



LEGEND

- Ownership Boundary
- Application Boundary

KEY

- 2B4P Flat 4 No.
- 2B4P Bungalow 4 No.
- 2B4P Villa 8 No.
- 3B5P Villa 10 No.
- 3B6P Villa (GFB) 4 No.
- 4B6P Villa 4 No.
- 4B7P Villa (GFB) 2 No.

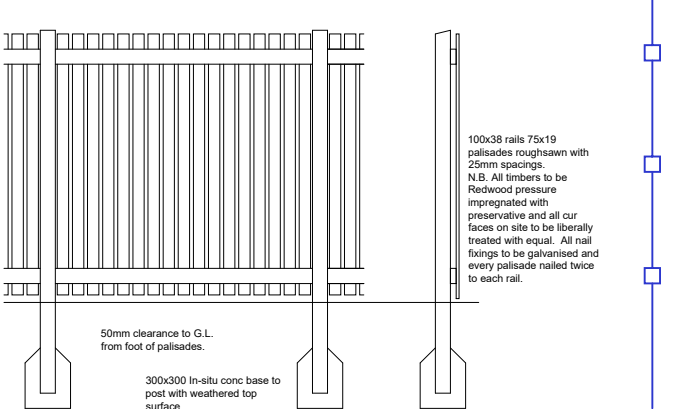
Total 36 No. Units

- ROUTE OF LV ELECTRICITY CABLE
- ADDITIONAL STOCK FENCING

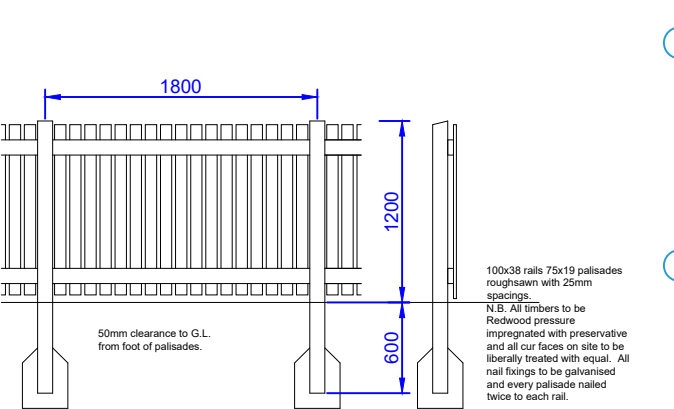
Note to Designers and Contractors
Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.
Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol: 
It is anticipated that other designers and contractors will cooperate to identify any potential construction hazards and to eliminate them where possible.
Measures to minimise residual hazards will be reviewed on a regular basis.

J	19.08.25	P&W FENCING TO NORTH OF TREES TO CORDON OFF FALL DISTANCE	MJ
I	07.05.25	ROAD ALIGNMENT UPDATED TO SQUARE OFF LOOP AND JUNCTION	MJ
H	15.04.25	ROAD ALIGNMENT ADJUSTED FOR COMMENT	MJ
G	28.02.25	SPRINKLER TANK LOCATIONS FINALISED AND REMOTE PATH LOCATION UPDATED.	MJ
F	25.10.24	CLARIFIED BLOCK COLOURS TO MATCH KEY	JS
E	24.09.24	LAYOUT UPDATED WITH NEW OS TILE AND ISSUED FOR PLANNING	MJ
D	19.09.24	3B6P VILLA NOTES UPDATED	GB
C	16.09.24	UPDATED TO SHOW RCPs AND REVISED FENCING AND PATH LAYOUTS WITH NEW PROPOSED SPRINKLER TANK LOCATIONS.	MJ
B	11.09.24	LAYOUT UPDATED TO EXTEND LANDSCAPED AREAS AND ADD INDICATIVE PATH ROUTES AND LOCATIONS FOR SPRINKLER TANKS	MJ
A	24.06.24	LAYOUT UPDATED WITH REVISED FOOTPRINTS AND RED LINE BOUNDARY FOR COMMENT	MJ
REV	DATE	DESCRIPTION	DRN

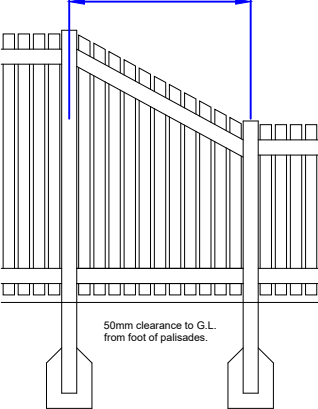
PLAN & ELEVATION OF FENCE TYPE A
(Enclosing Fences)



PLAN & ELEVATION OF FENCE TYPE B
(Between Plots & Paths and Bin Stores)



ELEVATION OF TRANSITION



NOTE: separating fence between proteries will consist of a 2m long screen at 1.5m high adjacent to house and the rest of the fence will drop to 1.2 m high. allow for a transition element from 1.8 to 1.2 m

Bracewell Stirling CONSULTING

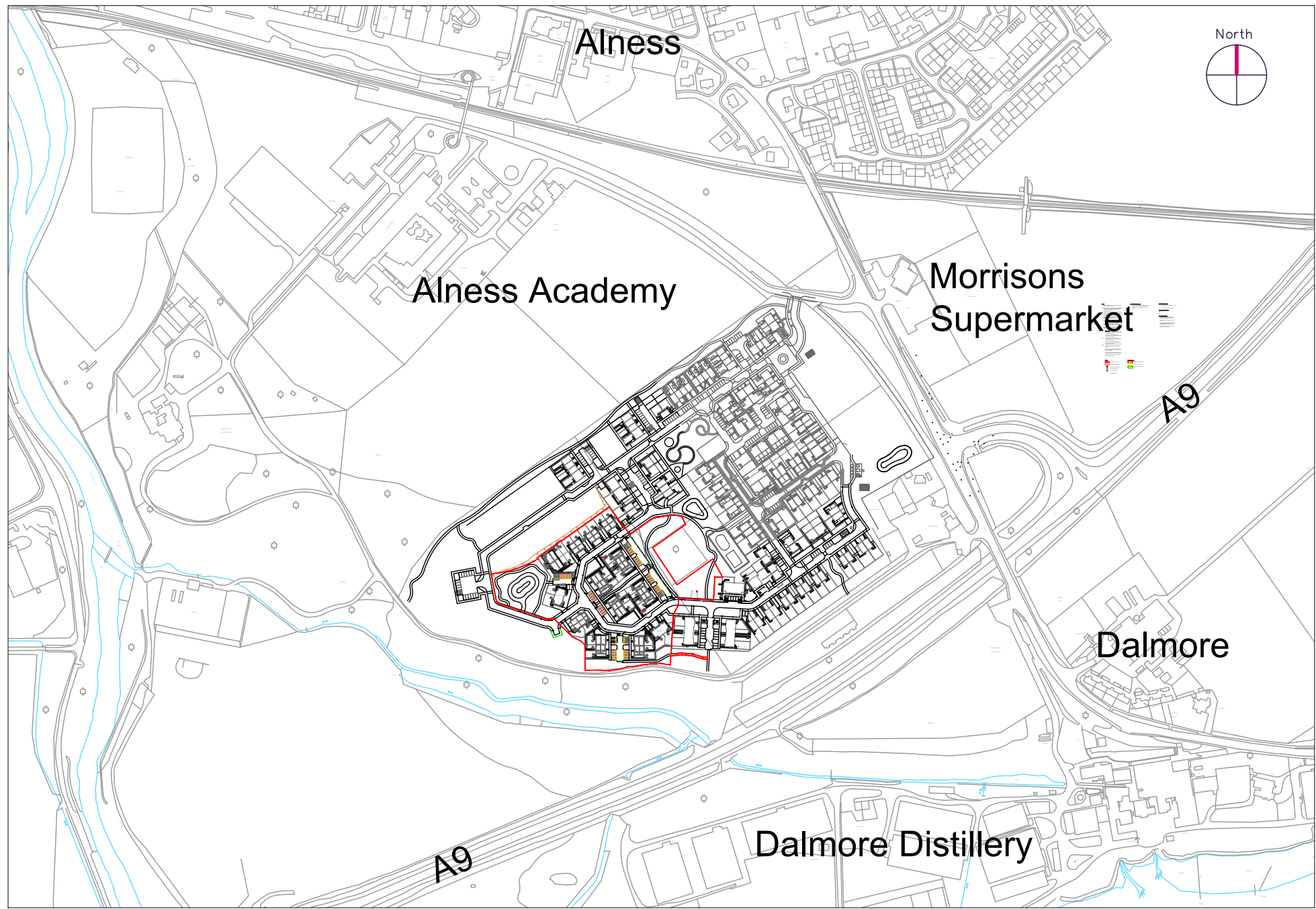
38 WALKER TERRACE, TILLOULTRY, FK13 6EF 01259 750301
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

DALMORE, ALNESS
PHASE 7
ALBYN HOUSING SOCIETY

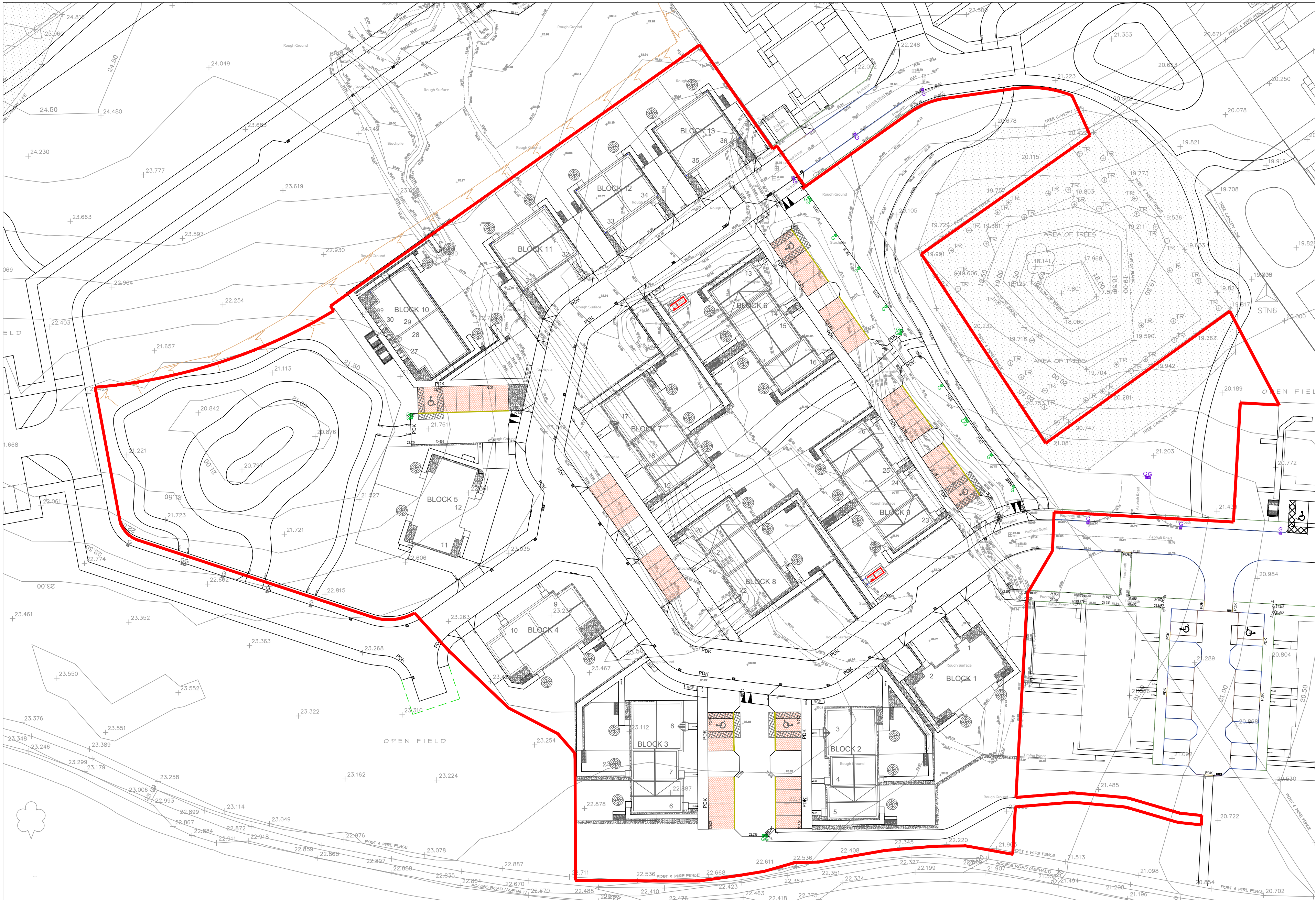
SITE LAYOUT

STATUS: **PLANNING**

SCALE:	1 : 500	DRAWN:	MJ
PAPER SIZE:	A1	DATE:	Jun 2025
DWG No.	5074-01-001	REV.	I

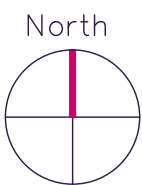


Development Location Plan
(Scale 1:5,000)



Development Layout Plan
(Scale 1:500)

FIGURED DIMENSIONS ONLY TO BE USED



Issue	Revision	Initial	Date
C	Development layout plan updated to realign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
B	Development horizontal road alignment amended.	JMA	22/05/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25

Cameron+Ross
CIVIL + STRUCTURAL ENGINEERING

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Mulberry House | 39-41 Harbour Road | Inverness | IV1 1UF
t 01463 570 100 | w cameronross.co.uk

Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Location Site Plan

Status:
Planning

Scale: As Stated @ A1 Date: 27/09/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-001 Rev. C



Notes:

1. Refer to all Architects & Engineers Drawings for Detailed Development Design Information.
2. Design & Construction of Roads & Associated Infrastructure to Comply with the Relevant Sections of Highland Council Document 'Roads & Transport Guidelines for New Developments', May 2013.
3. Any Departures from the aforementioned Roads Standards Document to be Agreed in Advance with Highland Council.
4. Prior to Roads Construction Works, the Appointed Contractor is to arrange for CBR Tests to be undertaken at 25.0m Centres. The CBR Results & Details of any Capping Requirements are to be forwarded to the Roads Officer who is Processing the RCC Application.
5. Road Signs & Markings to Comply with Statutory Document 'Traffic Signs Regulations & General Directions 2016'.
6. The Contractor is Responsible for Checking the Line & Level of Existing Services, Prior to the Commencement of any Works. Any Discrepancies from Design Information Must be Reported to the Site Manager & Site Engineer in Writing.
7. Design & Locations of Street Name Plates to be Agreed in Advance with Highland Council. Street Name Plate Locations are shown Indicatively Drawings.

Legend:

- Site/RCC Boundary Line
- Pervious Block Paving (Red)
- Road Gully (New adoptable)
- Road Gully (New private)
- Road Gully (Existing)
- Tactile Blister Paving

Issue	Revision	Initial	Date
C	Development layout plan updated to redesign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
B	Development horizontal road alignment amended. Contours and levels updated accordingly.	JMA	22/05/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25

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Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Roads Levels & Contours

Status:
Planning

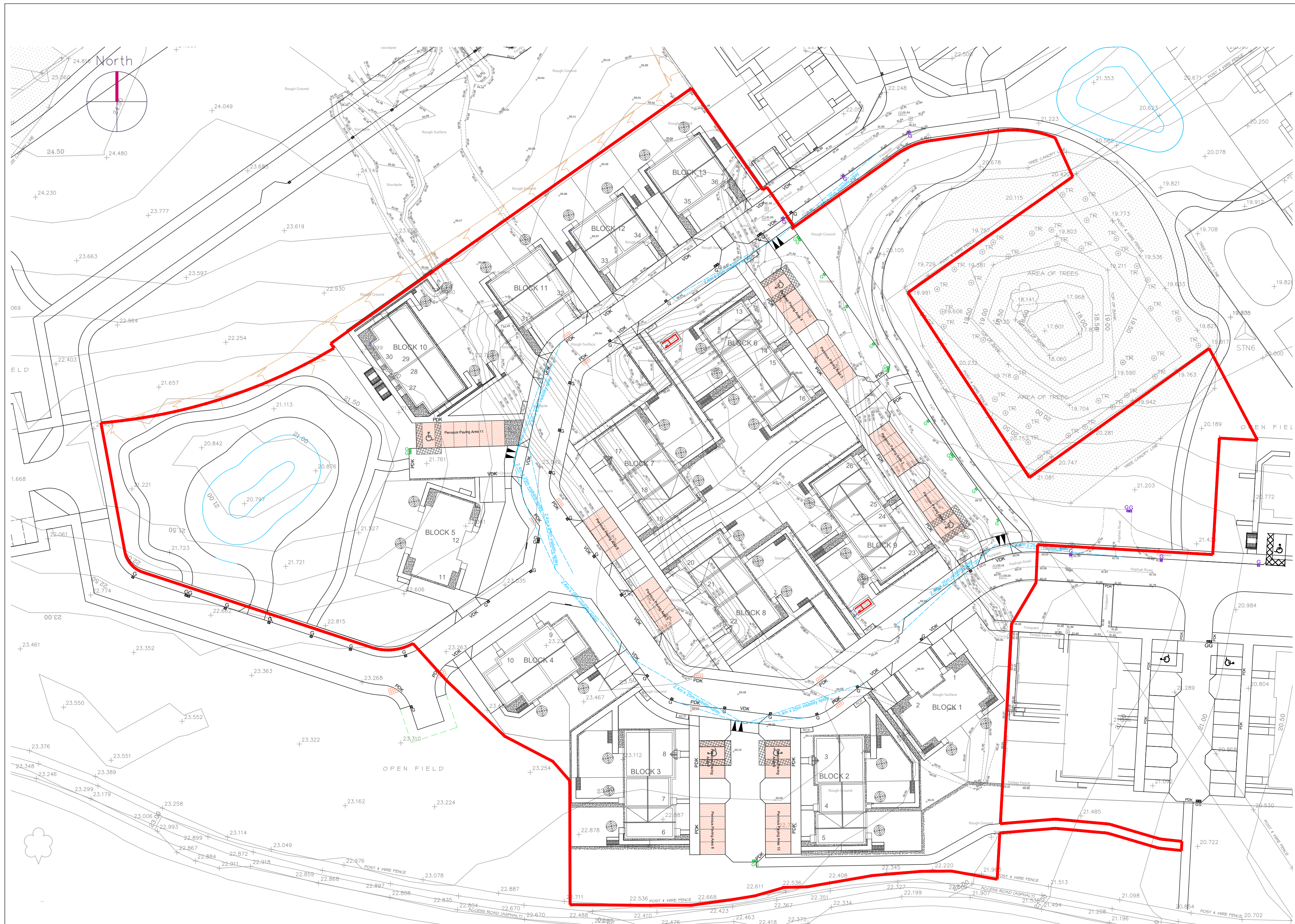
Scale: 1:500 @ A2 Date: 28/09/24

By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-205 Rev. C

Notes:

1. Refer to all Architects & Engineers Drawings for Detailed Development Design Information.
2. Design & Construction of Roads & Associated Infrastructure to Comply with the Relevant Sections of Highland Council Document 'Roads & Transport Guidelines for New Developments', May 2013.
3. Any Departures from the aforementioned Roads Standards Document to be Agreed in Advance with Highland Council.
4. Prior to Roads Construction Works, the Appointed Contractor is to arrange for CBR Tests to be undertaken at 25.0m Centres. The CBR Results & Details of any Capping Requirements are to be forwarded to the Roads Officer who is Processing the RCC Application.
5. Road Signs & Markings to Comply with Statutory Document 'Traffic Signs Regulations & General Directions 2016'.
6. The Contractor is Responsible for Checking the Line & Level of Existing Services, Prior to the Commencement of any Works. Any Discrepancies from Design Information Must be Reported to the Site Manager & Site Engineer in Writing.
7. Design & Locations of Street Name Plates to be Agreed in Advance with Highland Council. Street Name Plate Locations are shown Indicatively Drawings.



Issue	Revision	Initial	Date
C	Development layout plan updated to redesign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
B	Development horizontal alignment amended. Visibility splays updated accordingly.	JMA	22/05/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25

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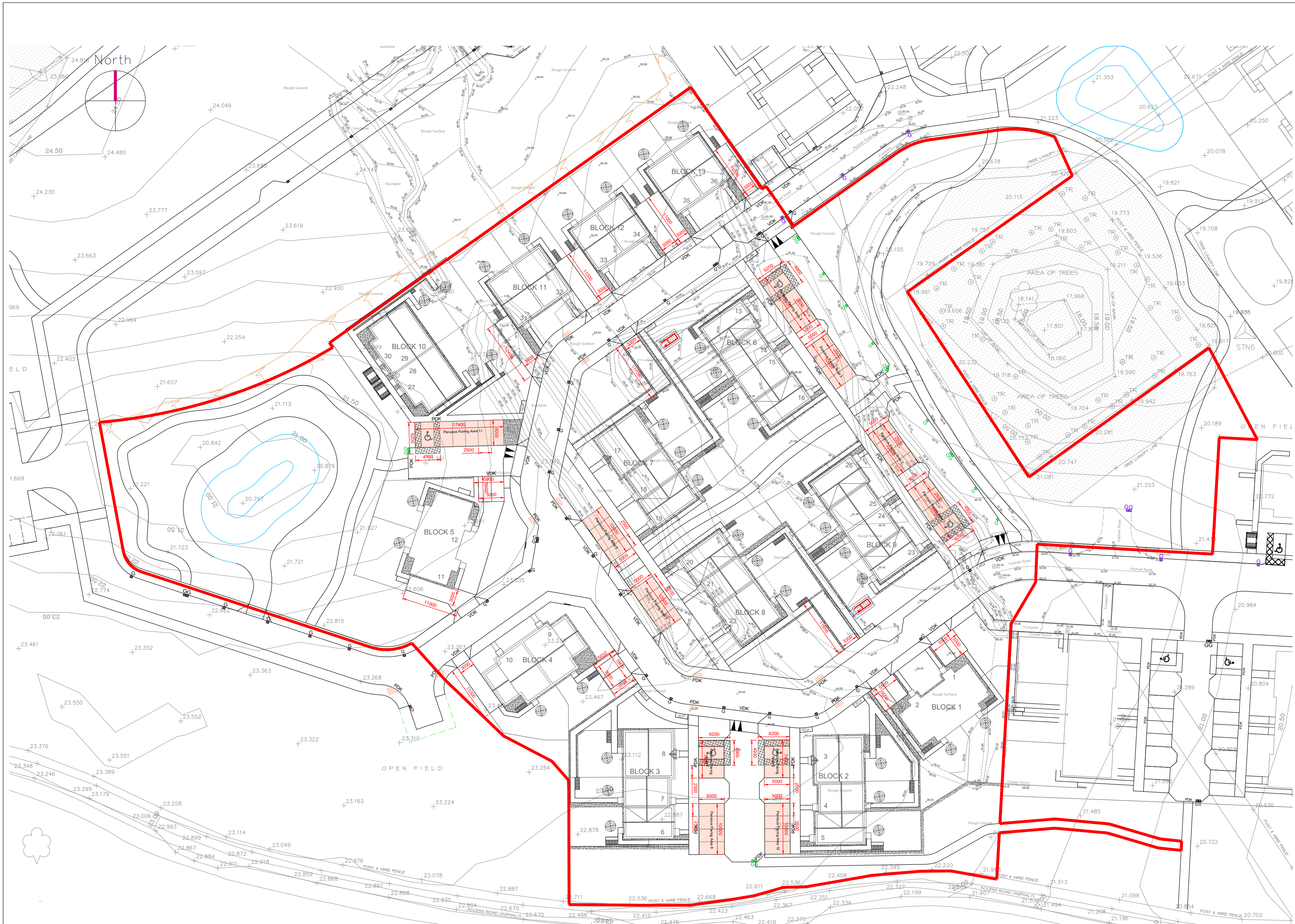
CIVIL + STRUCTURAL ENGINEERING

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t 01463 570 100 | w cameronross.co.ukClient:
Albyn Housing SocietyProject:
Housing Development
Phase 7
Dalmore, AlnessDrawing Title:
Junction Visibility SplaysStatus:
PlanningScale: 1:500 @ A2 Date: 28/09/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-206 Rev. C

Notes:

1. Refer to all Architects & Engineers Drawings for Detailed Development Design Information.
2. Design & Construction of Roads & Associated Infrastructure to Comply with the Relevant Sections of Highland Council Document 'Roads & Transport Guidelines for New Developments', May 2013.
3. Any Departures from the aforementioned Roads Standards Document to be Agreed in Advance with Highland Council.
4. Prior to Roads Construction Works, the Appointed Contractor is to arrange for CBR Tests to be undertaken at 25.0m Centres. The CBR Results & Details of any Capping Requirements are to be forwarded to the Roads Officer who is Processing the RCC Application.
5. Road Signs & Markings to Comply with Statutory Document 'Traffic Signs Regulations & General Directions 2016'.
6. The Contractor is Responsible for Checking the Line & Level of Existing Services, Prior to the Commencement of any Works. Any Discrepancies from Design Information Must be Reported to the Site Manager & Site Engineer in Writing.
7. Design & Locations of Street Name Plates to be Agreed in Advance with Highland Council. Street Name Plate Locations are shown Indicatively Drawings.



Issue	Revision	Initial	Date
D	Development layout plan updated to realign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
C	Plots 1 & 2 driveway widths increased to 5.50m. Dimensions added to Plots 9 & 12 driveways.	JMA	14/07/25
B	Development horizontal alignment amended. Driveway and parking dimensions updated, where required.	JMA	22/05/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25

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Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Driveway & Parking
Dimensions

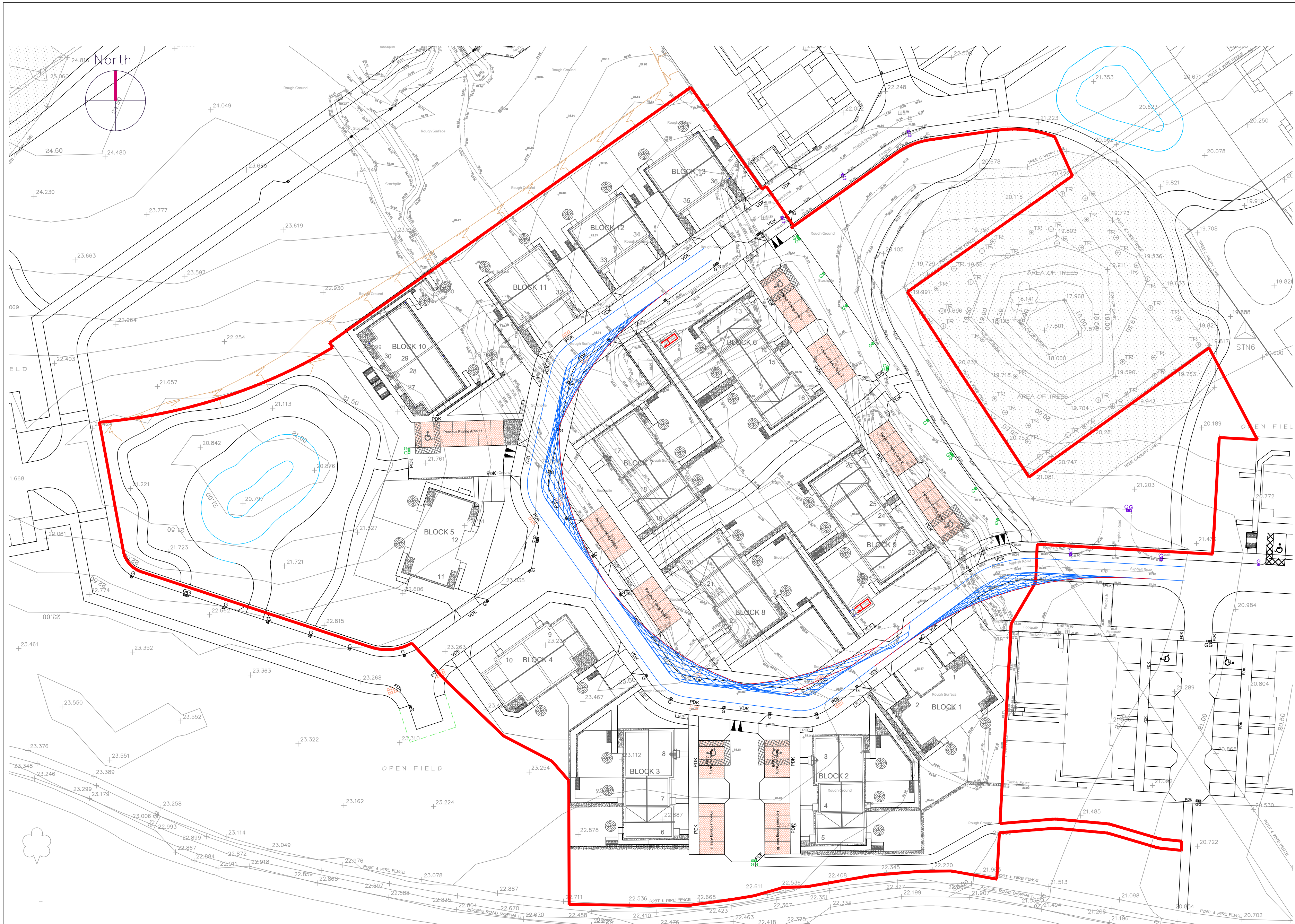
Status:
Planning

Scale: 1:500 @ A2 Date: 28/09/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-207 Rev. D

Notes:

1. Refer to all Architects & Engineers Drawings for Detailed Development Design Information.
2. Design & Construction of Roads & Associated Infrastructure to Comply with the Relevant Sections of Highland Council Document 'Roads & Transport Guidelines for New Developments', May 2013.
3. Any Departures from the aforementioned Roads Standards Document to be Agreed in Advance with Highland Council.
4. Prior to Roads Construction Works, the Appointed Contractor is to arrange for CBR Tests to be undertaken at 25.0m Centres. The CBR Results & Details of any Capping Requirements are to be forwarded to the Roads Officer who is Processing the RCC Application.
5. Road Signs & Markings to Comply with Statutory Document 'Traffic Signs Regulations & General Directions 2016'.
6. The Contractor is Responsible for Checking the Line & Level of Existing Services, Prior to the Commencement of any Works. Any Discrepancies from Design Information Must be Reported to the Site Manager & Site Engineer in Writing.
7. Design & Locations of Street Name Plates to be Agreed in Advance with Highland Council. Street Name Plate Locations are shown Indicatively Drawings.



A		Development layout plan updated to realign remote footpath to connect to existing Phase 6 remote footpath.	JMA	10/07/25
Issue	Revision		Initial	Date

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Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Forward Visibility Splays

Status:
Planning

Scale: 1:500 @ A2 Date: 14/07/25

By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-208 Rev. A



FIGURED DIMENSIONS ONLY TO BE USED

Notes:

- Refer to all Architects & Engineers Drawings for Detailed Development Design Information.
- Design & Construction of Roads & Associated Infrastructure to Comply with the Relevant Sections of Highland Council Document 'Roads & Transport Guidelines for New Developments', May 2013.
- Any Departures from the aforementioned Roads Standards Document to be Agreed in Advance with Highland Council.
- Prior to Roads Construction Works, the Appointed Contractor is to arrange for CBR Tests to be undertaken at 25.0m Centres. The CBR Results & Details of any Capping Requirements are to be forwarded to the Roads Officer who is Processing the RCC Application.
- Road Signs & Markings to Comply with Statutory Document 'Traffic Signs Regulations & General Directions 2016'.
- The Contractor is Responsible for Checking the Line & Level of Existing Services. Prior to the Commencement of any Works. Any Discrepancies from Design Information Must be Reported to the Site Manager & Site Engineer in Writing.
- Design & Locations of Street Name Plates to be Agreed in Advance with Highland Council. Street Name Plate Locations are shown Indicatively Drawings.

Adoption Legend:

- Adoptable Carriageway Areas
- Adoptable Footway Areas
- Adoptable Grass / Grass Verge Areas

C	Development layout plan updated to redesign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
B	Development horizontal alignment amended. Adoption areas updated accordingly.	JMA	22/05/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25
Issue	Revision	Initial	Date

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Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Roads Adoption Plan

Status:
Planning

Scale: 1:500 @ A2 Date: 30/09/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-210 Rev. C

Notes:

1. Refer to all Architects & Engineers Drawings for Detailed Development Design Information.
2. Design & Construction of Roads & Associated Infrastructure to Comply with the Relevant Sections of Highland Council Document 'Roads & Transport Guidelines for New Developments', May 2013.
3. Any Departures from the aforementioned Roads Standards Document to be Agreed in Advance with Highland Council.
4. Prior to Roads Construction Works, the Appointed Contractor is to arrange for CBR Tests to be undertaken at 25m Centres. The CBR Results & Details of any Capping Requirements are to be forwarded to the Roads Officer who is Processing the RCC Application.
5. Road Signs & Markings to Comply with Statutory Document 'Traffic Signs Regulations & General Directions 2016'.
6. The Contractor is Responsible for Checking the Line & Level of Existing Services. Prior to the Commencement of any Works. Any Discrepancies from Design Information Must be Reported to the Site Manager & Site Engineer in Writing.
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- Kerb Legend:**
- 255 x 125mm P.C. Half Battered Road Kerb to BS EN 1340:2003 & BS 7533-6:1999 (100mm Upstand from Finished Road Surface).
 - VOK** 175 x 125mm P.C. Bullnose Kerb to BS EN 1340:2003 & BS 7533-6:1999 (Max. 20mm Upstand from Finished Road Surface).
 - PDK** 175 x 125mm P.C. Bullnose Kerb to BS EN 1340:2003 & BS 7533-6:1999 (Max. 6mm Upstand from Finished Road Level).
 - 175 x 125mm P.C. Bullnose Kerb to BS EN 1340:2003 & BS 7533-6:1999 (Max. 20mm Upstand from Finished Road Surface).
 - 125 x 255mm CS1 Kerb to BS EN1340:2003 & BS 7533-6:1999 (Laid Flush with Finished Road Surface)
 - 200 x 50mm P.C. 'Type EF' Flat Top Edging Kerb to BS EN 1340:2003 & BS 7533-6:1999 (Laid Flush with Finished Surface)
 - 255 x 125mm to 175 x 125mm P.C. Double Pattern Drop Kerb to BS EN 1340:2003 & BS 7533-6:1999.
 - 255 x 125mm P.C. Single Drop Kerb to BS EN 1340:2003 & BS 753-6:1999.

D	Development layout plan updated to realign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
C	Driveway crossing kerbs amended at Plots 1 & 2.	JMA	14/07/25
B	Development road horizontal alignment amended. Kerb layout updated accordingly.	JMA	22/05/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25
Issue	Revision	Initial	Date

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Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

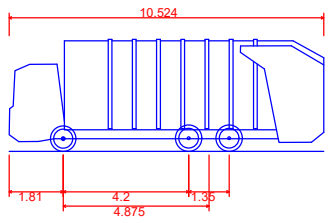
Drawing Title:
Road Kerbing Plan

Status:
Planning

Scale: 1:500 @ A2 Date: 30/09/24
By: JMA Checked: JMA Approved: RAG

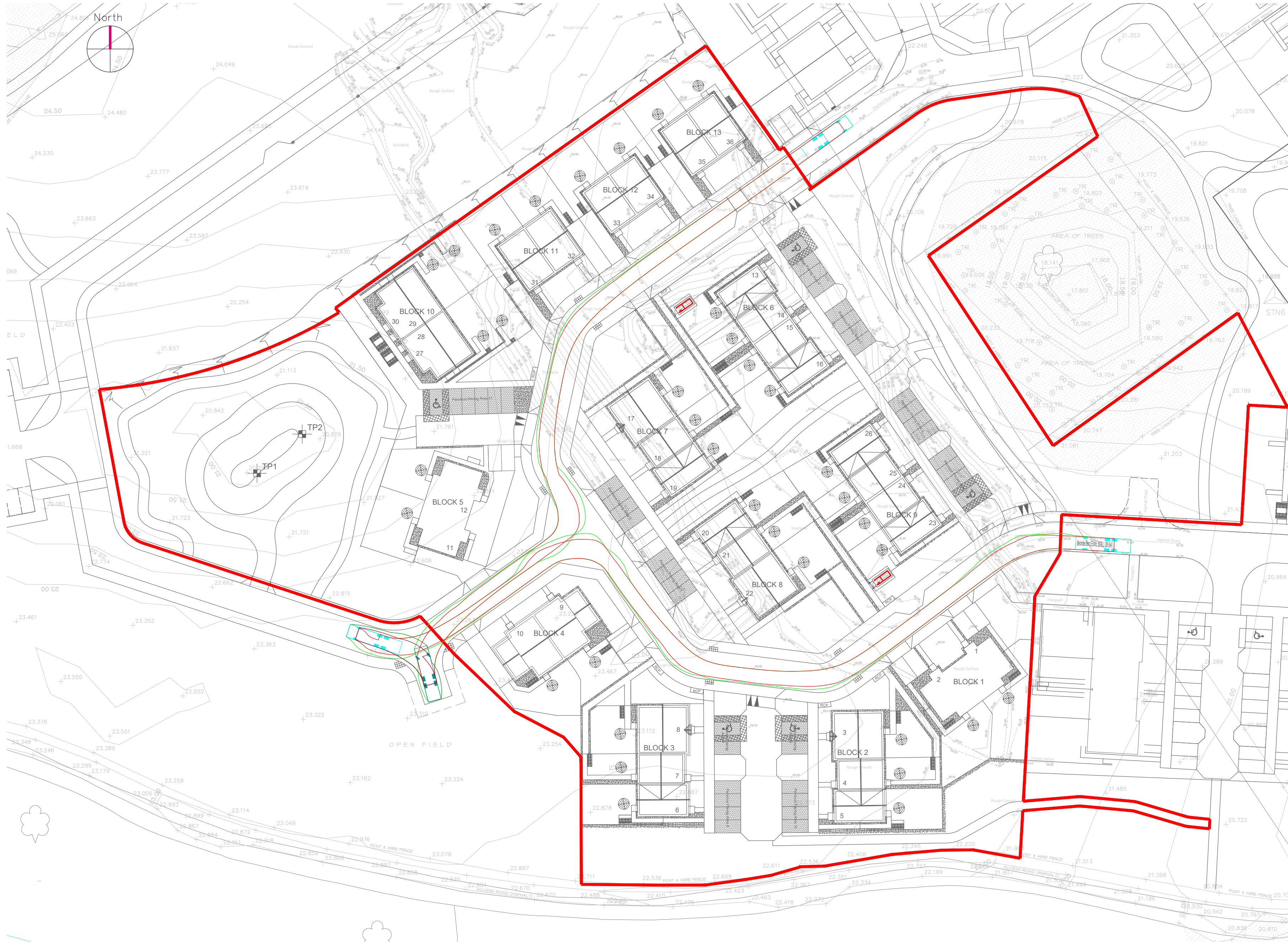
Dwg. No. 240574-000-CAM-DR-C-230 Rev. D

FIGURED DIMENSIONS ONLY TO BE USED



Mercedes Benz Econic 2629LL (26t 6x4)
Overall Length 10.524
Overall Width 2.3
Overall Body Height 3.1
Min Body Ground Clearance 0.2
Max Track Width 2.1
Lock to lock time 4.4
Kerb to Kerb Turning Radius 8.3

10
2.3
3.1
0.2
2.1
4.4
8.3



5m 0m 5m 10m 15m 20m 25m
Scale 1:500 metres

Issue	Revision	Initial	Date
C	Development layout plan updated to redesign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
B	Refuse vehicle swept path updated to correspond with revised road horizontal alignment.	JMA	18/06/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25

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CIVIL + STRUCTURAL ENGINEERING

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Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Vehicle Swept Path Analysis

Status:
Planning

Scale: 1:500 @ A2 Date: 30/10/24
By: CBA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-250 Rev. C

