 3BW

Tel: 01463 724 544  
Fax: 0844 381 4412

Client:

**albyn**  
Housing Society  
building homes...supporting communities

Project Title:  
**20 HOUSING UNITS  
ALDI SITE  
TAIN**

Drawing Title:  
**ROAD LAYOUT PLAN**

Scale at A1:	Status:	Approval
1:250	Checked:	Approved:
Drawn: GM	Checked: RMS	Approved: DE
Date: 14/06/24	Date: 21/06/24	Date: 27/06/24
Drawing No.: 159326/1001	Revision:	D





Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:  
HIGH VOLTAGE 11KV UNDERGROUND CABLES WITHIN VICINITY OF SITE.

DEMOLITION:  
NONE THAT WOULD NOT BE APPARENT TO A COMPETENT CONTRACTOR

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Notes:

1. Do not scale from this drawing.

2. All dimensions are in metres unless specified otherwise.

3. For clarity this drawing should only be printed and read in colour.

4. This drawing is to be read in conjunction with all architectural and engineering drawings, details and specifications.

5. The contractor is responsible for checking the line and level of existing services prior to the commencement of works. Any discrepancies from design information must be reported to the Site Manager and Site Engineer in writing.

LEGEND:

ROADS TO BE ADOPTED

FOOTWAYS TO BE ADOPTED

VERGE TO BE ADOPTED

C	11/06/24	SUDS BASIN ROTATED. BASIN TRACK AMENDED AND EMERGENCY SPILL ROUTE ADDED. DRAWING UPDATED TO SUIT REVISED ARCHITECTS LAYOUT.	FH	RL	DE
B	13/07/24	DRAWING STATUS UPDATED TO APPROVAL.		RL	DE
A	18/07/24	ARCHITECT'S LAYOUT HAS BEEN UPDATED, ADOPTION AREAS AMENDED TO SUIT AND SUDS BASIN ROTATED.	GM	RL	DE
Rev.	Date	Description	Drawn	Chkd.	Appd.

FAIRHURST

Elvie House  
Beechwood Business Park  
WINGNESS  
W2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

albyn

Housing Society

building homes...supporting communities

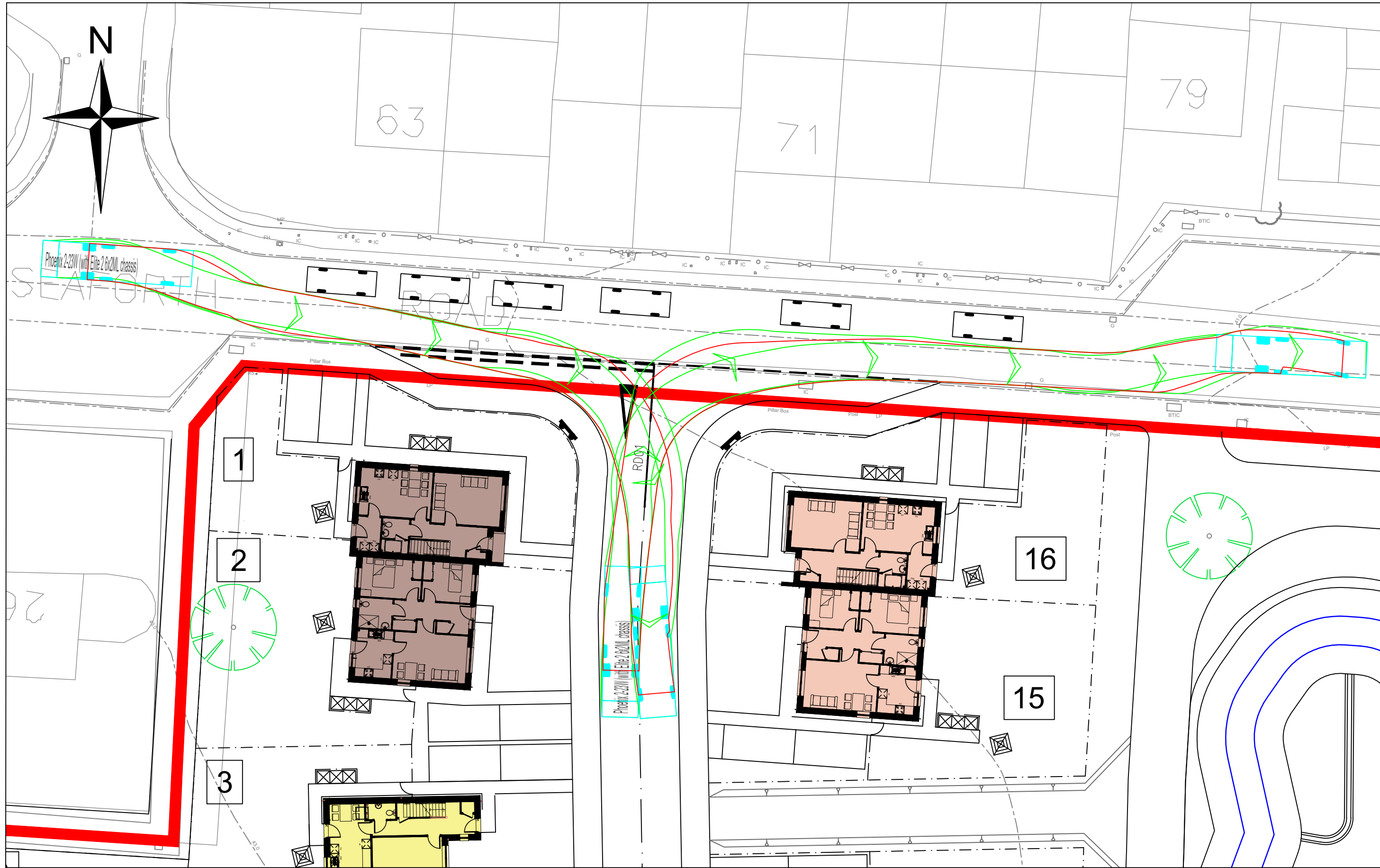
Client:

Project Title:  
20 HOUSING UNITS  
ALDI SITE  
TAIN

Drawing Title:  
ADOPTION AREAS

Scale at A1: 1:200	Status: APPROVAL	Approved:
Drawn: GM	Checked: RMS	DE
Date: 14/06/24	Date: 21/06/2024	Date: 27/06/24
Drawing No.: 159326/1002	Revision: C	





REFUSE VEHICLE ENTERING IN FROM THE WEST AND EXISTING TO THE EAST



PICKUP TRUCK TURNING IN CAR PARKING AREA



REFUSE VEHICLE ENTERING IN FROM THE EAST AND EXISTING TO THE WEST



REFUSE VEHICLE TURNING IN JUNCTION

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:  
HIGH VOLTAGE 11KV UNDERGROUND CABLES WITHIN VICINITY OF SITE.

DEMOLITION:  
NONE THAT WOULD NOT BE APPARENT TO A COMPETENT CONTRACTOR

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

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LEGEND:

— SITE BOUNDARY

Phoenix 2-23W (with Elite 2x2ML chassis)  
Overall Length 10.520m  
Overall Width 2.530m  
Overall Body Height 3.211m  
Min Body Ground Clearance 0.416m  
Track Width 2.530m  
Lock to lock time 4.00s  
Kerb to Kerb Turning Radius 10.250m

Pickup Truck  
Overall Length 5.040m  
Overall Width 1.750m  
Overall Body Height 1.515m  
Min Body Ground Clearance 0.289m  
Track Width 1.710m  
Lock to lock time 4.00s  
Kerb to Kerb Turning Radius 5.900m

Rev.	Date	Description	Drwn.	Chkd.	Appd.
C	11/06/24	SUDS BASIN ROTATED TO SUIT.	JD	RL	DE
B	13/06/24	DRAWING UPDATED TO SUIT REVISED ARCHITECTS LAYOUT. ADDITIONAL VEHICLE TRACKINGS INCLUDED TO ADDRESS THE TRANSPORT PLANNING COMMENTS.	RL	DE	DE
A	07/11/24	ARCHITECT'S LAYOUT HAS BEEN UPDATED, SUDS BASIN ROTATED AND DRAWING STATUS AMENDED TO APPROVAL.	GM	RL	DE

**FAIRHURST**

Elvie House  
Beechwood Business Park  
WINGERS  
W2 3BW

Tel: 01463 724 544  
Fax: 0844 381 4412

**albyn**  
Housing Society  
building homes...supporting communities

Project Title:  
20 HOUSING UNITS  
ALDI SITE  
TAIN

Drawing Title:  
VEHICLE TRACKING PLAN

Scale at A1: 1:250	Status: Approval	Approved:
Drawn: GM	Checked: RMS	DE
Date: 14/06/24	Date: 21/06/24	Date: 27/06/24
Drawing No.: 159326/1003	Revision: C	









Do not scale from this drawing.

**SAFETY HEALTH AND ENVIRONMENTAL INFORMATION**

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**CONSTRUCTION:**  
HIGH VOLTAGE 11KV UNDERGROUND CABLES WITHIN VICINITY OF SITE.

**DEMOLITION:**  
NONE THAT WOULD NOT BE APPARENT TO A COMPETENT CONTRACTOR

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

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**LEGEND:**

— SITE BOUNDARY

D	11/06/24	SUDS BASIN ROTATED, DRAWING UPDATED TO SUIT REVISED ARCHITECTS LAYOUT AND SCALE UPDATED TO 1:250	FH	RL	DE
C	10/06/24	BASIN TRACK AMENDED AND EMERGENCY SPILL ROUTE ADDED.	FH	RL	DE
B	07/06/24	DRAWING STATUS UPDATED TO APPROVAL.	GM	RL	DE
A	18/06/24	ARCHITECT'S LAYOUT HAS BEEN UPDATED, DRAWING STATUS UPDATED TO TENDER AND SUDS BASIN ROTATED.	GM	RMS	DE
Rev.	Date	Description	Drawn	Chkd.	Appd.

**FAIRHURST**

Elvie House  
Beechwood Business Park  
WINGERS  
W2 3BW

Tel: 01463 724 544  
Fax: 0844 381 4412

**albyn**  
Housing Society  
building homes...supporting communities

Project Title:

20 HOUSING UNITS  
ALDI SITE  
TAIN

Drawing Title:

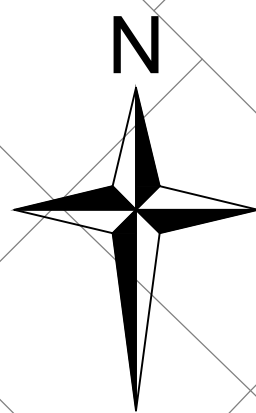
ROAD & CAR PARK LEVELS PLAN

Scale at A1: 1:250	Status: Approval	
Drawn: GM	Checked: RMS	Approved: DE
Date: 14/06/24	Date: 21/06/24	Date: 27/06/24
Drawing No.: 159326/1005	Revision: D	









Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

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CONSTRUCTION:  
HIGH VOLTAGE 11KV UNDERGROUND CABLES WITHIN VICINITY OF SITE.

DEMOLITION:  
NONE THAT WOULD NOT BE APPARENT TO A COMPETENT CONTRACTOR

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

NOTES:

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND ENGINEERING DRAWING.
- ONLY WRITTEN DIMENSIONS ARE TO BE USED. DO NOT SCALE FROM THIS DRAWING.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN METRES.
- DO NOT SCALE FROM THIS DRAWING.
- ALL DIMENSIONS ARE IN METRES UNLESS SPECIFIED.
- FOR CLARITY THIS DRAWING SHOULD ONLY BE PRINTED AND READ IN COLOUR.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND ENGINEERING DRAWINGS, DETAILS AND SPECIFICATIONS.
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- ALL SEWERS AND MANHOLE TO BE LAID AND CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND, 4TH EDITION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID CAUSING ANY DAMAGE TO, OR INTERFERENCE WITH FLOW IN, EXISTING PUBLIC SEWERS AND SHALL ENSURE THAT DEBRIS, SILT AND MUD, ETC., DO NOT ENTER THE SEWER.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO WORK COMMENCING SHOULD THEY NOTE ANY DISCREPANCIES OR REQUIRE CLARIFICATION ON ANY ASPECT OF THE DESIGN.
- REFER TO FAIRHURST DRAWING 159326/2001 FOR THE FLOOD ROUTING PLAN.

LEGEND:

- EXISTING SURFACE WATER SEWER
- EXISTING FOUL WATER SEWER
- EXISTING COMBINED WATER MANHOLE
- SURFACE WATER SEWER
- FOUL WATER SEWER
- SURFACE WATER MANHOLE
- FOUL WATER MANHOLE
- SURFACE DISCONNECTION CHAMBERS
- FOUL DISCONNECTION CHAMBERS
- ROAD GULLY
- SITE BOUNDARY

Rev.	Date	Description	Drwn.	Chkd.	Appd.
H	11/06/23	SUDS BASIN ROTATED.	JD	RL	DE
D	16/07/23	SCALE UPDATED TO 1:250.	FH	RL	DE
F	19/06/23	NOTE ADDED TO FLOOD ROUTING LANE BETWEEN PLOTS 14 & 15 AS PER DISCUSSIONS WITH SCOTTISH WATER	JD	RL	DE
E	13/03/23	BASIN TRACK AMENDED AND EMERGENCY SPILL ROUTE ADDED.	FH	RL	DE
D	07/07/23	LAYOUT AMENDED AS PER SCOTTISH WATER COMMENTS.	JD	RL	DE
C	20/01/23	SUDS BASIN WATER LEVEL AND DEEP DEPRESSION ADDED.	GM	RL	DE
B	07/11/24	DRAWING STATUS UPDATED TO APPROVAL.	GM	RL	DL
A	18/10/24	ARCHITECT'S LAYOUT HAS BEEN UPDATED, DRAINAGE LAYOUT AMENDED TO SUIT, DRAWING STATUS UPDATED TO TENDER AND SUDS BASIN ROTATED.	GM	RMS	DE

**FAIRHURST**

Elvie House  
Beechwood Business Park  
WINGNESS  
M2 3BW  
Tel: 01463 724 544  
Fax: 0844 381 4412

albyn  
Housing Society  
building homes...supporting communities

Project Title:  
20 HOUSING UNITS  
ALDI SITE  
TAIN

Drawing Title:  
DRAINAGE LAYOUT PLAN

Scale at A1:	Status:		
1:250	For Approval		
Drawn: GM	Checked: RMS	Approved: DE	
Date: 14/06/24	Date: 21/06/24	Date: 27/06/24	
Drawing No.: 159326/2000	Revision:		H





Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

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**CONSTRUCTION:**  
HIGH VOLTAGE 11KV UNDERGROUND CABLES WITHIN VICINITY OF SITE.

**DEMOLITION:**  
NONE THAT WOULD NOT BE APPARENT TO A COMPETENT CONTRACTOR

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

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- REFER TO FAIRHURST DRAWING 159326/2000 FOR DETAIL DRAINAGE LAYOUT PLAN.

**LEGEND:**

- SITE BOUNDARY
- FLOOD ROUTING ARROW

G	11/06/24	SUDS BASIN ROTATED.	JD	RL	DE
F	16/06/24	SCALE UPDATED TO 1:250	FH	RL	DE
E	16/06/24	NOTE ADDED TO FLOOD ROUTING LANE BETWEEN PLOTS 14 & 15 AS PER DISCUSSIONS WITH SCOTTISH WATER	JD	RL	DE
D	11/06/24	BASIN TRACK AMENDED AND EMERGENCY SPILL ROUTE ADDED.	FH	RL	DE
C	17/06/24	LAYOUT AMENDED AS PER SCOTTISH WATER COMMENTS	RL	DE	DE
B	20/06/24	SUDS BASIN WATER LEVEL, DEEP DEPRESSION AREA AND FLOOD ROUTING ARROWS ADDED.	GM	RL	DE
A	07/07/24	ARCHITECT'S LAYOUT HAS BEEN UPDATED, DRAINAGE LAYOUT AMENDED TO SUIT, SUDS BASIN ROTATED AND DRAWING STATUS UPDATED TO APPROVAL.	GM	RL	DE
Rev.	Date	Description	Drwn.	Chkd.	Appd.

**FAIRHURST**

Elvie House  
Beechwood Business Park  
WINGNESS  
W2 3BW  
Tel: 01463 724 544  
Fax: 0844 361 4412

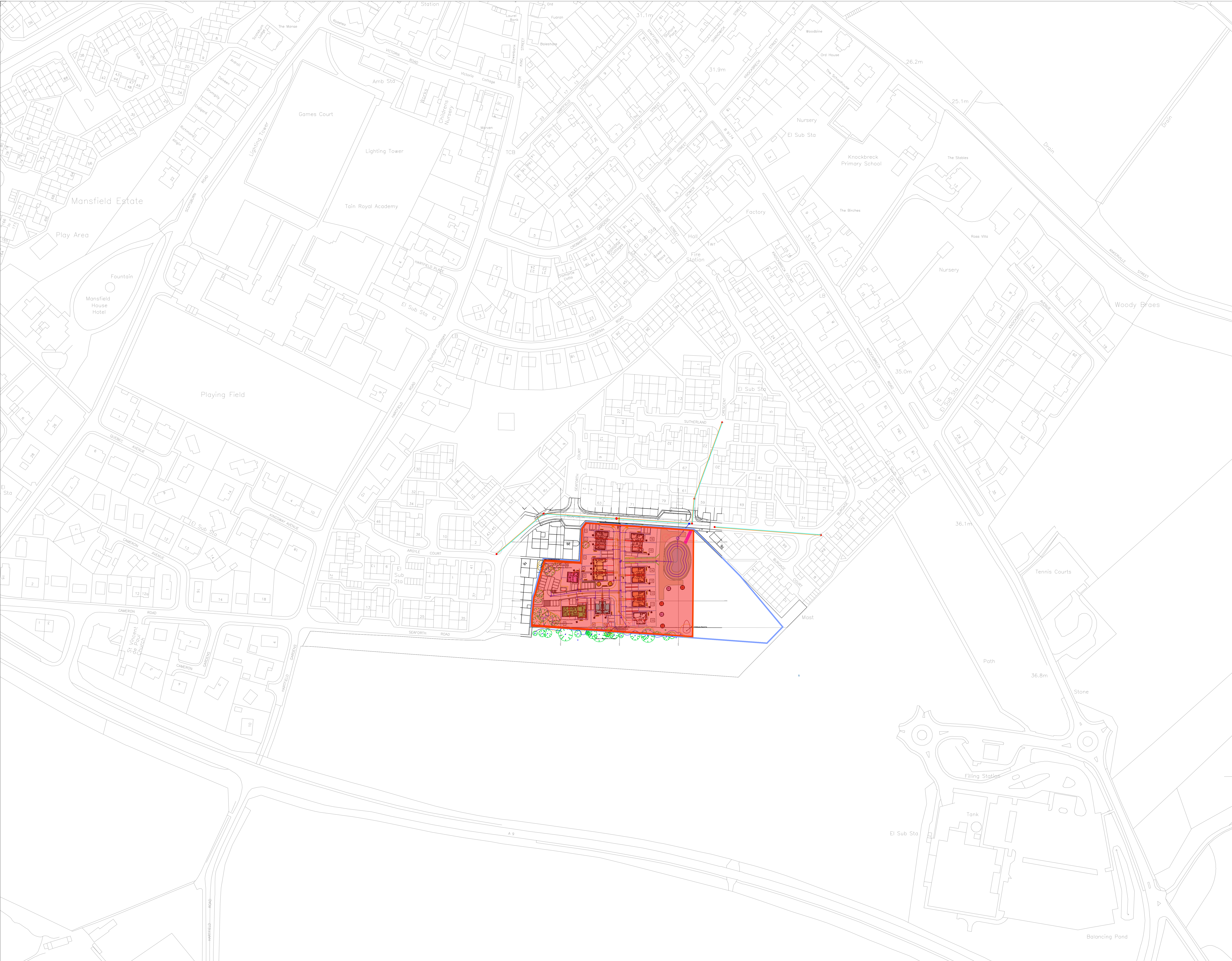
albyn  
Housing Society  
building homes...supporting communities

Project Title:  
20 HOUSING UNITS  
ALDI SITE  
TAIN

Drawing Title:  
FLOOD ROUTING PLAN

Scale at A1: 1:250	Status: For Approval	Approved:
Drawn: GM	Checked: RMS	DE
Date: 14/06/24	Date: 21/06/24	Date: 26/06/24
Drawing No.: 159326/2001	Revision:	G





PR6	23/05/23	PLANNING COMMENTS	MP	GD
PR6	24/05/23	WARRANT COMMENTS AND TENDER	MP	GD
PR6	24/05/23	TENDER	MP	GD
PR3	24/05/23	HTD2 AND HTD3 UPDATED	MP	GD
PR2	12/05/23	WARRANT STAGE ISSUE TO DESIGN TEAM	MP	GD
PR1	27/05/23	PLANNING APPLICATION	MP	GD
Rev	001	Drawn	Drawn	Checked

Issued for:

**TENDER**

Project/Client:  
**The Highland Council  
Seaforth Road  
Tain**

Project No:  
**RZ3024-0010**  
Dwg No:  
**AST-NOR-XX-XX-DR-A-0001**  
Rev:  
**P06**

Drawing:  
**Location Plan**

Scale:  
**1:1000 @A0**

Drawn By:  
**MP**

Checked By:  
**GD**

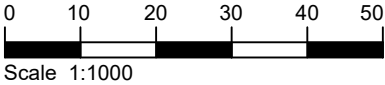
Date:  
**20/06/24**

Date:  
**20/06/24**





PLOT 1	3B5P SEMI	VILLA (WITH GF BEDROOM)	HT01	GIA = 106.0 Sq M
PLOT 2	2B3P SEMI	BUNGALOW		GIA = 64.40 Sq M
PLOT 3	2B4P TERR	VILLA	HT03	GIA = 88.2 Sq M
PLOT 4	2B4P TERR	VILLA		GIA = 88.2 Sq M
PLOT 5	2B4P TERR	VILLA		GIA = 88.2 Sq M
PLOT 6	2B3P DET	BUNGALOW	HT04	GIA = 64.4 Sq M
PLOT 7	9B15P DET	VILLA	HT05	GIA = 240.6 Sq M
PLOT 8	2B4P SEMI	VILLA	HT06	GIA = 88.2 Sq M
PLOT 9	2B4P SEMI	VILLA		GIA = 88.2 Sq M
PLOT 10	4B6P DET	VILLA	HT07	GIA = 128.9 Sq M
PLOT 11	3B5P SEMI	VILLA		GIA = 106.0 Sq M
PLOT 12	3B5P SEMI	VILLA	HT08	GIA = 106.0 Sq M
PLOT 13	3B5P SEMI	VILLA		GIA = 106.0 Sq M
PLOT 14	3B5P SEMI	VILLA	HT08	GIA = 106.0 Sq M
PLOT 15	2B3P SEMI	BUNGALOW		GIA = 64.40 Sq M
PLOT 16	3B5P SEMI	VILLA (WITH GF BEDROOM)	HT02	GIA = 106.0 Sq M
				TOT = 1639.7 Sq M



DATE	REVISION	REV	DRW	CHK
27/02/24	First issue.	P01	MP	GD
12/09/24	Warrant Stage issue to design team	P02	MP	GD
24/09/24	HT03 & HT06 Updated	P03	MP	GD
25/09/24	GIA Added	P04	MP	GD
10/03/25	Tender	P05	MP	GD
01/05/25	Warrant comments and tender	P06	MP	GD
23/06/25	Warrant comments and tender	P07	MP	GD

This drawing has been prepared solely for the use of **Albyn Housing Society** and there are no representations of any kind made by NORR Consultants Limited to any party with whom NORR Consultants Limited has not entered into a contract

This drawing must not be used, reproduced or revised without written permission.

This drawing shall not be used for construction purposes until the "CONSTRUCTION" status appears under the Sheet Status.

Constructors must only work to figured dimensions which are to be checked on site. Do not scale from hard copy drawings

**NORR**  
NORR Consultants Limited.  
An Ingenium International Company

Drawn MP	Date 02/05/24
Checked GD	Date 13/03/24

Project Name  
**Aldi Site Tain**

Drawing Title  
**Site Plan A3**

Scale  
**1:1000 @ A3**

Sheet Status  
**TENDER**

Project No.  
**RZ3024-0010-00**

Drawing No. AST-NOR-XX-XX-DR-A-0002	Rev. <b>P07</b>
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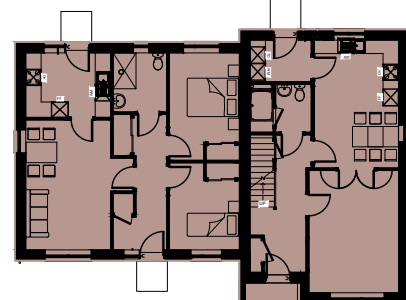
Landscaping Key

- Tarmac to engineers details
- Concrete Paving Slabs
- Species rich Seeded grass with Wildflowers
- Close Mown Grass areas (lawn seeded)
- Shared surface to engineers details
- SUDS Basin to engineers details
- Scots Pine
- Birch
- Oak
- Hedge
- 1800mm High Timber fencing
- 1800 to 900 Transition Timber fencing
- 900mm High Timber fencing
- Triprail
- 1800 high gate in fence min 850 clear opening.
- 900 high gate in fence min 850 clear opening.
- Bin Stores with 900mm timber fencing
- Bin Collection area
- Rotary drier

House Types

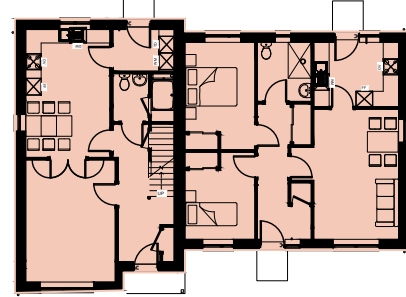
TYPE-01

HOUSE TYPE 01  
2B3P Bungalow  
+ 3B5P semi



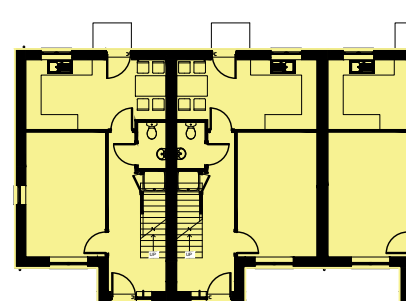
TYPE-02

HOUSE TYPE 02  
2B3P Bungalow  
+ 3B5P semi



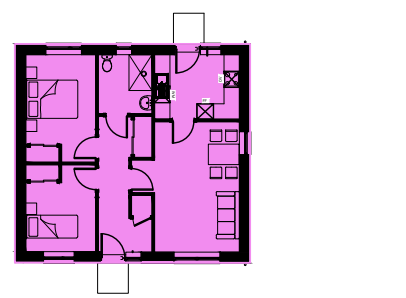
TYPE-03

HOUSE TYPE 03  
2B4P Terr



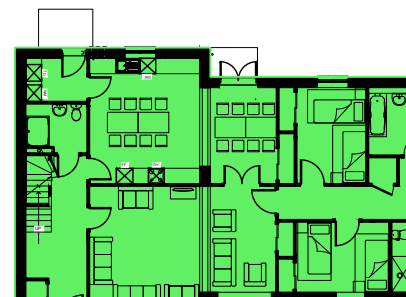
TYPE-04

HOUSE TYPE 04  
2B3P Bungalow



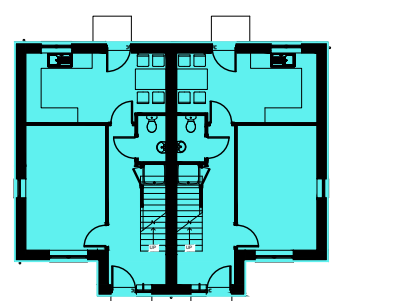
TYPE-05

HOUSE TYPE 05  
8P16P VILLA



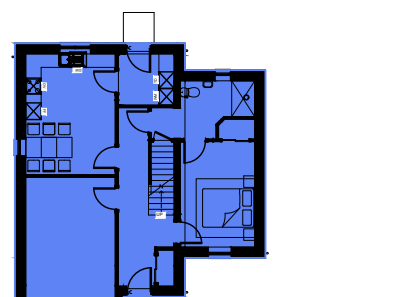
TYPE-06

HOUSE TYPE 06  
2B4P Semi



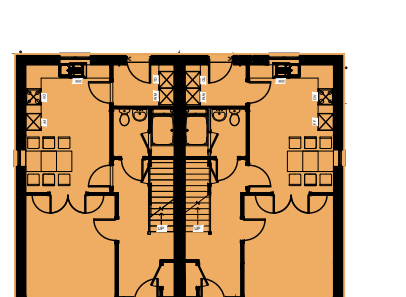
TYPE-07

HOUSE TYPE 07  
4B6P Detached



TYPE-08

HOUSE TYPE 08  
3B5P Semi



Landscape Notes

All areas to be soft landscaped to be litter picked and all site debris / stones etc to be removed from site. All subsoil areas to be thoroughly de-compacted to ensure that they are free draining. Subsoil areas to be inspected prior to placing topsoil.

Selected standard tree planting pits to be formed to 900 x 900 x 450mm deep pits with base of broken up for a further depth of 150mm and backfilled with premium quality topsoil mixed with Green Tree Pas 100 soil improver (1 part improver to 4 parts Topsoil - 0.2 m3). Where pits are found not to be free draining request confirmation from Client prior to installing land drainage pipework joining tree pits and leading to soakaway. Selected standard trees to be staked with double 50mm diameter machine rounder stakes, 500mm high, secured with hessian tree ties.

Feathered and light standard tree planting pits to be formed to 600 x600 x450mm deep pits with base of broken up for a further depth of 150mm and backfilled with premium quality topsoil mixed with Green Tree Pas 100 soil improver (1 part improver to 4 parts Topsoil - 0.05m3). Feathered and light standard tree to be staked with a single 50mm diameter machine rounder stake, 500mm high, secured with hessian tree ties.

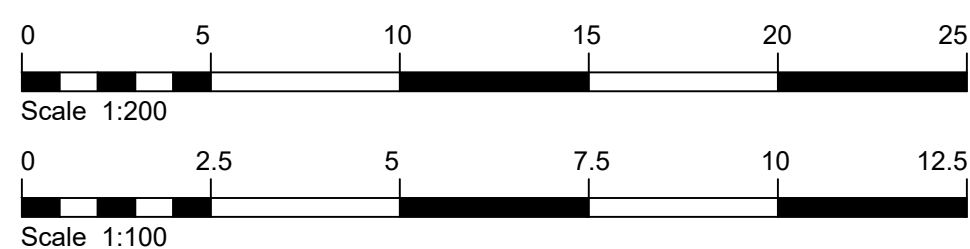
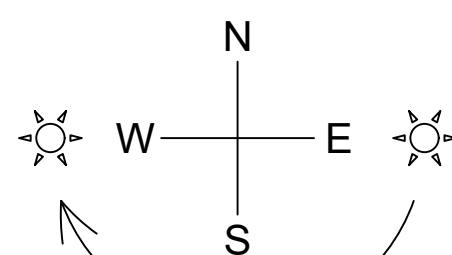
Amenity / close mown grass areas to be formed with 150mm deep premium quality topsoil laid on clean de-compacted subsoil layer. Grassed areas to be seeded using a Blec two pass technique using the following seed mix sown at 25g/m2

- Agrostis Capillaris (Common Bent) 10%
- Anthoxanthum Odoratum (sweet vernal Grass) 20%
- Deschampsia Flexuosa (Wazy hair Grass) 30%
- Festuca Ovina (Sheeps Fescue) 25%
- Poa Pratensis (Smooth Stalked Meadow Grass) 15%

Proposed meadow grass and woodland structure planting areas to be seeded with Scotia seed 'Highland Grass Mix' (80% Grasses, 20% Wildflowers) to be sown on stone picked weed-killed topsoil at 3g/m2

Native Species Woodland screen planting to be protected with Boddingtons Acorn or equivalent tree / shrub guard. Trees - Green Treeguard mesh shelters with two ratchet ties secured to 25 x 25mm softwood stakes (Diameter 80 - 110mm, 60 - 90cm high). Conifers and shrub species - Green Treeguard for shrubs, mesh shelters with two ratchet ties secured to 25 x 25mm softwood stakes (Diameter 130 - 160, 150 - 180 and 170-200mm, 60cm high)

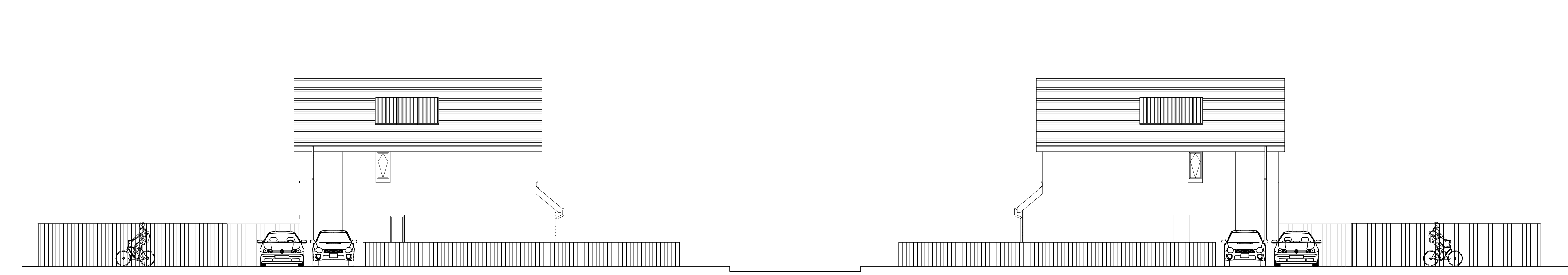
Any failures in planting within the first 18 months after planting to be replaced with plants of similar species / size (in the next following planting season).



PSB	20/06/20	PLANNING COMMENTS	MP	GD
PSB	22/05/20	PLANNING COMMENTS	MP	GD
PSB	21/05/20	PLANNING COMMENTS	MP	GD
PSB	21/05/20	PLANNING COMMENTS AND TENDER	MP	GD
PSB	10/05/20	TENDER	MP	GD
PSB	20/06/20	GIA ADDED	MP	GD
PSB	20/06/20	HT02 AND HT04 UPDATED	MP	GD
PSB	20/06/20	PLANNING COMMENTS TO DESIGN TEAM	MP	GD
PSB	27/06/20	PLANNING APPLICATION	MP	GD
Rev	Date	Details	Drawn	Checked

Issued for:		TENDER	
Project/Client:	The Highland Council	Project No:	RZ3024-0010
	Seaforth Road	Draw No:	AST-NOR-XX-XX-DR-A-003
	Tain	Rev:	P09
Scale:	1:200 @A0		
Drawing:	Proposed Site Layout	Drawn By:	MP
	Landscaping	Checked By:	GD
		Date:	20/06/24

NORR



VIEW FROM SEAFORTH ROAD  
1:100

PLOT 1	3B5P SEMI	VILLA (WITH GF BEDROOM)	HT01	GIA = 106.0 Sq M
PLOT 2	2B3P SEMI	BUNGALOW		GIA = 64.40 Sq M
PLOT 3	2B4P TERR	VILLA	HT03	GIA = 88.2 Sq M
PLOT 4	2B4P TERR	VILLA		GIA = 88.2 Sq M
PLOT 5	2B4P TERR	VILLA		GIA = 88.2 Sq M
PLOT 6	2B3P DET	BUNGALOW	HT04	GIA = 64.4 Sq M
PLOT 7	9B16P DET	VILLA	HT05	GIA = 240.6 Sq M
PLOT 8	2B4P SEMI	VILLA	HT06	GIA = 88.2 Sq M
PLOT 9	2B4P SEMI	VILLA		GIA = 88.2 Sq M
PLOT 10	4B6P DET	VILLA	HT07	GIA = 128.9 Sq M
PLOT 11	3B5P SEMI	VILLA		GIA = 106.0 Sq M
PLOT 12	3B5P SEMI	VILLA	HT08	GIA = 106.0 Sq M
PLOT 13	3B5P SEMI	VILLA		GIA = 106.0 Sq M
PLOT 14	3B5P SEMI	VILLA		GIA = 106.0 Sq M
PLOT 15	2B3P SEMI	BUNGALOW	HT02	GIA = 64.40 Sq M
PLOT 16	3B5P SEMI	VILLA (WITH GF BEDROOM)		GIA = 106.0 Sq M
				TOT = 1639.7 Sq M