

FIGURED DIMENSIONS ONLY TO BE USED

DRAINAGE NOTES:

1. Location and cover levels of existing sewer manholes as per topographical survey data.
2. Invert levels of existing sewer manholes extracted from Scottish Waters GIS data. All invert levels to be checked on site prior to construction.
3. Surface water & foul sewers infrastructure to be constructed in accordance with the relevant sections of Scottish Water document, 'Sewers for Scotland, 4th Edition'.
4. Construction & maintenance of SuDS devices to comply with the relevant sections of CIRIA C753 'The SuDS Manual'.
5. Unreinforced and reinforced concrete pipes & fittings shall comply with the relevant provisions of BS EN 1916 & BS EN 5911-1.
6. uPVC pipes, joints & fittings for gravity sewers shall comply with the relevant provisions of BS EN 1917 & BS EN 5911-3.
7. Pre-cast concrete manhole units for manholes, chambers and wet wells shall comply with the relevant provisions of BS EN 1917 & BS EN 5911-3.
8. Pre-cast concrete slabs and cover frame seating rings shall comply with the relevant provisions of BS EN 1917 and BS 5911-3.
9. Manhole covers & frames shall comply with the relevant provisions of BS EN 124, BS 7903 and the 'Design Manual for Roads & Bridges: HA104/09 Geotechnics & Drainage: Chamber Tops & Gully Tops for Road Drainage & Services: Installation & Maintenance'.
10. As a Minimum, Class D400 covers shall be used in carriageways of Roads (including pedestrian streets), hard shoulders and parking areas.
11. Class B 125 covers shall be used in footways, pedestrian areas and comparable locations.

SEWERS & SUDS LEGEND

- Existing 300mm Combined Sewer
- Existing Foul Sewer Network
- Future Foul Sewer Network
- Proposed Foul Sewer Network (Phases 7)
- Proposed Foul Plot Connections (Phases 7)
- Proposed Private Foul Sewer Network (Phases 7)
- Existing Highway Sewer Network
- Future Highway Sewer Network
- Highway Sewer Network (Phases 7)
- Private Surface Water Pipework
- Plot Soakaway (stone filled trench)
- Plot Soakaway (geocellular)
- ACO Channel Drains
- Previous Block Paving Areas

PLOT SOAKAWAY NOTES:

1. Construction & maintenance of SuDS devices to comply with the relevant sections of CIRIA C753 'The SuDS Manual'.
2. Where the minimum distance of 5.0m between the plot soakaway and house foundations cannot be achieved, the house foundations shall be lowered locally to the same level as the invert of the soakaway.

D	Development layout plan updated to realign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
C	Development road horizontal alignment amended. Drainage layout and levels amended to suit.	JMA	22/05/25
B	Development layout plan updated for relocation of fire fighting sprinkler tanks.	JMA	28/02/25
A	SuDS infiltration basin resized to reflect new infiltration test results at location of basin.	JMA	31/10/24
Issue	Revision	Initial	Date

Cameron + Ross

CIVIL + STRUCTURAL ENGINEERING

Forbes House | 15 Victoria Street | Aberdeen | AB10 1XB

Mulberry House | 39-41 Harbour Road | Inverness | IV1 1UF

Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, AInness

Drawing Title:
Drainage Layout Plan

Status:
Planning

Scale: 1:500 @ A2 Date: 08/10/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-400 Rev. D

FIGURED DIMENSIONS ONLY TO BE USED

DRAINAGE NOTES:

- Location and cover levels of existing sewer manholes as per topographical survey data.
- Invert levels of existing sewer manholes extracted from Scottish Waters GIS data. All invert levels to be checked on site prior to construction.
- Surface water & foul sewers infrastructure to be constructed in accordance with the relevant sections of Scottish Water document, 'Sewers for Scotland, 4th Edition'.
- Construction & maintenance of SuDS devices to comply with the relevant sections of CIRIA C753 'The SuDS Manual'.
- Unreinforced and reinforced concrete pipes & fittings shall comply with the relevant provisions of BS EN 1916 & BS EN 5911-1.
- uPVC pipes, joints & fittings for gravity sewers shall comply with the relevant provisions of BS EN 1916 & BS EN 5911-1.
- Pre-cast concrete manhole units for manholes, chambers and wet wells shall comply with the relevant provisions of BS EN 1917 & BS 5911-3.
- Pre-cast concrete slabs and cover frame seating rings shall comply with the relevant provisions of BS EN 1917 and BS 5911-3.
- Manhole covers & frames shall comply with the relevant provisions of BS EN 124, BS 7903 and the 'Design Manual for Roads & Bridges: HA104/09 Geotechnics & Drainage: Chamber Tops & Gully Tops for Road Drainage & Services: Installation & Maintenance'.
- As a Minimum, Class D400 covers shall be used in carriageways of Roads (including pedestrian streets), hard shoulders and parking areas.
- Class B 125 covers shall be used in footways, pedestrian areas and comparable locations.

SEWERS & SUDS LEGEND:

- Existing 300mm Combined Sewer
- Existing Foul Sewer Network
- Future Foul Sewer Network
- Proposed Foul Sewer Network (Phases 7)
- Proposed Foul Plot Connections (Phases 7)
- Proposed Private Foul Sewer Network (Phases 7)
- Existing Highway Sewer Network
- Future Highway Sewer Network
- Highway Sewer Network (Phases 7)
- Private Surface Water Pipework
- Plot Soakaway (stone filled trench)
- Plot Soakaway (geocellular)
- ACO Channel Drains
- Pervious Block Paving Areas

PLOT SOAKAWAY NOTES:

- Construction & maintenance of SuDS devices to comply with the relevant sections of CIRIA C753 'The SuDS Manual'.
- Where the minimum distance of 5.0m between the plot soakaway and house foundations cannot be achieved, the house foundations shall be lowered locally to the same level as the invert of the soakaway.

DEED & SERVITUDE LEGEND:

- Foul sewer pipe servitude areas: 234m² or thereby.
- Land Ownership Details: Albyn Housing Society 99-104 High Street, Invergorston, IV18 0DL

Issue	Revision	Initial	Date
C	Development layout plan updated to redesign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
B	Development layout plan updated. Sewers servitude areas updated accordingly.	JMA	17/06/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25

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CIVIL + STRUCTURAL ENGINEERING

Forbes House | 15 Victoria Street | Aberdeen | AB10 1XB

Mulberry House | 39-41 Harbour Road | Inverness | IV1 1UF

Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, AIness

Drawing Title:
Drainage Deed & Servitude
Plan

Status:
Planning

Scale: 1:500 @ A2 Date: 08/10/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-490 Rev. C



IMPORTANT CDM / H&S NOTE

1	Existing Services (including Gas, Electric, BT, etc.)
2	Existing Live Road Carriageway
3	
4	
5	
6	

Fire Hydrant Locations		
Hydrant Ref. No.	Easting	Northing
Ex.FH	838.787	684.856
FHI	697.893	728.615

Item	Quantity
110mm HPPE (SDR 17)	174m
90mm HPPE (SDR 17)	95m
63mm MDPE	148m

[illegible]

Dwg. No.	Rev.
240574-000-CAM-DR-C-500	E

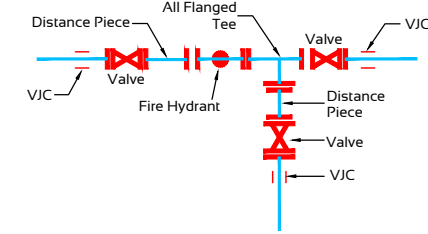


DEED & SERVITUDE NOTES

Area of water main requiring servitude agreement.
Approximate area: 322m²

Land Ownership Details

Mr. Steven Willis
Innis Mara,
2 Teangue,
Sleat,
Isle of Skye



Detail B

3 branch Set Up Hydrant For Flush Point (One Leg)

Additional Pipework / Distance Pieces may be Required for Compliance with the Roads Authority and Utilities Committee RAUC(S) Spec. for the Correct Reinstatement of the Excavation, as all Iron Work must be a Minimum 250mm Away from other Iron Work.

IMPORTANT CDM / H&S NOTE

THE DESIGNERS WOULD DRAW THE READERS ATTENTION TO KEY RESIDUAL CONSTRUCTION HEALTH AND SAFETY HAZARDS THAT HAVE NOT BEEN ELIMINATED FROM THE DESIGNS SHOWN ON THE DRAWINGS BY THE DESIGN PROCESS. THESE HAZARDS ARE IDENTIFIED BELOW & ON DRAWING:

- Existing Services (including Gas, Electric, BT, etc.)
- Existing Live Road Carriageway
-
-
-
-

ANY CONSTRUCTION PERSONNEL INCLUDING OPERATIVES INTENDING TO CONSTRUCT THE DESIGNS SHOWN ON THIS DRAWING SHOULD ENSURE THAT THEY HAVE BEEN THOROUGHLY BRIEFED BY THE PRINCIPAL CONTRACTOR ON ALL HEALTH AND SAFETY MATTERS AND HAVE SIGHT OF:
- THE DEVELOPED CONSTRUCTION PHASE HEALTH AND SAFETY PLAN
- THE CONTRACTORS CONSTRUCTION METHOD STATEMENTS.

Fire Hydrant Locations

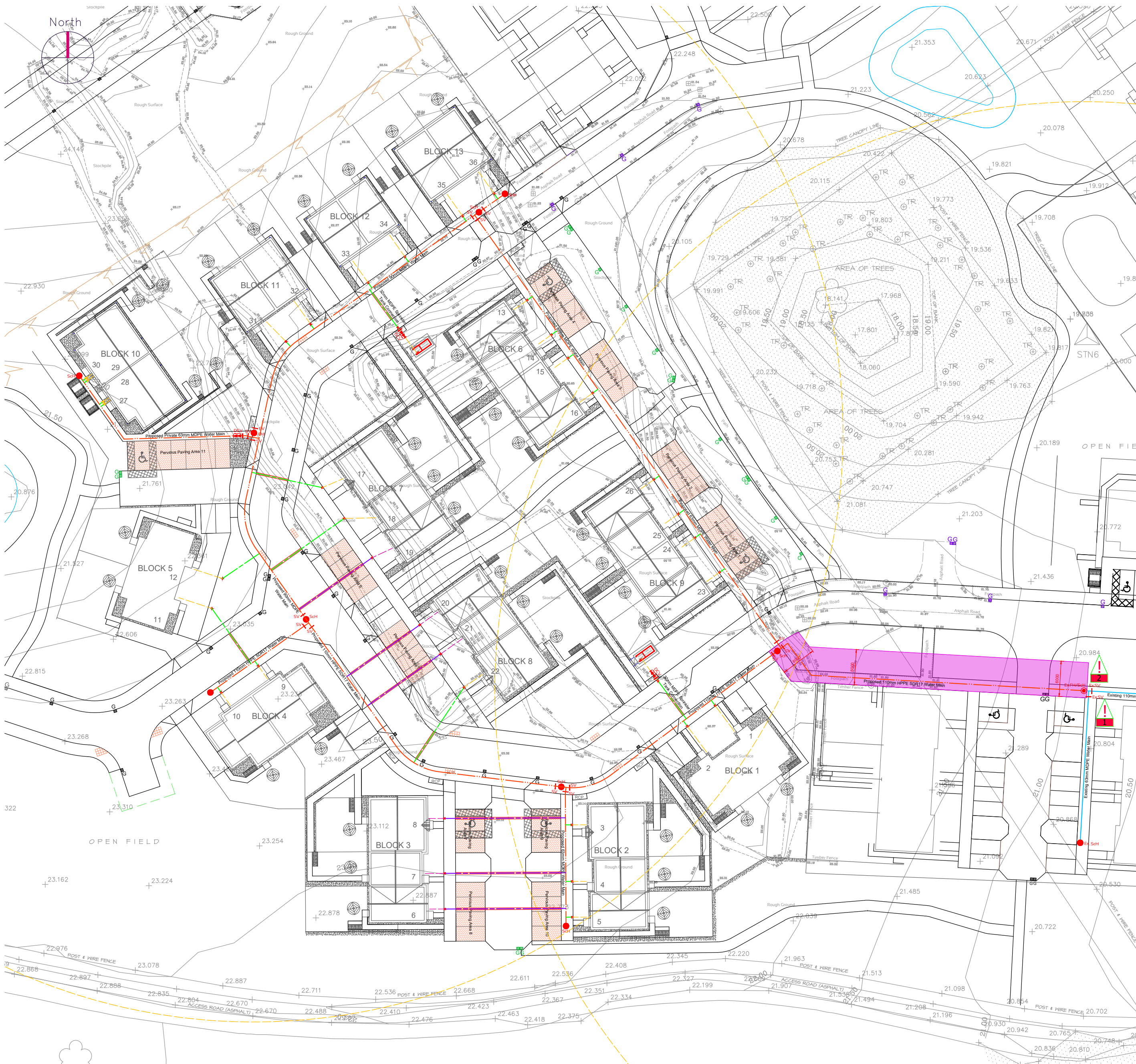
Hydrant Ref. No.	Easting	Northing
Ex.FH	838.787	684.856
FHI	697.893	728.615

Note: Topo survey is to Local Grid Co-ordinates not National Grid Co-ordinates

Meterage Table

Item	Quantity
100mm HPPE (SDR 17)	174m
90mm HPPE (SDR 17)	95m
63mm MDPE	148m

Note: Meterage Figures in Above Table are Approximate, Based on Measurements of CAD Drawing.



FIGURED DIMENSIONS ONLY TO BE USED

WATER MAIN NOTES:

- All Materials, Substances & Products to be in contact with Potable Water to Comply with Regulation 33 of the Public Water Supplies (Scotland) Regulations 2014.
- Water Mains and Associated Apparatus to be Constructed in Accordance with the Guidance of Scottish Water Publication 'Water for Scotland - 3rd Edition, April 2015'.
- No Deviation Shall be Allowed from the aforementioned Scottish Water Guidance or from the Approved Design Drawings Unless Agreed with Scottish Water in Advance.
- Materials and Construction Methods to Comply with Part 3 - Civil Engineering Specification, within Water for Scotland 3rd Edition.
- PE Pipes to Comply with BS EN 12201-1:2011 and BS EN 12201-2:2011 and be Coloured Blue.
- PE Fittings to Comply with BS EN 12201-3:2011.
- All Sluice Valves to be Anti-Clockwise Opening.
- Concrete Anchor Blocks to be Installed at all Tees, Bends and Termination Points.
- WRS Accredited Contractor to Carry Out Tie-in to Existing Mains and Distinction of New Mains, in Accordance with Scottish Water's 'Water Supply Hygiene Code of Practice'.
- Copies of all Deeds of Servitude or Notice Plans, and of the Covering Notices Served by the Developer, duly Receipted & Signed by the Affected Owners/occupiers, are Required Prior to Works Commencing.
- Fire Hydrant Locations Must be Clearly Marked by an Indicator Plate Affixed at a Convenient Location Close to the Hydrant Position, in Accordance with BS 3251:1976.
- All Hydrants to be Connected to a Water Service Pipe Capable of Delivering Water at a Flow Rate in Accordance with the Requirements of the Scottish Fire & Rescue Service.
- All Fire Hydrants (In-line or Terminal) to be Installed to BS 750:2012.
- Where the Installation is within a Roadway or Surfaced Footpath, the Work and Subsequent Reinstatement will be Undertaken in Accordance with the Requirements of the New Roads and Street Works Act 1991.
- Where water mains or property connections are below areas where vehicles will park, such as driveways or on-street parking areas, barrier pipe and barrier pipe fittings must be used.

WATER MAINS LEGEND

- Proposed Water Main
- Communication Pipe - 25mm PE
- Communication Pipe - ALPE/AL Barrier Pipe - 32mm
- Communication Pipe (in duct) - 25mm
- Communication Pipe - ALPE/AL Barrier Pipe (in duct) - 32mm
- Duct
- Private Supply (PE)
- Private Supply (PE/ALPE Barrier)
- Existing Distribution Main
- Sch/FH Combined Fire & Scour Hydrant
- Sch Scour Hydrant
- FH Fire Hydrant
- SV Sluice Valve (Anti-clockwise Closing)
- Stopcock (Adoptable)
- Stopcock (Private)
- Double Check Valve (DCV)



Issue	Revision	Initial	Date
E	Development layout plan updated to realign remote footpath to connect to existing Phase 6 remote footpath.	JMA	16/07/25
D	32mm plot connections changed to 25mm at the request of Scottish Water. Sprinkler tank connections to remain at 32mm.	JMA	04/07/25
C	Development layout plan updated. Water main layout updated accordingly.	JMA	17/06/25
B	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25

Cameron + Ross

CIVIL + STRUCTURAL ENGINEERING

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T: 01224 642 400 | W: cameronross.co.uk

Mulberry House | 39-41 Harbour Road | Inverness | IV1 1UF
T: 01463 570 100 | W: cameronross.co.uk

Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, AInness

Drawing Title:
Water Main Deed &
Servitude Plan

Status:
Planning

Scale: 1:500 @ A2 Date: 22/10/24

By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-500 Rev. E





FIGURED DIMENSIONS ONLY TO BE USED

Site Levels Legend:

- Major Contours (0.5m Intervals)
- Minor Contours (0.1m Intervals)
- Proposed Retaining Walls with Height of Wall Indicated
- Plot Boundaries and Extents of Slopes with Proposed Levels
- FFL XX.XXX Proposed Finished Floor Levels
- Slope Gradient Markers Relevant to Proposed Finished Ground Levels

E	Development layout plan updated to realign remote footpath to connect to existing Phase 6 remote footpath.	JMA	17/07/25
D	Finished site levels, contours and slope gradient markers updated to reflect alterations to development layout.	JMA	17/06/25
C	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	26/02/25
B	Finished site levels, contours and slope gradient markers updated at Plots 33/34.	JMA	04/12/24
A	Finished site levels, contours and slope gradient markers updated to reflect alterations to SuDS infiltration basin.	JMA	31/10/24
Issue	Revision	Initial	Date

Cameron + Ross
CIVIL + STRUCTURAL ENGINEERING
Forbes House | 15 Victoria Street | Aberdeen | AB10 1XB
01224 642 400 | w cameronross.co.uk
Mulberry House | 39-41 Harbour Road | Inverness | IV1 1UF
01463 570 100 | w cameronross.co.uk

Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Finished Site Levels

Status:
Planning

Scale: 1:500 @ A2 Date: 09/10/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-600 Rev. E

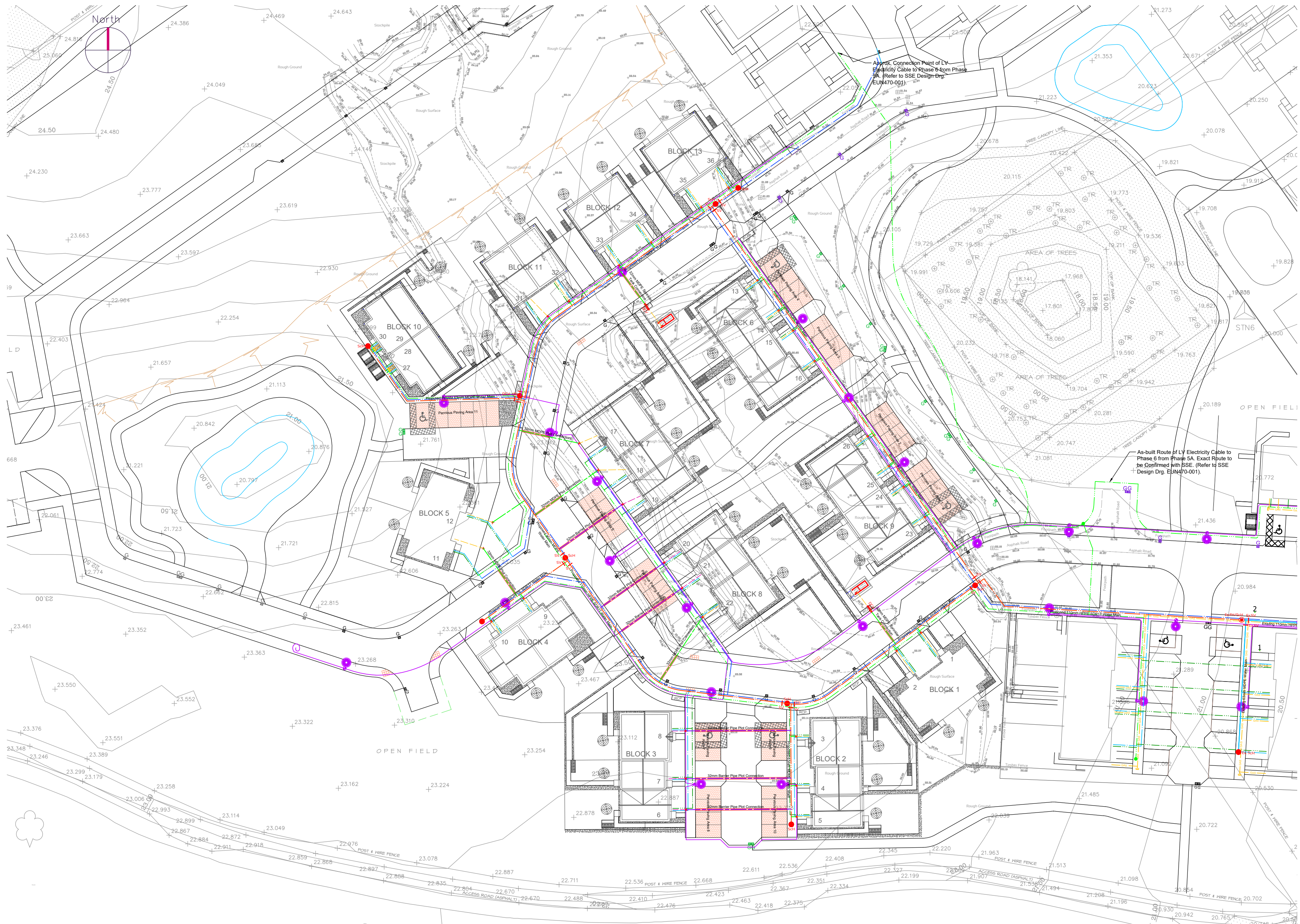
FIGURED DIMENSIONS ONLY TO BE USED

Utilities Notes:

1. This drawing is indicative only and should not be used for construction purposes. Please refer to specific utilities providers design drawings, as noted below.
2. For approved detailed water main design refer to Cameron & Ross Drg. No. 935.
3. For full street lighting design refer to Highland Council Drg. No. ALN/084.
4. For full electricity design refer to SSE Drg. No: EUN470/001.
5. For full gas design refer to SGN Drg. No: 2195981.
6. For full BT Openreach design refer to Drg. No. G83HK - AIG_00C.

Utilities Legend:

- BT Ducts (90mm)
- BT Ducts (50mm)
- LP Gas Mains (90mm PE)
- LP Gas Mains (63mm PE)
- Gas Plot Connections (Size TBC)
- HV Electricity Main (3C 150mm² Polymeric 11KV)
- LV Electricity Main (3C 185mm² Wavecon)
- Electricity Service Connection (Single Phase)
- Water Mains
- Communication Pipes
- Communication Pipes in Ducts
- Duct
- Existing Water Main
- Combined Fire & Scour Hydrant
- Scour Hydrant
- Fire Hydrant
- Sluice Valve (Anti-clockwise Closing)
- Stopcock
- Street Lighting Cables & Columns (Adopted Streets and Parking Areas)



Issue	Revision	Initial	Date
C	Development layout plan updated to redesign remote footpath to connect to existing Phase 6 remote footpath.	JMA	17/07/25
B	Indicative utilities routes updated to correspond with revised development layout plan.	JMA	17/06/25
A	Development layout plan updated for relocation of firefighting sprinkler tanks.	JMA	28/02/25

Cameron + Ross
CIVIL + STRUCTURAL ENGINEERING

Forbes House | 15 Victoria Street | Aberdeen | AB10 1XB
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Mulberry House | 39-41 Harbour Road | Inverness | IV1 1UF
t 01463 570 100 | w cameronross.co.uk

Client:
Albyn Housing Society

Project:
Housing Development
Phase 7
Dalmore, Alness

Drawing Title:
Indicative Combined Utilities
Plan

Status:
Information

Scale: 1:500 @ A2 Date: 10/12/24
By: JMA Checked: JMA Approved: RAG

Dwg. No. 240574-000-CAM-DR-C-710 Rev. C

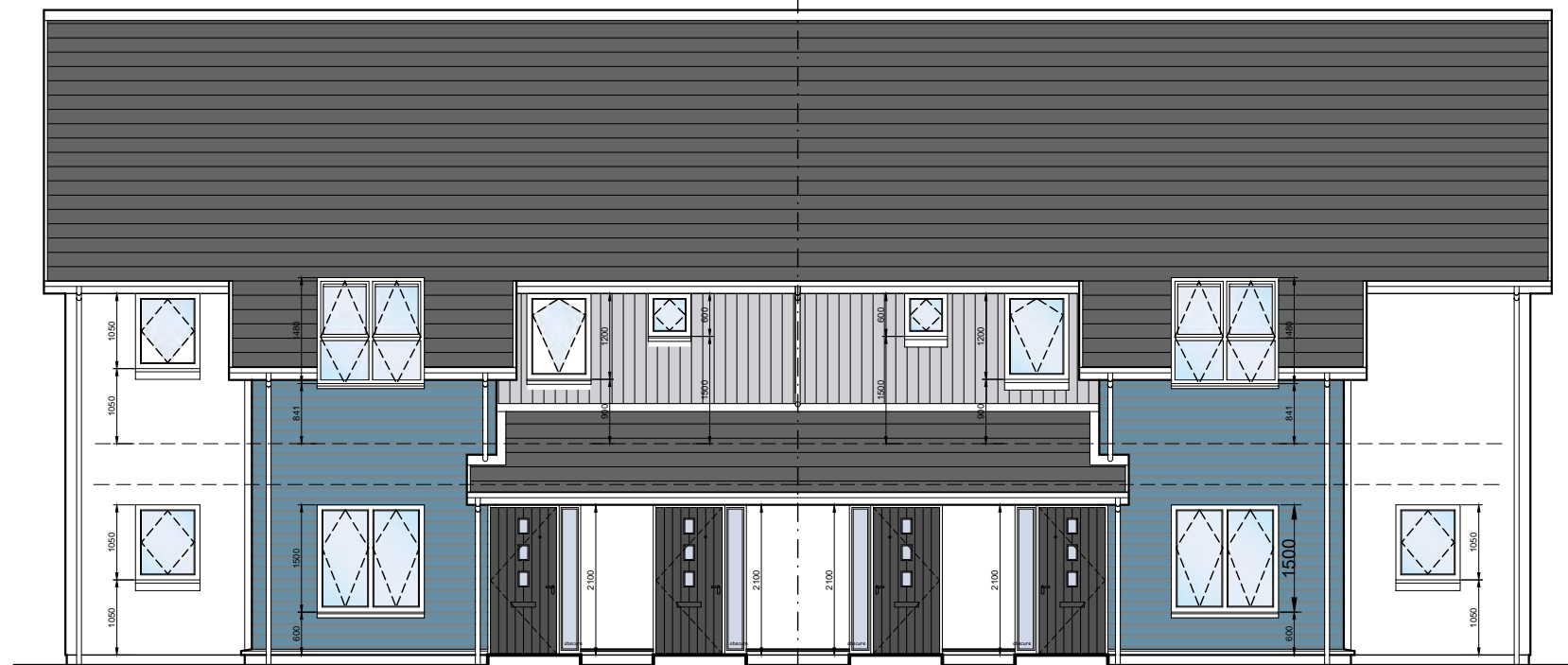
Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

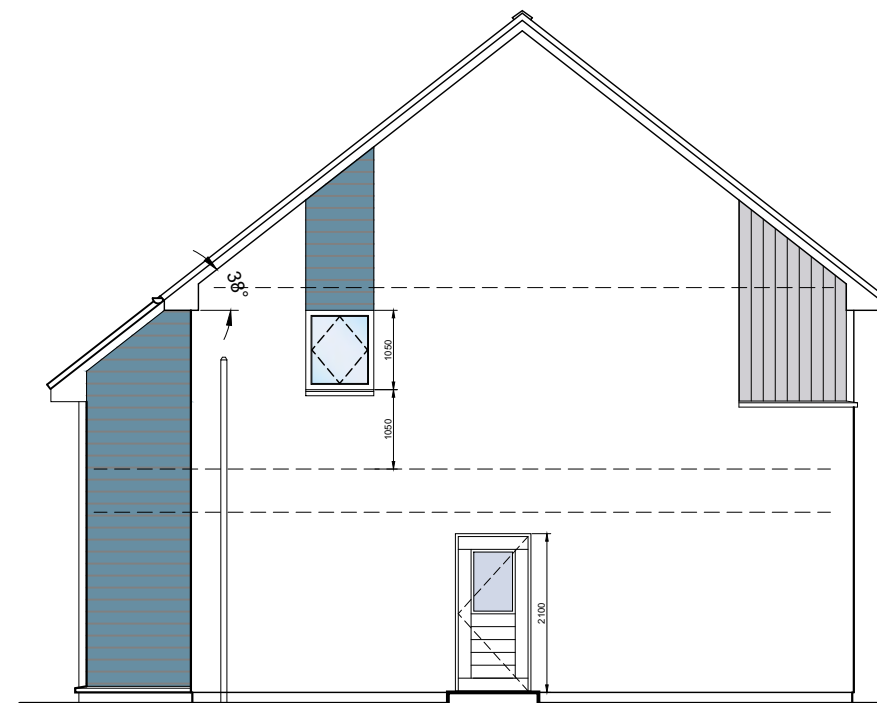
Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol **▲**.

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

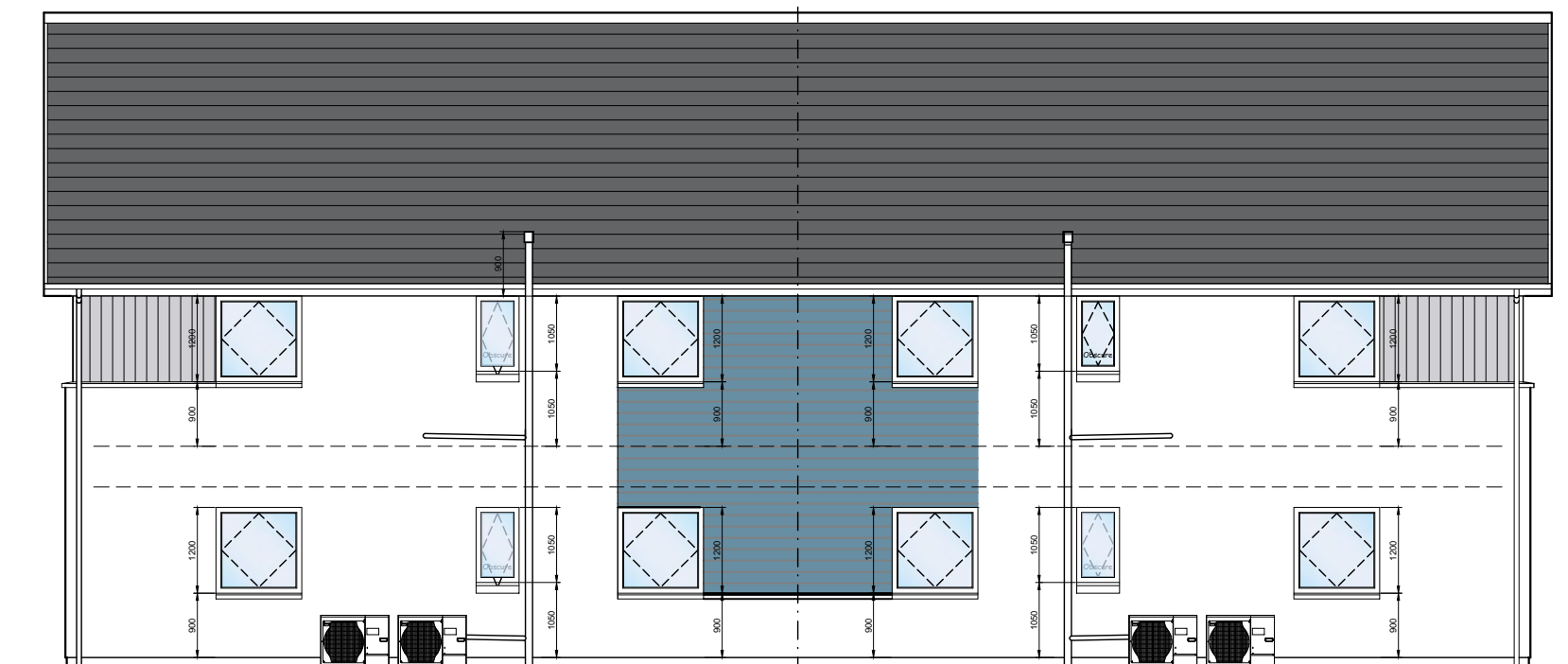
Measures to minimise residual hazards will be reviewed on a regular basis.



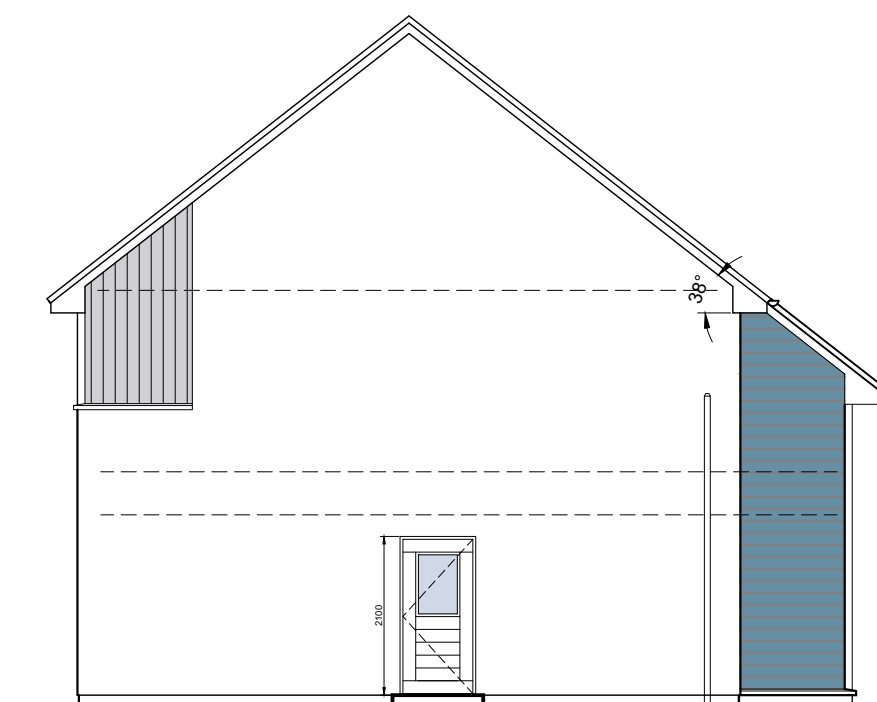
FRONT ELEVATION



GABLE ELEVATION

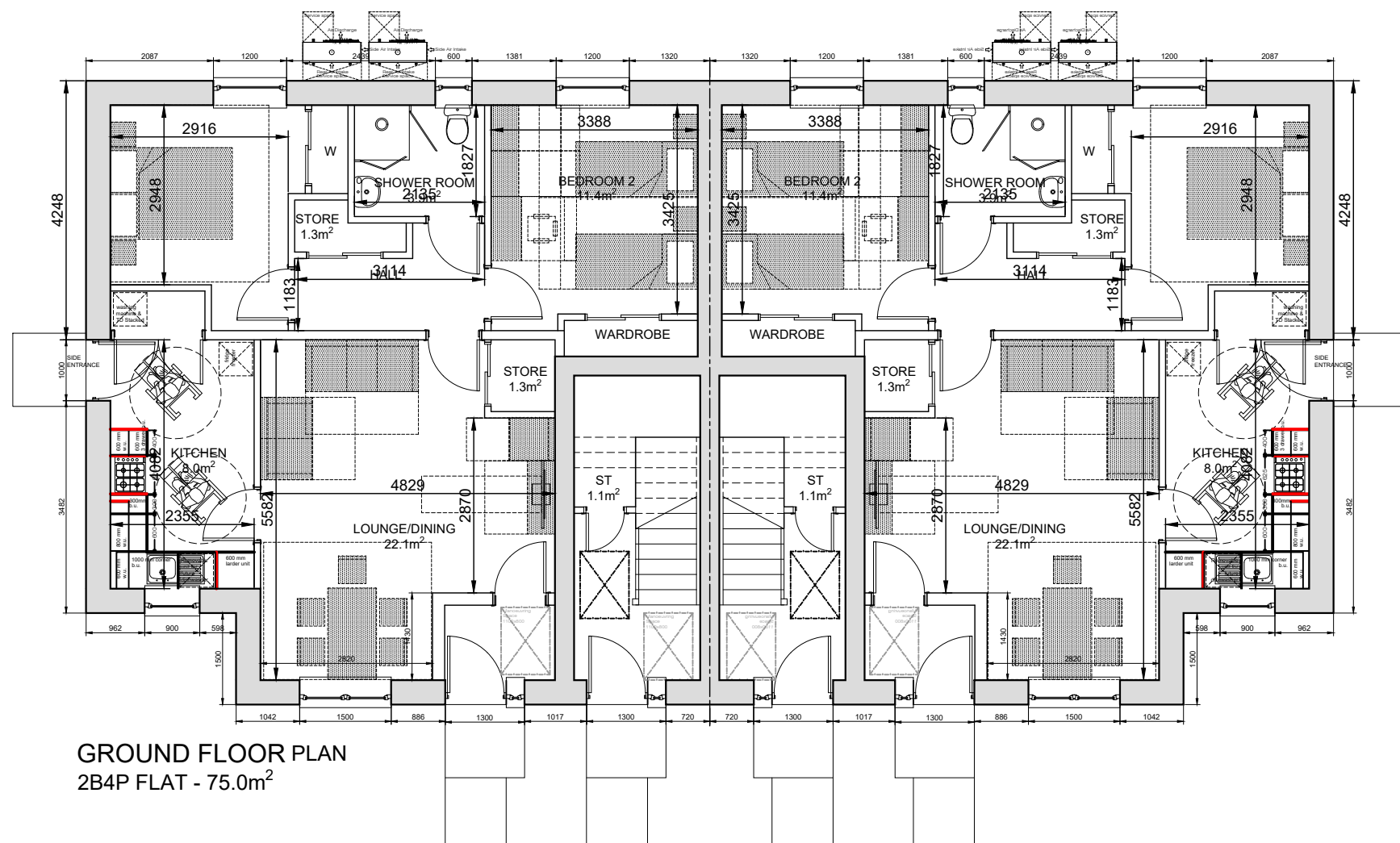


FRONT ELEVATION

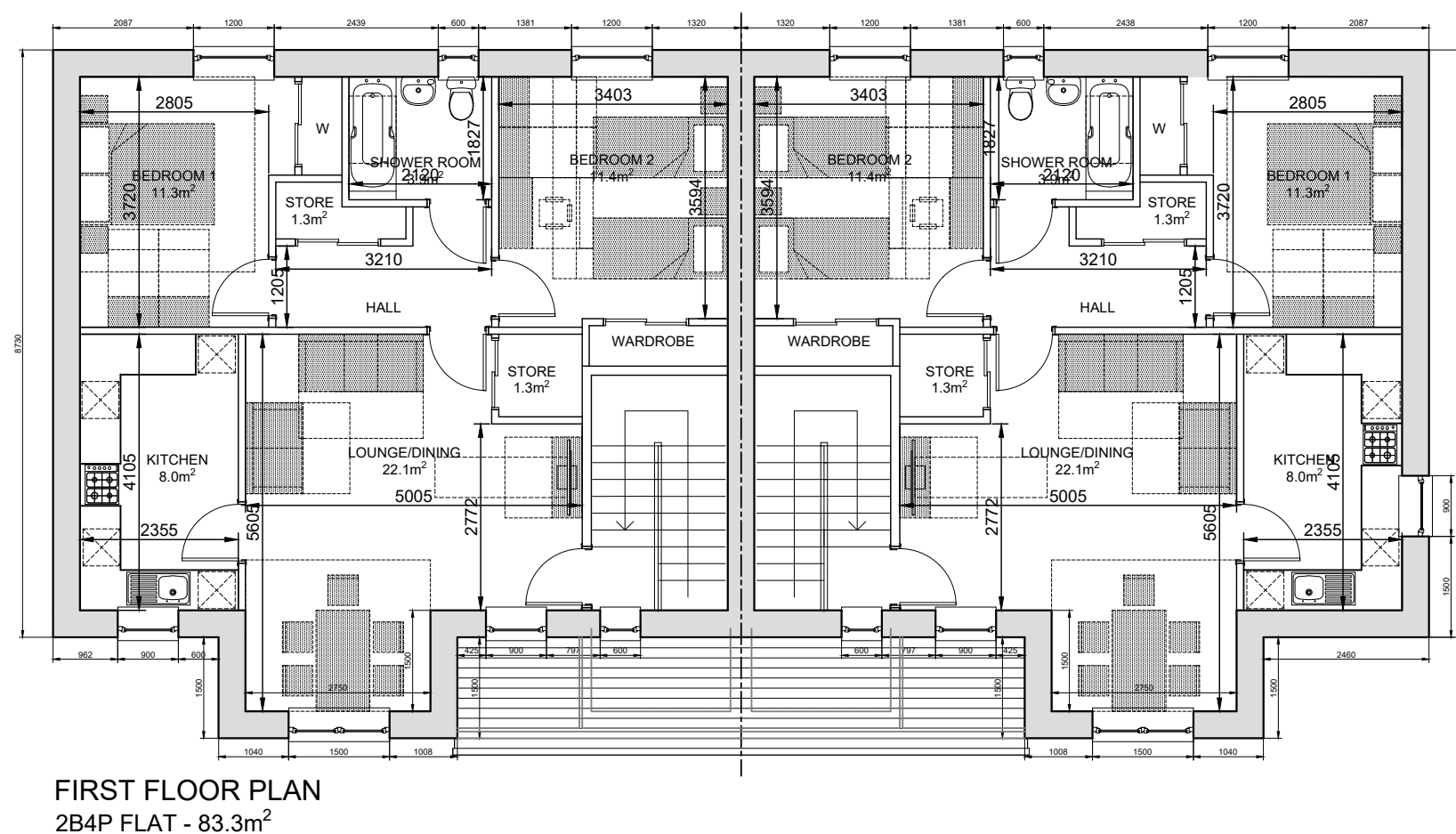


GABLE ELEVATION

Roof	Concrete interlocking roof tiles
	Colour - Anthracite
	Proprietary dry verge
Windows	High performance uPvc double glazed units
	Colour - White
	DM14 front door - Colour Anthracite
Doors	DMG3 rear door - Colour White
	System Render - K rend or similar
	Colour - White
Wall	Eternit Cladding
	Ocean Blue - C73
	Silver Grey - C51



GROUND FLOOR PLAN
2B4P FLAT - 75.0m²



FIRST FLOOR PLAN
2B4P FLAT - 83.3m²

B	15.07.25	PLAN & ELEVATIONS UPDATED WITH WIDOWS ON GABLE	MJ
A	23.09.24	CLARIFIED ELEVATIONS FOR PLANNING SUBMISSION	JS
REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

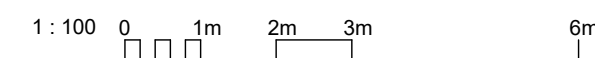
38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

DALMORE, ALNESS
PHASE 7
ALBYN HOUSING SOCIETY

2B4P FLAT - PLAN AND ELEVATIONS

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	MJ
PAPER SIZE:	A2	DATE:	Jul 2025
DWG No.	5074-01-100	REV.	B



Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol .

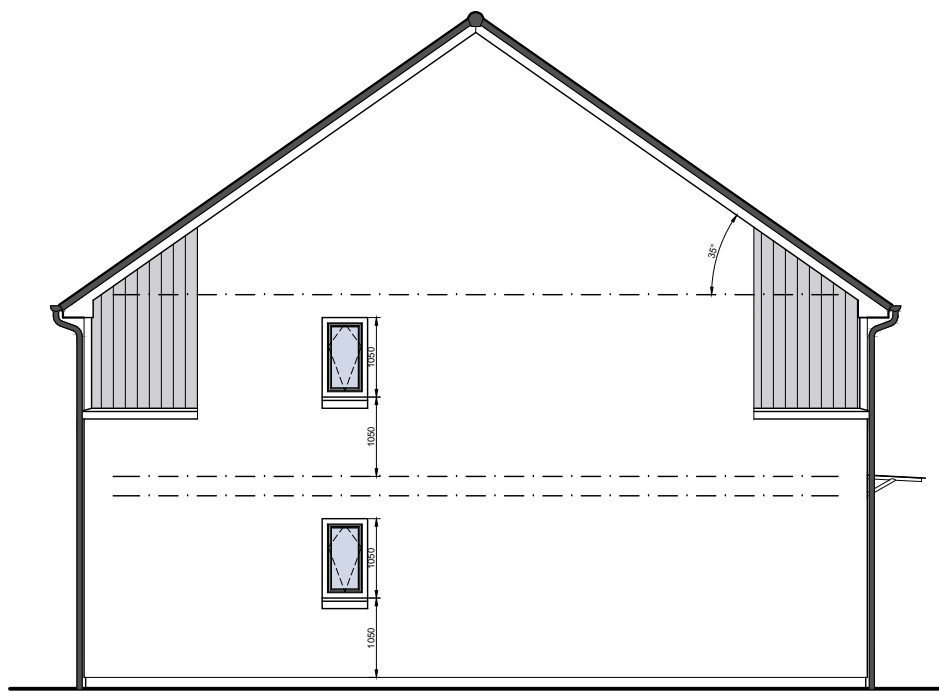
It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

- Roof** Concrete interlocking roof tiles
Colour - Anthracite
- Proprietary dry verge
Colour - Anthracite
- uPvc soffits/fascias
Colour - White
uPVC rainwater goods
Colour - Black
- Windows** High performance uPvc double glazed units
Colour - White
- Doors** High performance Diamond Composite
DM14 front door - Colour Anthracite
DMG3 rear door - Colour White
- Wall** System Render - K rend or similar
Colour - White
- Eternit Cladding
Ocean Blue - C73
Silver Grey - C51



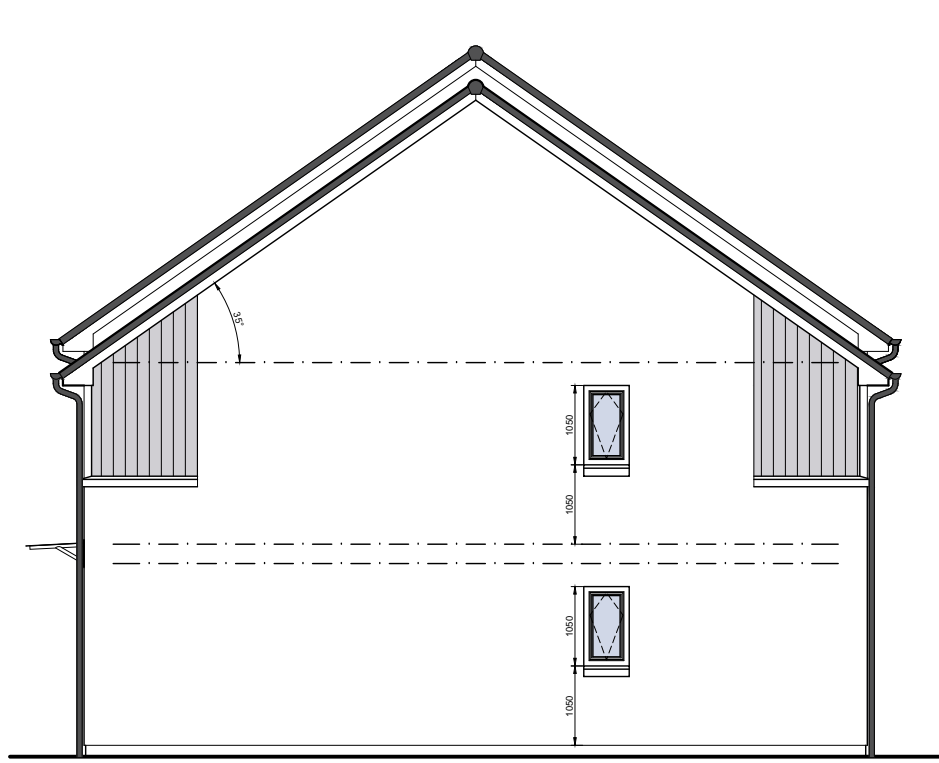
REAR ELEVATION



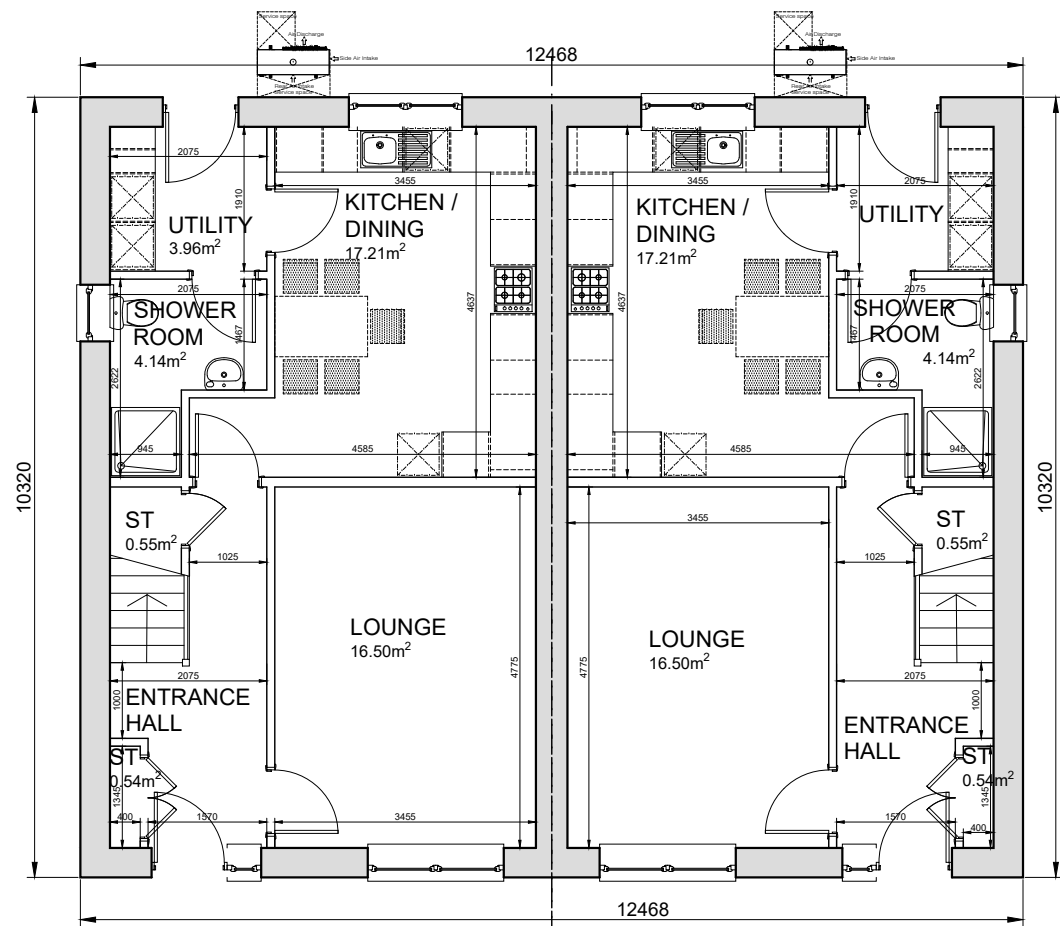
GABLE ELEVATION



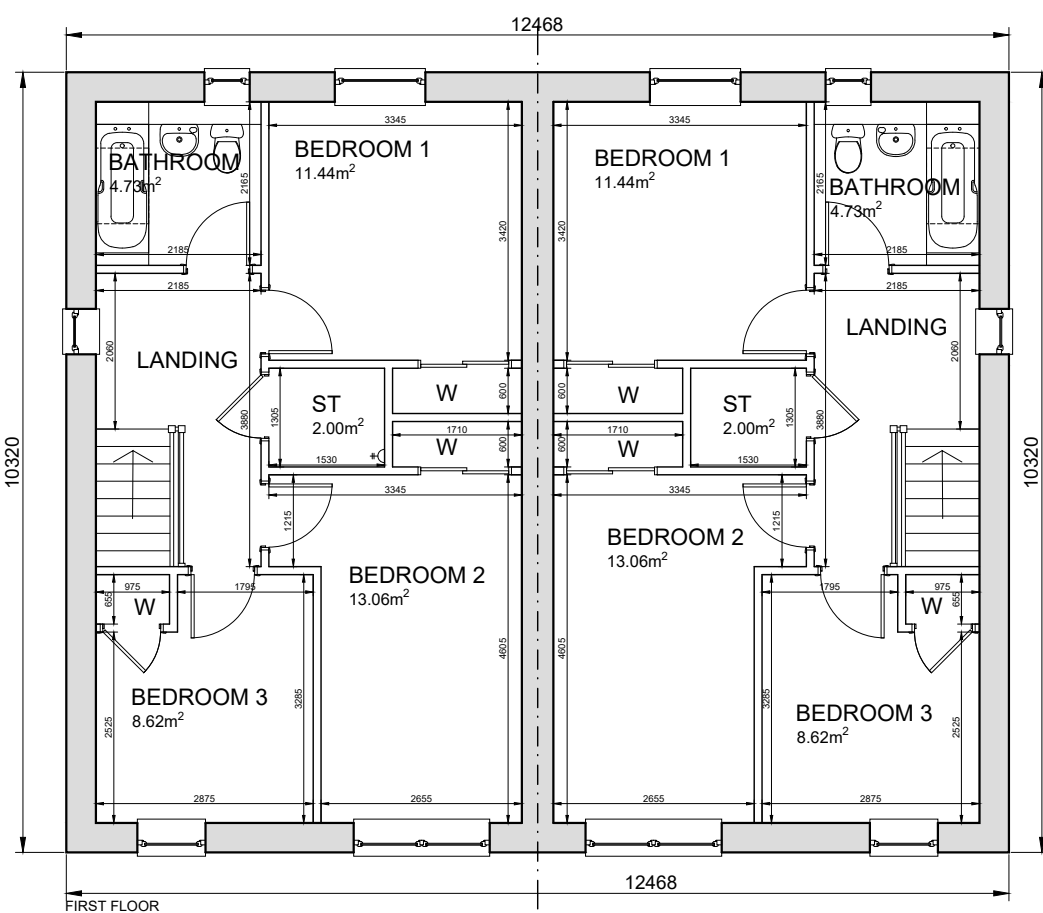
FRONT ELEVATION



GABLE ELEVATION



GROUND FLOOR
THREE BED FIVE PERSON VILLA
GFA: 107.52m²



FIRST FLOOR

B	06.01.25	CLARIFIED ELEVATIONS AND PLANS TO MATCH WARRANT	JS
A	23.09.24	CLARIFIED ELEVATIONS FOR PLANNING SUBMISSION	JS
REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

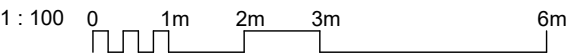
DALMORE, ALNESS
PHASE 7
ALBYN HOUSING SOCIETY

3B5P VILLA - PLAN AND ELEVATIONS

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	MJ
PAPER SIZE:	A2	DATE:	Jul 2025

DWG No.	5074-01-200	REV.	B
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Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol .

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.

- Roof** Concrete interlocking roof tiles
Colour - Anthracite
- Proprietary dry verge
Colour - Anthracite
- uPvc soffits/fascias
Colour - White
uPVC rainwater goods
Colour - Black
- Windows** High performance uPvc double glazed units
Colour - White
- Doors** High performance Diamond Composite
DM14 front door - Colour Anthracite
DMG3 rear door - Colour White
- Wall** System Render - K rend or similar
Colour - White
- Eternit Cladding
Ocean Blue - C73
Silver Grey - C51

B	06.01.25	CLARIFIED ELEVATIONS AND PLANS TO MATCH WARRANT	JS
A	23.09.24	CLARIFIED ELEVATIONS FOR PLANNING SUBMISSION	JS
REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
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15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

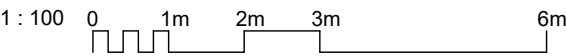
DALMORE, ALNESS
PHASE 7
ALBYN HOUSING SOCIETY

4B6P VILLA - PLAN AND ELEVATIONS

STATUS: **PLANNING**

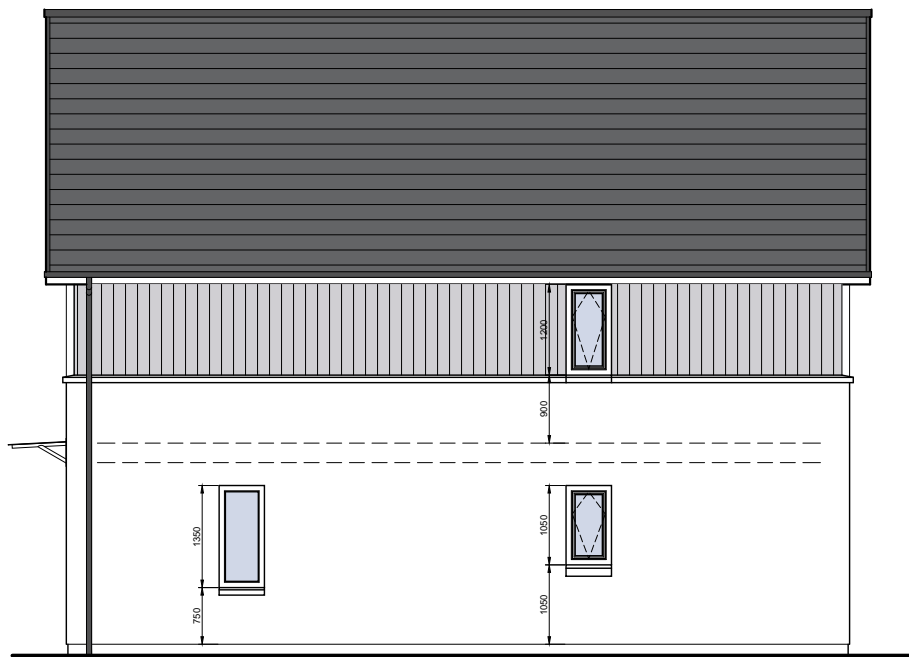
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PAPER SIZE:	A2	DATE:	Jul 2025

DWG No.	5074-01-300	REV.	B
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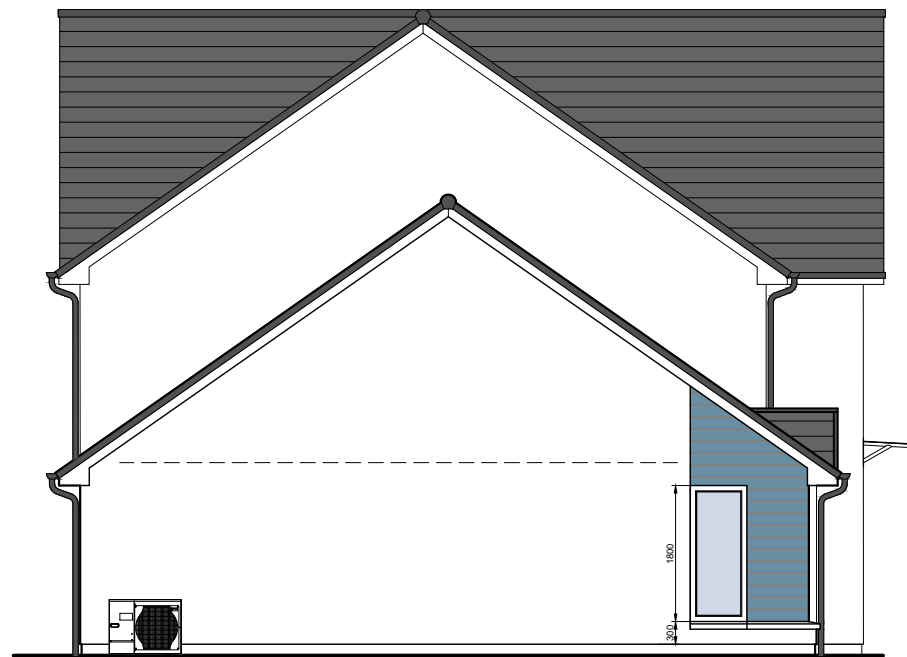




FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION

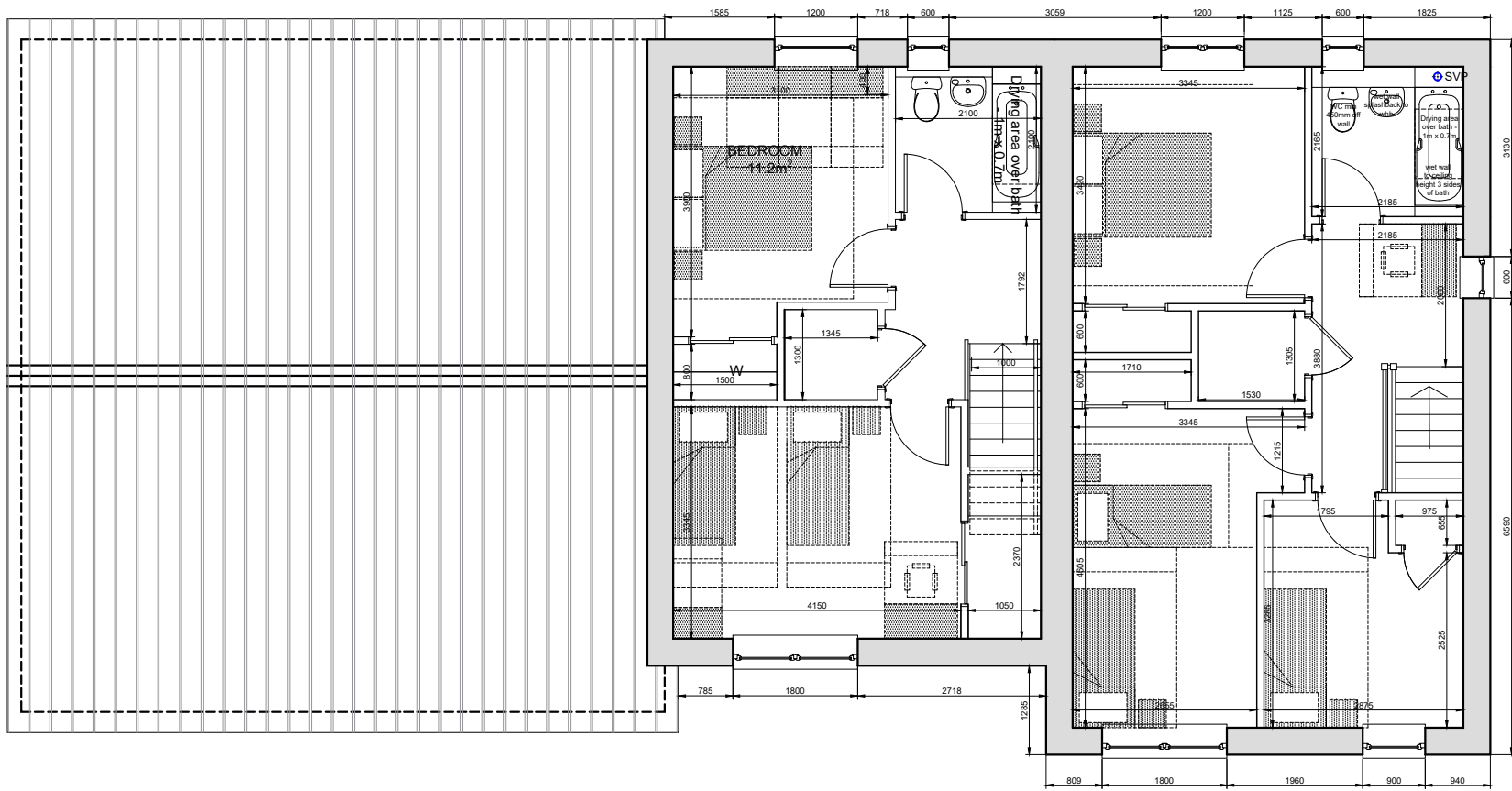
Note to Designers and Contractors

Under the CDM2015 regulations BSC has sought to eliminate or reduce risks where possible as part of the design process.

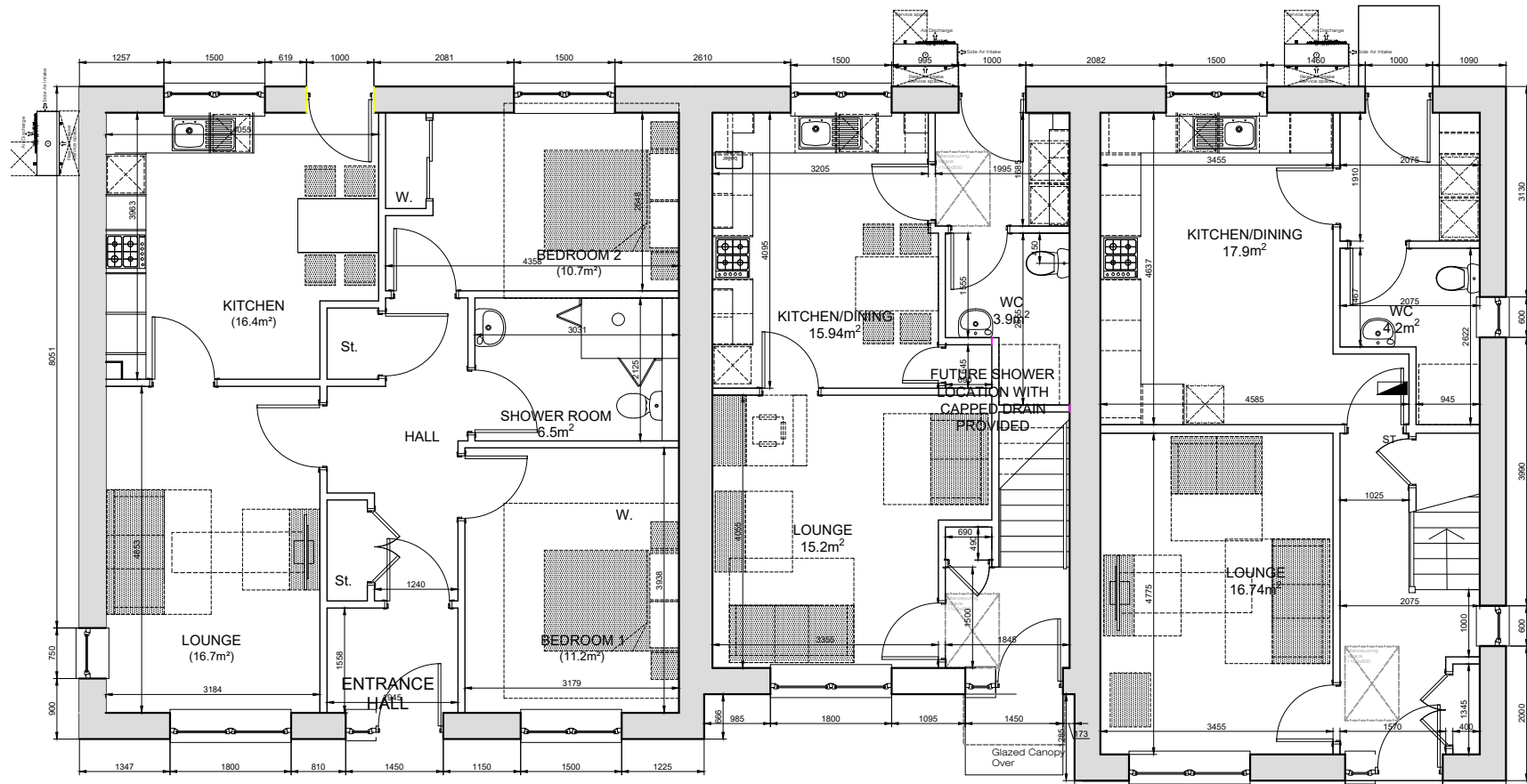
Significant residual risks, or areas of work that require special attention during construction, which have been identified by BSC, are indicated on project drawings by the following symbol

It is anticipated that other designers and contractors will co-operate to identify any potential construction hazards and to eliminate them where possible.

Measures to minimise residual hazards will be reviewed on a regular basis.



REAR ELEVATION



GROUND FLOOR PLAN
2B4P BUNGALOW - 73.5m²

GROUND FLOOR PLAN
2B4P VILLA - 44.0m²

GROUND FLOOR PLAN
3B5P VILLA - 50.8m²

TOTAL AREA = 151.2m²

- Roof** Concrete interlocking roof tiles
Colour - Anthracite
- Proprietary dry verge
Colour - Anthracite
- uPvc soffits/fascias
Colour - White
- uPVC rainwater goods
Colour - Black
- Windows** High performance uPvc double glazed units
Colour - White
- Doors** High performance Diamond Composite
DM14 front door - Colour Anthracite
DMG3 rear door - Colour White
- Wall** System Render - K rend or similar
Colour - White
- Eternit Cladding
Ocean Blue - C73
Silver Grey - C51

C	15.07.25	FLOOR PLAN AND ELEVATIONS UPDATED TO INCLUDE WINDOW ON GABLE AT BOTTOM OF STAIRS	MJ
B	06.01.25	CLARIFIED ELEVATIONS AND PLANS TO MATCH WARRANT	JS
A	23.09.24	CLARIFIED ELEVATIONS FOR PLANNING SUBMISSION	JS
REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

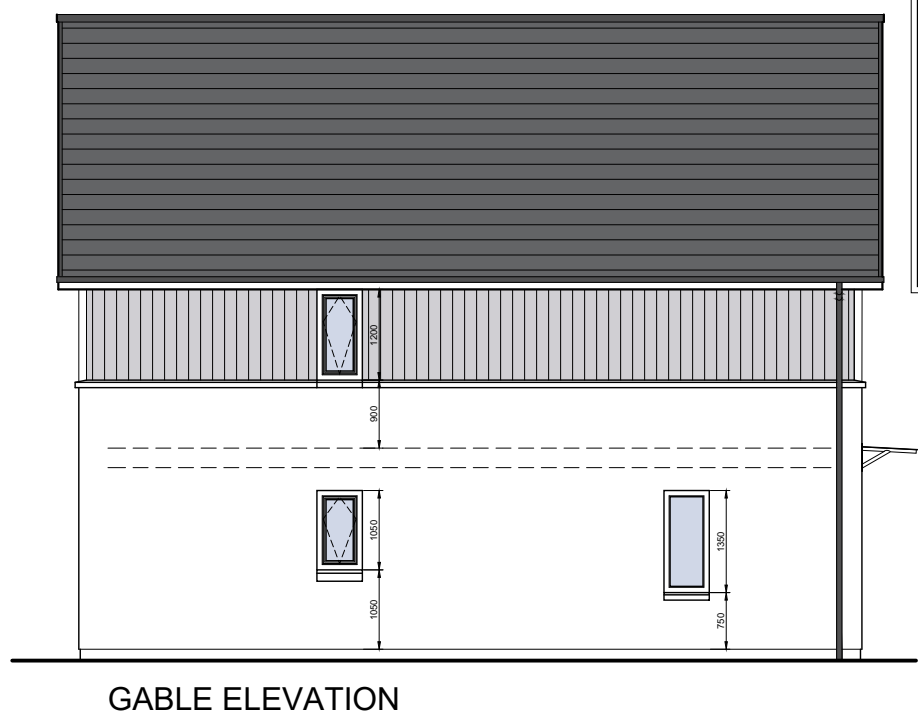
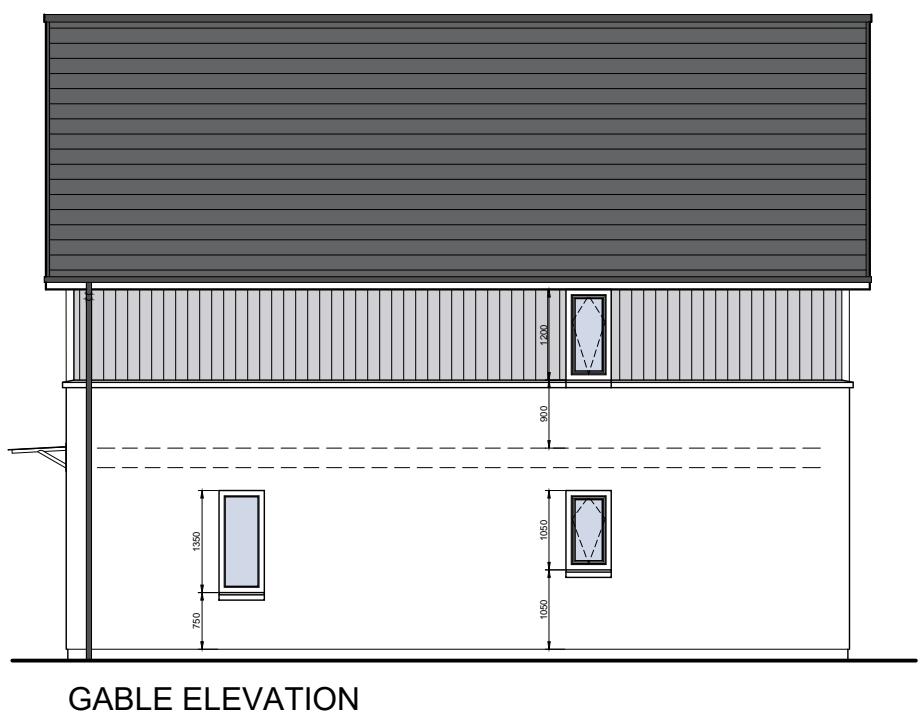
DALMORE, ALNESS
PHASE 7
ALBYN HOUSING SOCIETY

2B4PB 2BP4V & 3B5PV - PLAN AND ELEVATIONS

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	MJ
PAPER SIZE:	A2	DATE:	Jul 2025
DWG No.	5074-01-400	REV.	C

1 : 100 0 1m 2m 3m 6m



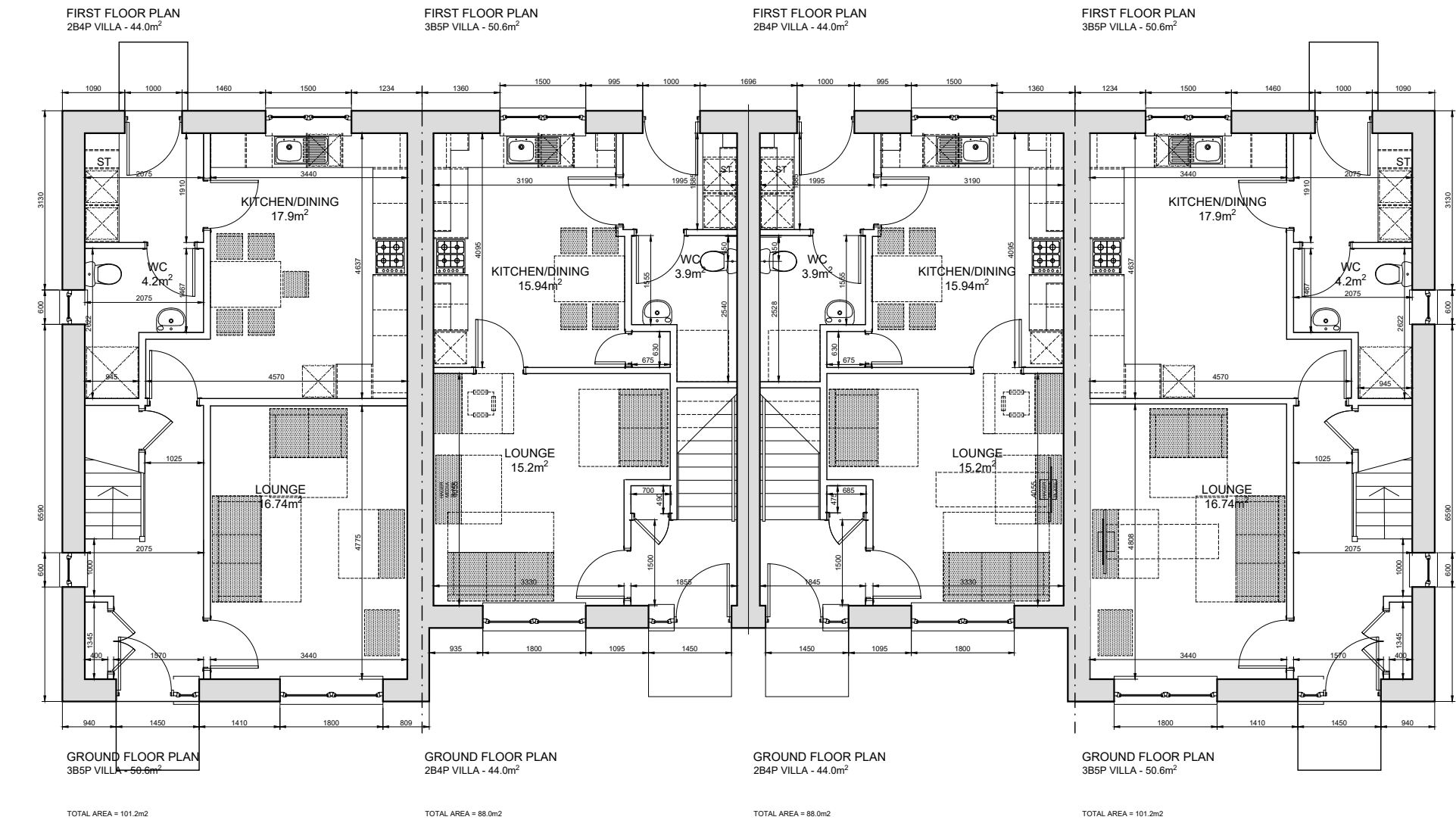
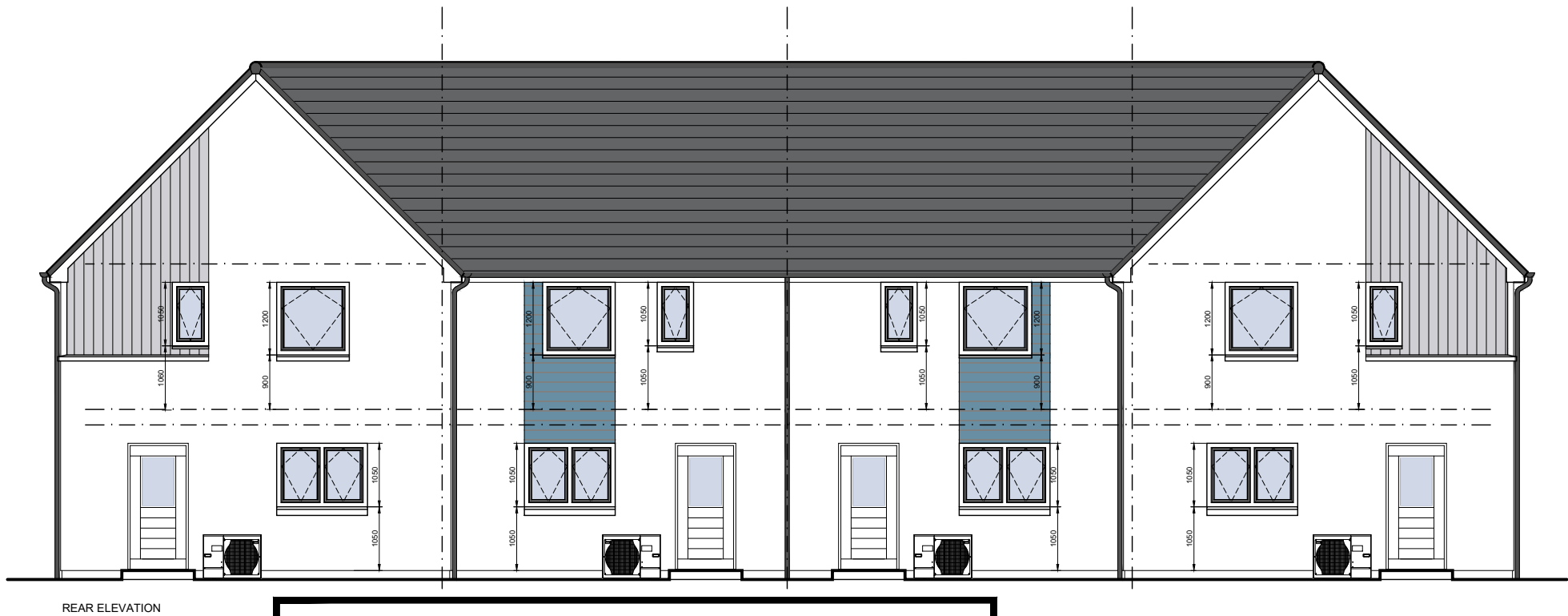
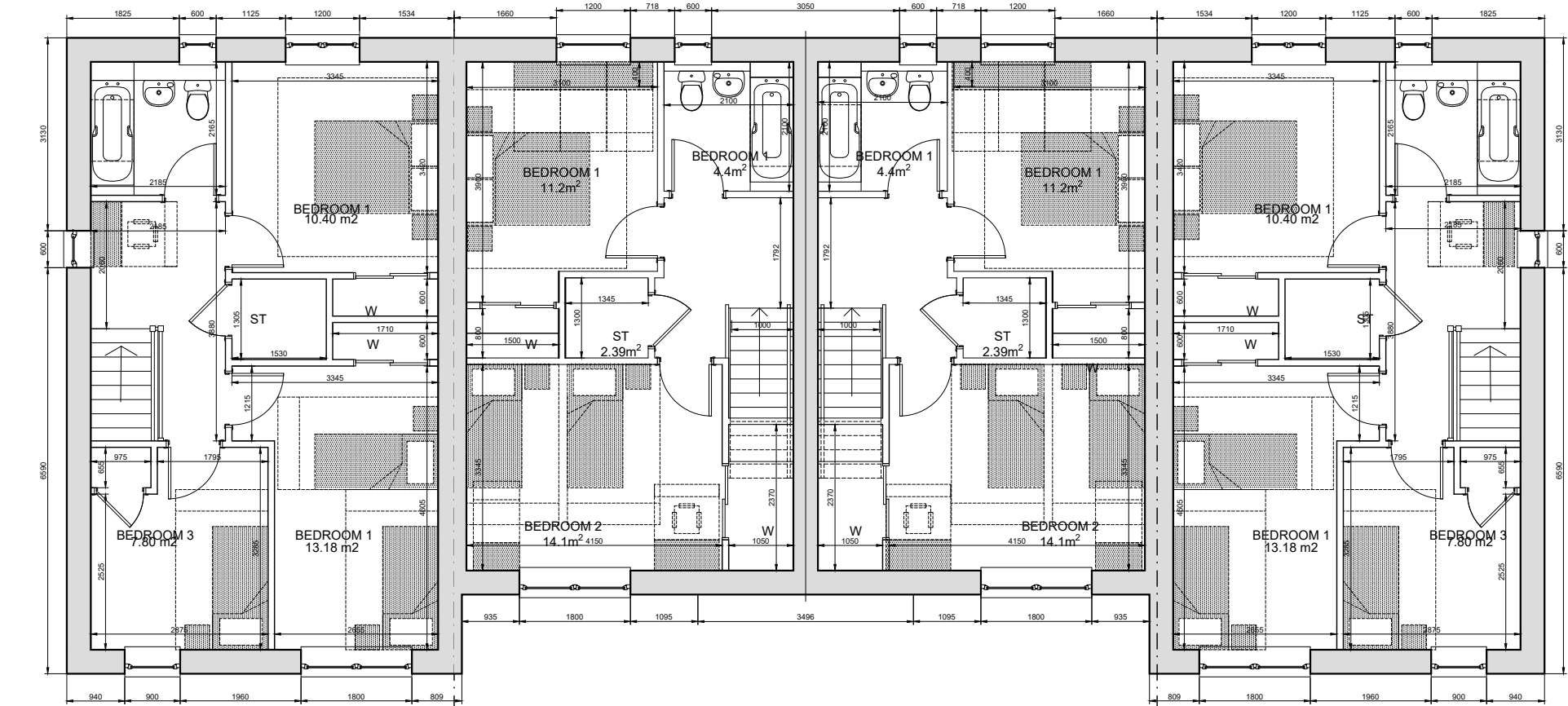
Note to Designers and Contractors

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Measures to minimise residual hazards will be reviewed on a regular basis.



Roof	Concrete interlocking roof tiles Colour - Anthracite
	Proprietary dry verge Colour - Anthracite
	uPvc soffits/fascias Colour - White
	uPVC rainwater goods Colour - Black
Windows	High performance uPvc double glazed units Colour - White
Doors	High performance Diamond Composite DM14 front door - Colour Anthracite DMG3 rear door - Colour White
Wall	System Render - K rend or similar Colour - White
	Eternit Cladding Ocean Blue - C73 Silver Grey - C51

C	15.07.25	PLANS AND ELEVATIONS UPDATED TO INCLUDE WINDOW ON GABLE	MJ
B	06.01.25	CLARIFIED ELEVATIONS AND PLANS TO MATCH WARRANT	JS
A	23.09.24	CLARIFIED ELEVATIONS FOR PLANNING SUBMISSION	JS
REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILlicouLTRY, FK13 6EF 01259 750301
5 NESS BANK, INVERNESS, IV2 4SF 01463 233760
15 LOCHSIDE STREET, OBAN, PA34 4HP 01631 359054

DALMORE, ALNESS
PHASE 7
ALBYN HOUSING SOCIETY

2B4PV & 3B5PV - PLAN AND ELEVATIONS

STATUS: **PLANNING**

SCALE:	1 : 100	DRAWN:	JS
PAPER SIZE:	A2	DATE:	Jul 2025
DWG No.	5074-01-500	REV.	C

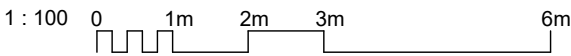




IMAGE 1 - Plots 23-26



IMAGE 2 - Plots 6-8 with Gable of Plots 3 & 22



IMAGE 3 - Plots 20 - 22



IMAGE 4 - Plots 17 - 19



3D SITE IMAGE LOOKING NORTH WEST



3D SITE IMAGE LOOKING SOUTH EAST



IMAGE 5 - Plots 13-16



IMAGE 6 - Plots 13-16



IMAGE 7 - Plots 11 & 12 Looking to Flats Plot 27



IMAGE 8 - Plots 31-36 Looking to Flats

A	22.07.25	IMAGES UPDATED TO SHOW REVISED ROAD GEOMETRY	MJ
REV	DATE	DESCRIPTION	DRN

Bracewell Stirling CONSULTING

38 WALKER TERRACE, TILLCOUNTRY, FK13 6EF
5 NESS BANK, INVERNESS, IV2 4SF
15 LOCHSIDE STREET, OBAN, PA34 4HP

01259 750301
01463 233760
01631 359054

DALMORE, ALNESS
PHASE 7
ALBYN HOUSING SOCIETY

3D RENDERS

STATUS: **PLANNING**

SCALE:	NTS	DRAWN:	MJ
PAPER SIZE:	A1	DATE:	Jul 2025
DWG No.	5074-01-009	REV.	A