

Agenda Item	8.4
Report No	PLN/064/25

HIGHLAND COUNCIL

Committee: Norh Planning Applications Committee

Date: 26th November 2025

Report Title: 25/01536/FUL: The Highland Council
Land 150M SW Of Tesco, Mart Road, Dingwall

Report By: Area Planning Manager North

Purpose/Executive Summary

Description: Erection of 34 residential properties and associated works

Ward: 8 – Dingwall and Seaforth

Development category: Local

Reason referred to Committee: More than 30 houses

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 The application proposes the erection of 34 new units, following the demolition of existing housing stock within the Meiklefield development within west central Dingwall. Specifically, the application proposes the erection of 22 cottage flats (each with 2 bedrooms) (Type C and D), 6 cottage flats (Type B), 1 bungalow with 3 bedrooms (wheelchair accessible) and 5 houses (each with 3 bedrooms). The application site boundary also includes the proposed surface water drainage outfall route.
- 1.2 The Meiklefield development as a whole is a large-scale programme to replace 114 units with 117 units over a total of 8 phases, with Phase 1 already complete. Consent was granted in 30.06.2022 for an overall masterplan with demolition consent for the houses within this particular phase also now granted in January 2025. The phasing has altered since the granting of the PIP consent with this Phase now being larger in terms of number of units proposed however excluding areas for progressed for redevelopment on Gladstone Avenue which will be deferred to a later phase. The timescales for the project also appear to have slipped as it was originally envisaged the entire scheme would be complete by the end of 2025.
- 1.3 The units would be erected on the western section of Meiklefield Road and into Meiklefield Square, a cul de sac accessed to the east of Meiklefield Road which is bounded to the east by the A862. A small number of trees, which have been graded as in poor condition, will be removed as part of the development.
- 1.4 There was no pre-application consultation prior to the submission of this application.
- 1.5 The application is supported by a Tree Constraints Report and associated drawings, as well as Flood Risk Assessment. Following the initial submission of the application, a Transport Assessment was submitted in August 2025 with a Drainage Impact Assessment also submitted in September 2025.
- 1.6 Variations: An amended layout was submitted to reflect discrepancies in the proposed number of units on 25th July 2025. Detailed road and drainage layouts were also provided on 29th August 2025.

2. SITE DESCRIPTION

- 2.1 The site comprises the entirety of the housing to the western side of Meiklefield Road and the small pocket of housing within Meiklefield Square. These houses appear to be entirely unoccupied, boarded up and have fallen into disrepair. Paintwork has chipped and there are signs of vegetation on roof tiles. The existing housing consists mainly of two storey cottage flats with some areas of terraced housing. Each block has front and rear gardens bounded with low fencing to the front and high timber board fencing to the rear with some front gardens having been converted to form driveways.
- 2.2 The site lies within a relatively central position in Dingwall, north west of the High Street to the other side of the A862 from Tesco. The wider neighbourhood is bound by and accessed from the A834 to the west and south where Police Scotland and the Council's offices are located and Newton Road to the east, beyond which the

Tesco superstore lies alongside its large surface car park marking the northwest extent of Dingwall's defined Town Centre. The railway line and Wyvis Terrace demark the northern edge of Meiklefield. It is characterised by its residential nature. There are no landscape designations nor natural, built or cultural heritage designations covering the site and none of the buildings within the application site.

3. PLANNING HISTORY

3.1	14.01.2025	24/05141/DEM – Demolition of 8no. buildings	Prior Approval Not Required
3.2	30.06.2022	22/01126/PIP – Meiklefield Redevelopment Masterplan – Demolition of 114 residential units and erection of 117 residential units and associated infrastructure.	Application Permitted (Committee Decision)

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour

Date Advertised: 20th June 2025

Representation deadline: 4th July 2025

Timeous representations: 1

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Our property is adjacent to the proposed outlet for the surface water for the planned builds. We are concerned whether the current setup will be able to cope with additional runoff. During the last heavy flooding in 2019 where the surface water meets the tidal rise of the river over a couple of days, the water rose to the highest point we saw and was halfway up our boundary wall. During normal rainfall the levels rarely rise up to the top of the bank. With additional water runoff, tidal rises and the threat of more flooding to come in the future, we are concerned that our property will be at risk of major flooding. Has this possibility been considered and why are the other two run offs not being considered?

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 Dingwall Community Council did not respond to the consultation request.

5.2 Transport Planning initially objected to the application however this was withdrawn following receipt of additional information, subject to condition. The Transport Planning response is outlined in detailed within the access/parking sections of the planning assessment.

- 5.3 **Flood Risk Management Team** initially objected however this has been withdrawn following submission of further information, subject to condition.

Flood Risk

We have reviewed the Flood Risk Assessment (FRA) provided (Meiklefield Housing, FRA. Final Report version S3.P02. JBA Consulting. May 2025). This considers the flood risk from all sources and concludes that the replacement properties will not be at risk of flooding. Surface water flooding is predicted on Gladstone Avenue, directly to the south of the development, with a flood level of 5.26mAOD during a 1 in 200 year plus climate change return period event. The minimum finished floor level of the properties should therefore be 5.86mAOD to allow 600mm freeboard.

The FRA considers three potential options for the discharge of surface water drainage from the development. All three options involve discharge into the River Peffery, one directly via a new surface water pipe, and two indirectly via the Knockbain Burn culvert. The FRA assumes a surface water discharge rate of 8 l/s, though it is not clear how this has been derived. In all cases, during flood events on the river Peffery the drainage system is effectively tide locked, although as a precautionary approach flap valves have not been included in the modelling. The FRA demonstrates that the proposed drainage options do not result in increase in flood risk to the site or others.

Pre-development, surface water was directed to the combined sewer. By removing the site runoff from the sewer, there is a small reduction in flood extents on Gladstone Avenue, which is affected by flooding from the sewer.

DRAINAGE

v). We have reviewed the Drainage Impact Assessment (DIA) provided (Redevelopment Assessment of Meiklefield Dingwall – Phase 2. Drainage Statement Revision B. Ramsay & Chalmers. 09/07/2025). Surface Water will be drained via a new surface water sewer pipe through Pefferside Park to the River Peffery.

vi). SuDS will be provided within the house plots with discharge to the new sewer limited to 0.8l/s. This results in a total site discharge of 9.6 l/s (0.8 x 12 plots) which is a significant decrease in the pre-development rate of 26.7 l/s. This also reduces the discharge to the existing combined sewer and therefore reduces the likelihood of combined sewer overflow into the river.

vii). The in-plot drainage will be owned and maintained by The Highland Council's Housing department and the surface water sewer will be put forward for vesting by Scottish Water.

viii). We are content with the proposed surface water drainage arrangements and withdraw our objection to the application. We request a condition that the final surface water drainage design is submitted for review.

- 5.4 **Environmental Health** have no objections however require that conditions are attached regarding a construction noise mitigation scheme and to ensure air source heat pumps are in line with applicable noise standards.

- 5.5 **Development Plans Team** have no objections. The proposed development is in overall conformity with the approved development plan, subject to requirements for providing biodiversity enhancement on site. Developer contributions will not be

sought on the basis that this proposal is not for additional housing units and is for the removal of 34 homes to be directly replaced with 34 upgraded residential dwellings.

- 5.6 **Corporate Address Gazetteer** have no objections and highlight the street naming and numbering process to the applicable.
- 5.7 **Forestry Team** have objected to the application owing to the lack of Arboricultural Impact Assessment, Tree Protection Plan and landscaping proposals. [Officer Note: this information has been secured by condition]
- 5.8 **Scottish Water** have no objection and note there is sufficient capacity in both its water and wastewater networks for the proposed development. This should be confirmed by the developer through a pre-development enquiry form directly through Scottish Water.

6. **DEVELOPMENT PLAN POLICY**

The following policies are relevant to the assessment of the application

6.1 **National Planning Framework 4 (2023) (NPF4)**

Policy 1 - Tackling the Climate and Nature Crises
Policy 2 - Climate Mitigation and Adaptation
Policy 3 - Biodiversity
Policy 4 - Natural Places
Policy 6 - Forestry, Woodland and Trees
Policy 9 - Brownfield, Vacant and Derelict Land and Empty Buildings
Policy 13 - Sustainable Transport
Policy 14 - Design Quality and Place
Policy 15 - Local Living and 20 Minute Neighbourhoods
Policy 16 - Quality Homes
Policy 22 - Flood Risk and Water Management
Policy 27 - City, Town, Local and Commercial Centres

6.2 **Highland Wide Local Development Plan 2012 (HwLDP)**

28 - Sustainable Design
29 - Design Quality and Place-making
30 - Physical Constraints
31 - Developer Contributions
32 - Affordable Housing
34 - Settlement Development Areas
42 - Previously Used Land
51 - Trees and Development
52 - Principle of Development in Woodland
56 - Travel
57 - Natural, Built and Cultural Heritage
58 - Protected Species
59 - Other important Species
60 - Other Importance Habitats
64 - Flood Risk
65 - Waste Water Treatment

6.3 Inner Moray Firth Local Development Plan 2 (2024) (IMFLDP2)

Policy 1 – Low Carbon Development
Policy 2 – Nature Protection, Preservation and Enhancement
Policy 4 – Greenspace
Policy 5 – Green Networks
Policy 8 – Placemaking
Policy 9 – Delivering Development and Infrastructure
Policy 10 – Increasing Affordable Housing
Policy 14 – Transport

6.4 Highland Council Supplementary Planning Policy Guidance

Developer Contributions (March 2018)
Flood Risk and Drainage Impact Assessment (Jan 2013)
Physical Constraints (March 2013)
Public Art Strategy (March 2013)
Sustainable Design Guide (Jan 2013)
Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Designing Streets
Creating Places
Planning 1/2011 – Planning and Noise (Mar 2011)
PAN 61 – Sustainable Drainage Systems (Jul 2001)
PAN 68 – Design Statements (Aug 2003)
PAN 75 – Planning for Transport (Aug 2005)
PAN 77 – Designing for Safer Places (Mar 2006)
PAN 83 – Master Planning (Sept 2008)

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) siting and design including amenity impact

- c) access and parking
- d) drainage and flood risk
- e) climate change and biodiversity
- f) impact on infrastructure and services and proposed mitigation (developer contributions)
- g) any other material considerations

Development plan/other planning policy

- 8.4 The application requires to be considered against National Planning Framework 4 which was adopted in February 2023 and forms part of the development plan alongside the Highland-wide Local Development Plan and in this instance, the Inner Moray Forth Local Development Plan 2. The Planning Permission in Principle covering the wider site, which has effectively been enacted following full consent being issued for Phase 1, has established the principle of development however the detail presented requires to be assessed against the aforementioned policy context with NPF4 and IMFLDP2 both having been consented subsequent to the site-wide PIP.
- 8.5 With no site-specific allocation the applications require to be assessed against the general policies listed in the IMFLDP2, HwLDP and NPF4.
- 8.6 The site is within the Dingwall Settlement Development Area (SDA) defined by the adopted Inner Moray Firth Local Development Plan, therefore the principal general policies against which the application requires to be assessed are Highland-wide Local Development Plan Policies 34 for Settlement Development Areas, 28 for Sustainable Design, and 29 for Design Quality and Placemaking.
- 8.10 These Policies set out the Council's support for development within SDAs that promote and enhance the social, economic, and environmental wellbeing of the people of Highland. As such, the design for sustainability criteria of Policy 28 for the assessment of all applications are key determining issues. Of particular relevance to this application are criteria relating to sensitive siting and high-quality design in keeping with local character while conforming with existing and approved adjacent land uses; impacts on community and residential amenity; impacts on community and residential amenity; compatibility with public service provision; accessibility; maximise energy efficiency; and reduce waste. These considerations are reinforced through Policy 29, which emphasises good design by requiring developments to be judged according to their contribution to the visual and architectural quality of the place they are located, as well as to Council place-making objectives by being an integral part of the settlement while housing developments within SDAs should focus on pedestrian movements.
- 8.11 In addition to the above, HwLDP Policy 56 for Travel requires proposals that are likely to generate increased travel activity at the location should include sufficient information in order that the impact of this, both on- and off- site, may be assessed. Key considerations include, availability of public transport modes, opportunities for walking and cycling, safety and convenience of potential users, access, and parking.

- 8.12 Finally, Policies 64 (Flood Risk), 65 (Waste Water Treatment), and 66 (Surface Water Drainage) seek to ensure that sites are not at risk of flooding or causing flooding elsewhere by avoiding areas of known flood risk in the first instance and including appropriate mitigation where required. Developments must meet standards to minimise the risks of flooding and pollution by being properly drained either through connection to the public sewer and / or being drained through appropriate SUDS arrangements.
- 8.13 All development also now requires to be assessed against Policy 1 of NPF4 'Tackling the climate and nature crises' which states that when considering development proposals significant weight will be given to global and climate nature crises with the intent of the policy being to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis. The intended policy impacts include promoting local living and compact urban growth. Under NPF4 Policy 2, development proposals should be sited and designed to minimise lifecycle greenhouse gas emissions as much as possible
- 8.14 Policy 3 relating to biodiversity also applies to all development proposals. This seeks to protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks. For local developments such as this one Policy 3 (c) states that proposals for local development will include measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance. Measures should be proportionate to the nature and scale of development
- 8.15 The national approach to housing development is set out through Policy 14 which supports development that is consistent with the six qualities of successful places as well as Policy 15 which supports development that is consistent with the principles of local living and 20-minute neighbourhoods. Additionally, Policy 16 supports the delivery of high quality, sustainable homes that meet the needs of people throughout their lives. In particular, it supports proposals for new homes that improve affordability and choice by being adaptable to changing and diverse needs, and which address identified gaps in provision. The proposal is considered against the above matters below:

Siting and Design including amenity impacts

- 8.16 Planning permission for the wider Meiklefield housing site was initially granted in 2022 with a subsequent demolition consent issued for this particular phase in January 2025. The initial consent and the detailed application for Phase 1 examined the approach to demolition and rebuild as opposed to refurbishing the existing houses, with the latter noting that *'the benefits of providing homes to current standards and providing a mix of homes better able to cater for housing needs is considered to outweigh any benefit of retaining the existing failing housing stock'*. The existing houses within Phase 2 were decanted and boarded up some years ago now meaning they have fallen further into disrepair and dereliction.
- 8.17 The site's location means that it is able to complement the 20-minute neighbourhood concept encouraged by national policy through NPF4 with schools, retail and leisure facilities all within active travel distance. As such the slight net increase in units to be delivered across the wider site reflects the need to maximise housing development

where appropriate, acknowledging the requirements of Policy 16 to improve affordability and choice of new homes to reflect changing needs and addressing gaps in provision.

- 8.18 The proposal is to retain existing streets which will ensure that the redevelopment will retain the air of solidity and permeance that defines the setting and strong sense of place that has established over the lifetime of the neighbourhood in its current format. The sense of place is reinforced by the proposed layout, which creates stronger urban edges and nodes with blocks that predominantly front the public realm bookended by orthogonally positioned corner blocks, which is a traditional feature of Scottish urban design.
- 8.19 The proposal will replace the existing 1960's four in a block pattern resulting in a more diverse streetscape which includes off-street parking, dedicated garden and public soft landscaping areas adjacent to the street. While the overall layout and design utilises the existing street layout, it incorporates the principles of modern guidance such as Designing Streets replacing the existing homogenous design with more variation in setbacks from the pavement line, variety of colour finishes to external render, landscaping and garden placement to create individual identity. In doing so, a more attractive streetscape will be created. This is already evidenced through Phase 1 which has been completed and occupied for some time now. The same house types utilised within this Phase will continue into Phase 2 with amenity impacts minimised through specific siting resulting in no significant overlooking or loss of privacy to houses both within or adjacent to the development.
- 8.20 In terms of construction impact, Environmental Health have requested that a construction noise mitigation scheme is submitted for their approval which demonstrates how the contractor will ensure the best practicable measures are implemented in order to reduce the impact of construction noise. It is expected that the scheme will set out details of the most significant noise sources, operating hours and the duration of works alongside a plan showing the location of noise sources, noise sensitive premises (i.e houses) and any survey measurement locations – these details should inform a description of noise mitigation methods to be put in place including proposals for community liaison. This is addressed through condition and should be agreed prior to development commencing. As a general principle developers must comply with reasonable operational practices with regard to construction noise so as not to cause nuisance. Section 60 of the Control of Pollution Act 1974 sets restrictions in terms of hours of operation, plant and equipment used and noise levels, amongst other factors, which is enforceable via Environmental Health, whereby working hours would usually be restricted to be 07.00 – 19.00 Monday to Friday, 08.00 – 13.00 on Saturday with no Sunday or Bank Holiday working. Developers and contractors are expected to employ the best practicable means to reduce the impact of noise from construction activities.

Open Space

- 8.21 As the proposal comprises a development for replacement homes rather than the development of a greenfield site, the standard open space requirements for new developments are not applicable. Nevertheless, a communal open space area would be incorporated in a later phase within the northernmost extents of the wider site and the strategy across the remainder of the site has focused on the creation of integral

landscaping with private gardens that provide an attractive setting for houses and a high quality streetscape, with areas of communal planting incorporated within larger parking areas. Such open space will be overlooked in order to create natural surveillance. Existing trees through the site will be retained where their quality is of a sufficient standard.

Access and Parking

- 8.22 The proposed development is served by Meiklefield Road and Meiklefield Square, both of which are adopted roads with footways on both sides. While the overall road layout remains unchanged, the proposal includes significant footway upgrades to improve the existing infrastructure including installation of a raised platform, and a new underground surface water sewer. The Transport Statement submitted with application concludes that the proposed development will not have a significant adverse impact on the local road network and that the layout is appropriate for the scale and nature of the proposal, which is agreed by Transport Planning.
- 8.23 The statement also includes an assessment of traffic generation, estimating that the development will generate approximately 13 two-way vehicle movements during both the AM and PM peak periods, which is not considered significant and broadly comparable to the traffic generated by the existing residential units. This supports the conclusion that the development will not adversely affect the operation or safety of the surrounding road network.
- 8.24 The surrounding roads are well-connected with footways on both sides, and the submitted kerb layout plans confirm that footway upgrades are proposed throughout the site. The junction between Meiklefield Road and Meiklefield Square is to be upgraded to a raised table with tactile paving, which is supported and aligns with current guidance and the Transport Hierarchy. These drawings are secured by condition to ensure work is undertaken in accordance with the approved plans.
- 8.25 A formal pedestrian crossing should be provided where Meiklefield Road continues into Gladstone Avenue. This location forms a key pedestrian route between the development and the wider area, including access to the A862 distributor road and local services. The crossing should include dropped kerbs and blister tactile paving on both sides to ensure safe and inclusive movement for all users. Footway transitions to the existing network are shown in the drawings, but these should be reviewed during the RCC process to ensure they meet current standards and provide seamless, accessible connections. Overall, the pedestrian infrastructure is acceptable in principle, subject to the inclusion of the new crossing at Gladstone Avenue and final detailing through RCC.
- 8.26 The layout includes private driveways that appear to lack sufficient space for in-curtilage turning which is considered acceptable in this instance due to the low vehicle speeds (20 mph) and the residential street context. However, Transport Planning note that the turning head at the eastern end of Meiklefield Square seems constrained for car manoeuvres, with the parking bays located east of the turning head potentially presenting challenges for manoeuvring, particularly for larger vehicles. A swept path analysis should be submitted to demonstrate that vehicles can safely access and exit these bays in forward gear; this is sought by condition.

- 8.27 The proposed development comprises 6 houses and 28 flats generating a requirement for 56 parking spaces (12 resident and 1.8 visitor spaces for the houses, and 33.6 resident and 8.4 visitor spaces for the flats). The submitted layout provides 40 spaces, including 6 designated visitor bays, resulting in a shortfall of 16 spaces against the minimum standard. This shortfall is addressed in the applicant's Transport Statement, which presents a justification based on the site's central location within Dingwall, its proximity to public transport, shops, schools, and services, and lower car ownership levels in the area, supported by Census data. The Statement also notes the availability of on-street parking nearby. NPF4 under Policy 13 (Sustainable Transport) sets out that proposals which are ambitious in terms of low/no car parking will be supported particular in urban locations that are well served by sustainable transport options. It also includes an assessment of walking and cycling routes, confirming that the site is well-connected to the surrounding network and supports active travel.
- 8.28 While the justification is accepted in principle, the proposed level of provision remains below standard and should be monitored following occupation. There is scope for any future phases of redevelopment in the wider Meiklefield estate to take cumulative parking demand into account if required. A proposed Travel Pack will be provided to future residents, which is welcomed and secured by condition to support sustainable travel choices among future residents
- 8.29 Each individual dwelling will have a private, secure garden where cycles can be stored. A condition is attached requiring the provision of covered and secure communal cycle storage for flats, with capacity for both residents and visitors.

Drainage and flood risk

- 8.30 The submitted Flood Risk Assessment considers the flood risk from all sources and concludes that the replacement properties will not be at risk of flooding. The FRA considers three potential options for the discharge of surface water drainage from the development. All three options changing away from the current drainage system whereby run off is directed to the combined sewer which will ensure a small reduction in flood extents on Gladstone Avenue (outwith the site of application however within the wider Meiklefield re-development site). A finalised Drainage Impact Assessment was subsequently submitted during the course of the assessment which confirms surface water will be drained through a new surface water sewer pipe through Pefferside Park to the River Peffery.
- 8.31 SUDS will also be provided within the house plots with a discharge rate lower than pre-development, further reducing the discharge to the combined sewer and associated likelihood of outfall into the river. The in-plot drainage will be owned and maintained by the Highland Council's Housing team with the surface water being put forward for vesting by Scottish Water ensuring long terms maintenance for both. A condition is added to ensure the Council's Flood Risk Team can review the final surface water drainage design.

Climate change and biodiversity

- 8.32 As a site within a wider estate planned for phased re-development, the proposal does not result in loss of any existing biodiversity network that would require to be offset.

The development includes measures to address climate change including solar panels and air source heat pumps to be provided for all properties.

Impact on Infrastructure services and proposed mitigation (developer contributions)

- 8.33 HwLDP Policy 31 Developer Contributions and HwLDP Policy 32 Affordable Housing and the Developer Contributions Supplementary Guidance (DCSG) allows the Council to seek from the applicant a fair and reasonable contributions towards the additional costs or requirements for improved public services, facilities or infrastructure to enable development. In this instance the development requires to be assessed against the Council's adopted Developer Contributions Supplementary Guidance in terms of its impact on education provision, community facility provision, roads and other infrastructure impact. The Development Plans team have advised no contributions are required as the application concerns replacement homes. Developer contributions were also taken at the time of the PIP application to cover the net increase in units across the wider site.

Other material considerations

- 8.34 There are no other material considerations.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.35 None

9. CONCLUSION

- 9.1 The proposed development may be supported as providing an opportunity to improve residents' enjoyment of their homes that will be brought up to modern living standards in support of Outcome 4 of the Highland Council Housing Strategy. The strategy seeks to improve the condition of housing and minimise fuel poverty, with the stated aims being to improve quality, comfort and affordability of homes. The proposal is also considered to provide opportunity to improve the character and qualities of the neighbourhood in line with the Council place-making ambitions and Scottish Government for Creating Places and Designing Streets. The applicant has considered layout, design and landscaping principles to ensure the development will contribute to the long term amenity of residents and visitors in the long term with any impact on Council roads mitigated subject to conditions.
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

It is recommended to **GRANT** the application subject to the following conditions and reasons:

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development shall commence until a swept path analysis is provided to demonstrate safe access and egress for vehicles, including refuse collection vehicles and private cars, within Meiklefield Square. Thereafter the development shall progress in accordance with the approved details and Road Construction Consent process.

Reason: In the interests of road safety, and that the works involved comply with applicable standards.

3. No development shall commence until full details of the finalised surface water drainage design has been submitted to, and approved in writing, by the Planning Authority. The development shall thereafter progress in accordance with the approved details with the drainage fully installed prior to occupation of the first unit.

Reason: To ensure the development accords with the submitted Drainage Impact Assessment and that drainage is delivered timeously.

4. No development shall commence until a Construction Noise Mitigation Scheme has been submitted to, and approved in writing by, the Planning Authority. The scheme shall set out how the contractor will ensure the best practicable measures are implemented in order to reduce the impact of construction noise. It is expected that the scheme will set out details of the most significant noise sources, operating hours and the duration of works alongside a plan showing the location of noise sources, noise sensitive premises (i.e houses) and any survey measurement locations – these details should inform a description of noise mitigation methods to be put in place including proposals for community liaison. The Scheme shall thereafter by

implemented on commencement of the construction phase and remain in place for its duration.

Reason: To mitigate the impact of construction noise on nearby residents.

5. No development or work shall commence until a detailed specification for all proposed external materials and finishes (including trade names and samples where necessary) has been submitted to, and approved in writing by, the Planning Authority. Thereafter, development and work shall progress in accordance with these approved details.

Reason: In the interests of visual amenity and as finalised external materials have yet to be provided.

6. No development shall commence until an Arboricultural Impact Assessment (AIA) and Tree Protection Plan (TPP) have been submitted demonstrating how the layout has been designed to retain the better quality trees (identified in the submitted Tree Constraints Survey) and how these retained trees shall be protected during demolition and construction.

Reason: In order to ensure the protection of retained trees, which are important amenity assets, both during construction and thereafter.

7. No development shall commence until details of a scheme of hard and soft landscaping works (demonstrating biodiversity enhancement) have been submitted to, and approved in writing by, the Planning Authority. Details of the scheme shall include:

All earthworks and existing and finished ground levels in relation to an identified fixed datum point;

- i. A plan showing existing landscaping features and vegetation to be retained;
- ii. iii. The location and design, including materials, of any existing or proposed walls, fences and gates;
- iii. iv. All soft landscaping and planting works to conserve, restore and enhance biodiversity levels, including plans and schedules showing the location, species and size of each individual tree and/or shrub and planting densities; and
- iv. v. A programme for preparation, completion and subsequent on-going maintenance and protection of all landscaping works.

Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

8. No development shall commence until a scheme for the maintenance, in perpetuity, of all on-site green spaces and/or woodland and/or sports facilities and/or play areas and/or other spaces, facilities, features or parts of the development that are not the exclusive property of any identifiable individual home owner (such as communal parking areas, the common entrances to flatted developments and estate lighting, and those elements of surface water drainage regimes not maintained either by the Council or Scottish Water), have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the approved scheme shall be implemented in full and in accordance with the timescales contained therein.

Reason: To ensure that all communal spaces, facilities and landscaping areas are properly managed and maintained.

9. Prior to the first occupation of the development hereby approved details of Travel Pack for residents, which sets out information on ways to reduce dependency on the private car, has been submitted to, and approved in writing by, the Planning Authority. The Travel Packs shall be provided to residents prior to occupation of any unit within the development.

Reason: In order to facilitate the use of a variety of modes of transport.

10. No development shall commence until full details of a covered and secure communal bicycle storage/racking system for the flatted units in accordance with the Council's Roads and Transport Guidelines for New Developments Table 6.11 have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the storage/racking system shall be installed in accordance with these approved details prior to the first occupation of the development hereby approved.

Reason: In order to facilitate cycling.

11. Prior to the first occupation of the development hereby approved, the car parking and access arrangements detailed on approved plans ref. DIHD24007-THC-A-PM-10-60-1003-C REV C, XXX-RAC-ZZ-XX-DR-C-0110-B REV B and XXX-RAC-ZZ-XX-DR-C-0111-B REV B, XXX-RAC-ZZ-XX-DR-C-0112-B REV B and XXX-RAC-ZZ-XX-DR-C-0113-B REV B shall be completed in full and made available for use. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

Reason: To ensure a sufficient level of off-street parking and road upgrades are provided.

12. Permission is hereby granted on the basis that the development hereby approved shall comprise 34 affordable housing units within the terms of the

Highland Council's Developer Contributions Supplementary Guidance November 2018 or any future guidance which modifies or replaces it.

Reason: To ensure that affordable housing is provided, in accordance with the development applied for and the need for the affordable housing in the area, which has been established through the Council's Developer Contribution Supplementary Guidance.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature:

Designation: Area Planning Manager North

Author: Gillian Pearson

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

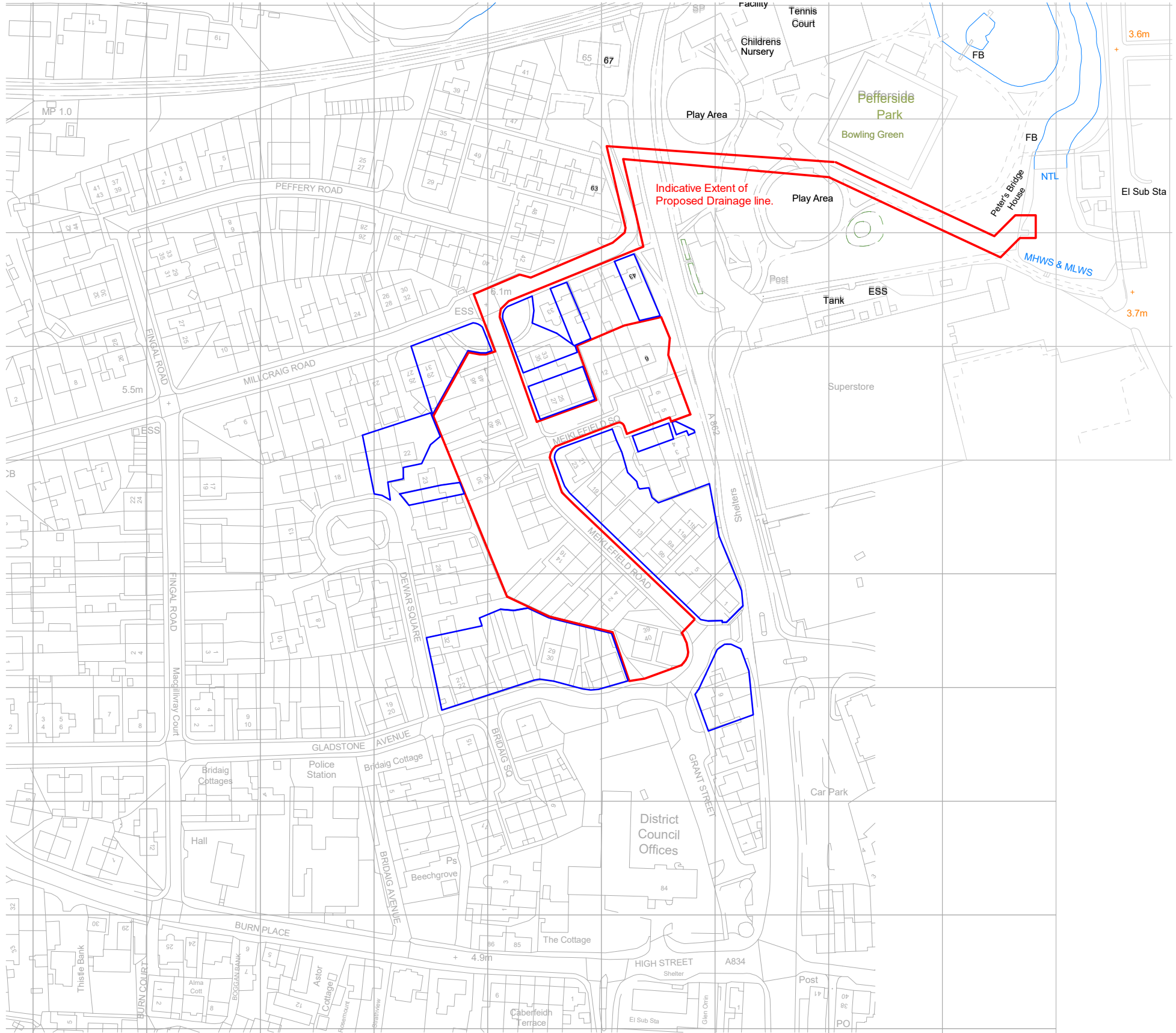
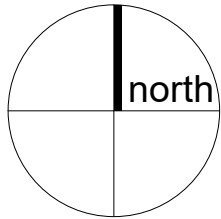
- Plan 1 - Location Plan - DIHD24007-THC-A-PM-10-60-1001 REV 1
- Plan 2 - Proposed Site Layout - DIHD24007-THC-A-PM-10-60-1003-C REV C & DIHD24007-THC-A-PM-10-60-1004
- Plan 3 - Proposed Section Plan - DIHD24007-THC-A-PM-10-60-1006
- Plan 4 - PROPOSED FLOOR PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-2001
- Plan 5 - PROPOSED ELEVATION PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-2002
- Plan 6 - PROPOSED FLOOR PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-3001
- Plan 7 - PROPOSED ELEVATION PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-3002
- Plan 8 - PROPOSED FLOOR PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-4001
- Plan 9 - PROPOSED ELEVATION PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-4002
- Plan 10 - PROPOSED FLOOR PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-5001
- Plan 11 - PROPOSED ELEVATION PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-5002
- Plan 12 - PROPOSED FLOOR PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-6001
- Plan 13 - PROPOSED ELEVATION PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-6002
- Plan 14 - PROPOSED FLOOR PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-7001

Plan 15 - PROPOSED ELEVATION PLAN - DIHD24007-THC-XX-XX-DR-A-XX-70-60-7002

Plans 16 – 19 – DRAINAGE LAYOUTS - XXX-RAC-ZZ-XX-DR-C-0100-B REV B, XXX-RAC-ZZ-XX-DR-C-0101-C REV C, XXX-RAC-ZZ-XX-DR-C-0102-B REV B AND XXX-RAC-ZZ-XX-DR-C-0103-B REV B

Plans 17 -18 – ROAD LAYOUTS - XXX-RAC-ZZ-XX-DR-C-0110-B REV B, XXX-RAC-ZZ-XX-DR-C-0111-B REV B

Plans 19-20 – KERB LAYOUTS - XXX-RAC-ZZ-XX-DR-C-0112-B REV B AND XXX-RAC-ZZ-XX-DR-C-0113-B REV B



Location Plan Key:

- - Proposed Site Boundary
- - Land in Highland Council ownership/ tenancy

Address:

Meiklefield Road &
Meiklefield Square
Dingwall
Highland
IV15 9TA

Site Center Grid Ref:

NH546589
X - 254655 Y - 858993

1	Red Line Boundary updated to reflect Planning comments.	MB	27/05/25
Rev.	Description	By	Date



HOUSING AND
PROPERTY SERVICE

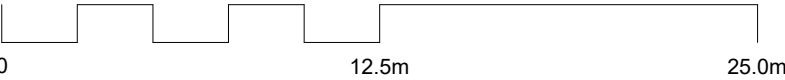
CLIENT The Highland Council	SCALE As indicated
PROJECT Meiklefield Phase 3 - 34no New Builds	DATE 18/02/25
CONTACT Allan Watson	DRAWN BY MB
DRAWING TITLE Location Plan	CHECKED BY AW
PURPOSE OF ISSUE Planning	PAPER SIZE A3

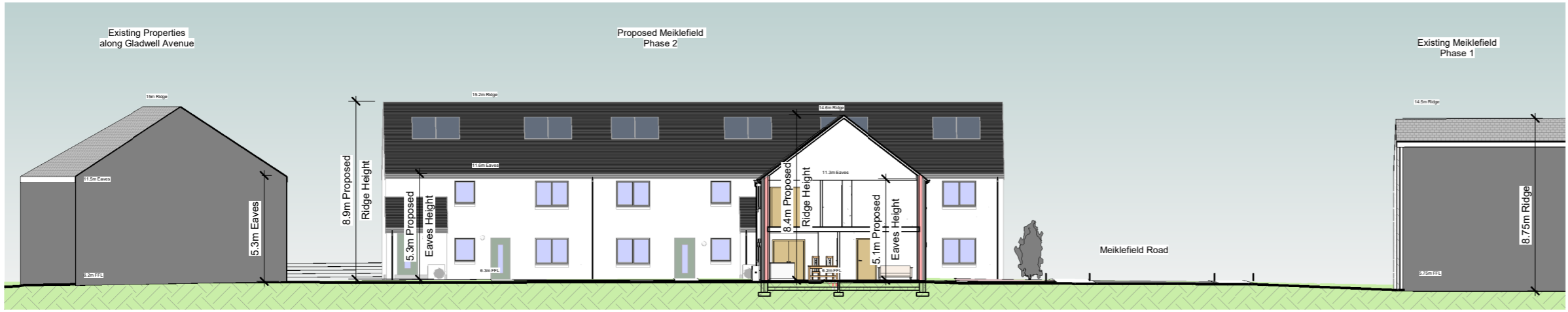
PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
DIHD24007	THC	-	-	-	A	PM-10-60	1001	1

Location plan

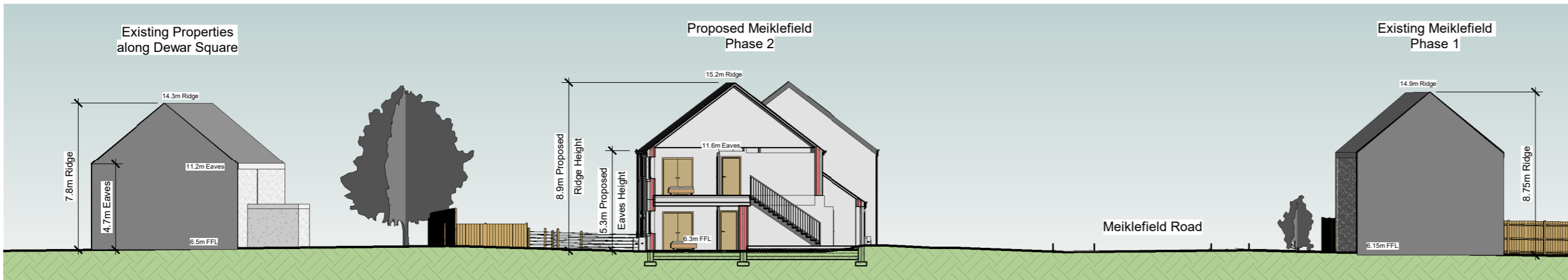
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Scale: 1 to 250

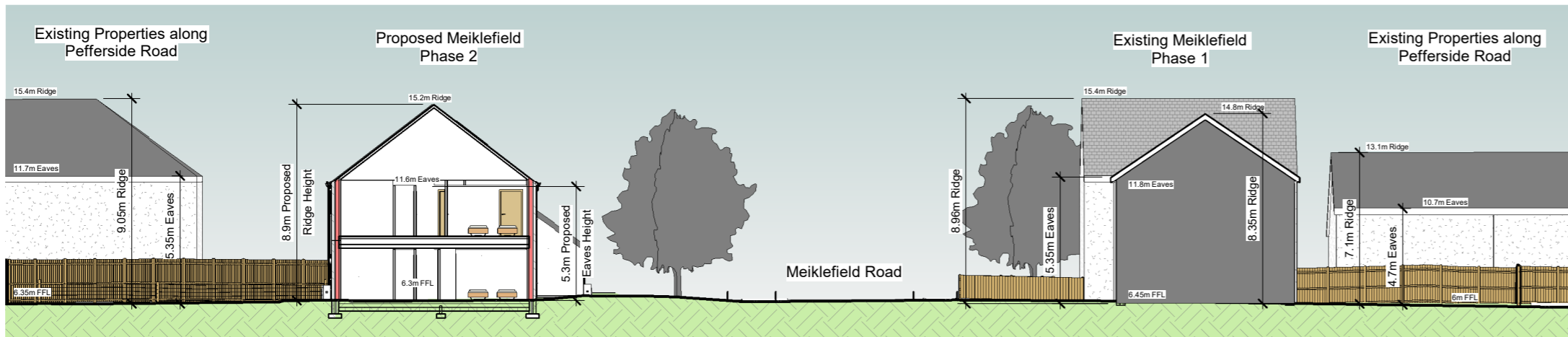




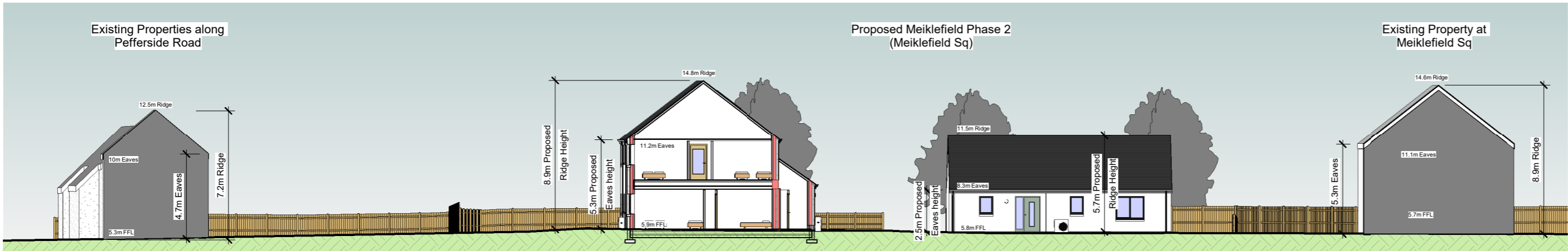
Site Section A-A
1 : 250



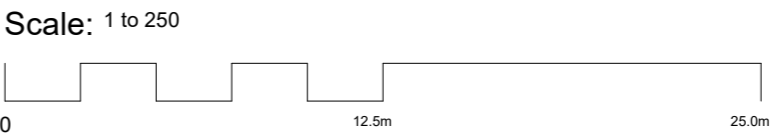
Site Section B-B
1 : 250



Site Section C-C
1 : 250



Site Section D-D
1 : 250



All existing site levels taken from PALs
Topographic Survey, Drg No. 1169501.

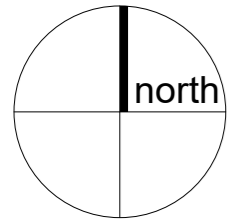
Rev.	Description	By	Date
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HOUSING AND
PROPERTY SERVICE

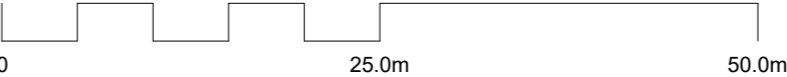
CLIENT The Highland Council	SCALE 1 : 250
PROJECT DHD24007 - Meiklefield Phase 2, Drngwall	DATE March 2025
CONTACT Allan Watson	DRAWN BY MB
DRAWING TITLE Proposed Site Sections	CHECKED BY AW
PURPOSE OF ISSUE Planning	PAPER SIZE A2

PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	SCALE	CLASSIFICATION	NUMBER	REV
DHD24007	THC	-	-	-	A	PM-10-60	100	-



Proposed Site Plan
1 : 500

Scale: 1 to 500



KEY

RED LINE BOUNDARY

LAND IN HIGHLAND COUNCIL OWNERSHIP/ TENANCY

EXISTING BUILDINGS

COMMUNAL LANDSCAPING

GARDEN SOFT LANDSCAPING

HARD LANDSCAPING

DRIVEWAY PAVIOURS

EXISTING TREE LOCATIONS

PROPOSED TREES/SHRUBBERY

PROPOSED HOUSE TYPES

22 NO. NEW 2B4P COTTAGE FLATS - TYPE C & TYPE D

1 NO. 3 BED 5 PERSON WHEELCHAIR BUNGALOW - TYPE A

2 NO. 2 BED WC GF COTTAGE FLAT + 4 NO. 2B4P COTTAGE FLATS - TYPE B

5NO. 3 BED 5 PERSON HOUSES - TYPE E & TYPE F

34NO. NEW UNITS replacing 34NO. EXISTING UNITS

C	Additional dimensions added to note distance from boundaries. Access paths now fully annotated with additional dimensions for clarity. Raised Table added as per planners comments.	MB	13/08/25
B	Tree locations.	MB	22/07/25
A	Site Section lines added to Site Plan	MB	26/05/25
Rev.	Description	By	Date



HOUSING AND
PROPERTY SERVICE

CLIENT	The Highland Council	SCALE	As indicated
PROJECT	DIHD24007 - Meiklefield Phase 2, Dingwall	DATE	March 2025
CONTACT	Allan Watson	DRAWN BY	LK
DRAWING TITLE	Proposed Site Plan - Sheet 1	CHECKED BY	AW
PURPOSE OF REVISION	Planning	PAPER SIZE	A2

PROJECT NUMBER	ORIGINATOR	VOLUME OR SYSTEM	LEVELS AND LOCATIONS	TYPE	ROLE	CLASSIFICATION	NUMBER	REV
DIHD24007 - THC	-	-	-	-	A	PM-10-60	1003	C



DRAINAGE LEGEND	
	DENOTES SURFACE WATER SEWER.
	DENOTES FOUL WATER SEWER.
	DENOTES SURFACE WATER MANHOLE.
	DENOTES FOUL WATER MANHOLE.
	DENOTES EXISTING SURFACE WATER SEWER.
	DENOTES EXISTING FOUL WATER SEWER.
	DENOTES EXISTING COMBINED SEWER.
	DENOTES EXISTING MANHOLE.
	DENOTES FOUL WATER RISING MAIN.
	DENOTES RAINWATER DOWNPIPE.
	DENOTES EXISTING ROAD GULLY.
	DENOTES PROPOSED ROAD GULLY AND TAIL.
	DENOTES PERFORATED PIPE.
	DENOTES ROOF DOWNPIPE DISTRIBUTION TANKS.
	DENOTES 1 IN 200 YEAR OVERLAND FLOW ROUTE.
	DENOTES POROUS PAVING WITH INFILTRATION.
	DENOTES OVERFLOW PIPE.

NOTE

DRAWING IS BASED ON "THE HIGHLAND COUNCIL" INFORMATION "DIHD24007-DHC-A-PM-10-60-0003" ISSUED TO RAMSAY AND CHALMERS ON 09.05.2025.

TOPOGRAPHICAL SURVEY IS BASED ON "PALS" INFORMATION "1194801" ISSUED TO RAMSAY AND CHALMERS ON 16.04.2025.

NOTE

EXISTING DRAINAGE AND FLOW PATHWAYS TAKEN FROM UMS CCTV DRAINAGE SURVEY "5585-Ramsay Chalmers-Meiklefield Housing-Dingwall" RECEIVED ON 24.06.2024. EXISTING MANHOLE DEPTHS TO BE CONFIRMED BY CONTRACTOR ON SITE.

GENERAL NOTES:-

THE CONTRACTOR MUST CONSULT THE CIVIL/STRUCTURAL DESIGN ENGINEER IMMEDIATELY IF:

- GROUND CONDITIONS VARY ON SITE.
- EXISTING BUILDINGS VARY ON SITE.
- DIMENSIONS OR LEVELS SHOWN ARE CHANGED BY ANYONE ON SITE.
- COMPLETE OR PARTIALLY COMPLETE STRUCTURES ARE TO BE SUBJECT TO CONSTRUCTION LOADING OR AFFECTED BY TEMPORARY WORKS.

DO NOT SCALE - IF IN DOUBT, ASK.

LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALL SCALE DETAILS.

ALL MATERIALS ARE TO BE USED STRICTLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INVOLVED IN CHANGES OR MODIFICATIONS REQUESTED AND APPROVED, TO SUIT HIS PREFERRED WORK METHOD.

ALL NECESSARY METHOD STATEMENTS MUST BE PROVIDED PRIOR TO COMMENCEMENT OF ASSOCIATED SITE OPERATIONS.

THIS DRAWING SHOULD ONLY BE USED FOR CONSTRUCTION PURPOSES WHEN THE ISSUE STATUS IS FOR CONSTRUCTION.

ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.

ALL LEVELS ARE IN METERS UNLESS OTHERWISE STATED.

© THE COPYRIGHT OF THIS DRAWING SUBSISTS WITH RAMSAY & CHALMERS				
C	MJD	-	RAISED PLATFORM ADDED TO LAYOUT.	27.08.
B	MJD	-	ADDITIONAL OVERFLOW ADDED TO MANHOLE DC588.	08.07.
A	MJD	-	INITIAL ISSUE.	29.05.
Rev	By	App	Description	Da

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

Drawing Title
PHASE 2 - PRELIMINARY DRAINAGE LAYOUT (2 OF 4)

Client
THE HIGHLAND COUNCIL

Drawing ID
XXX-RAC-ZZ-XX-DR-C-0101-C

Job No.	Scale	Issue Status
C8288	1:200 - A1	FOR COMMENT



DRAINAGE LEGEND	
	DENOTES SURFACE WATER SEWER.
	DENOTES FOUL WATER SEWER.
	DENOTES SURFACE WATER MANHOLE.
	DENOTES FOUL WATER MANHOLE.
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NOTE

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TOPOGRAPHICAL SURVEY IS BASED ON "PALS" INFORMATION "1194801" ISSUED TO RAMSAY AND CHALMERS ON 16.04.2025.

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C	MJD	-	RAISED PLATFORM ADDED TO LAYOUT.	27.08.2025
B	MJD	-	ADDITIONAL OVERFLOW ADDED TO MANHOLE DCS88.	08.07.2025
A	MJD	-	INITIAL ISSUE.	29.02.2025

Project

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

Drawing Title
PHASE 2 - PRELIMINARY DRAINAGE LAYOUT (2 OF 4)

Client
THE HIGHLAND COUNCIL

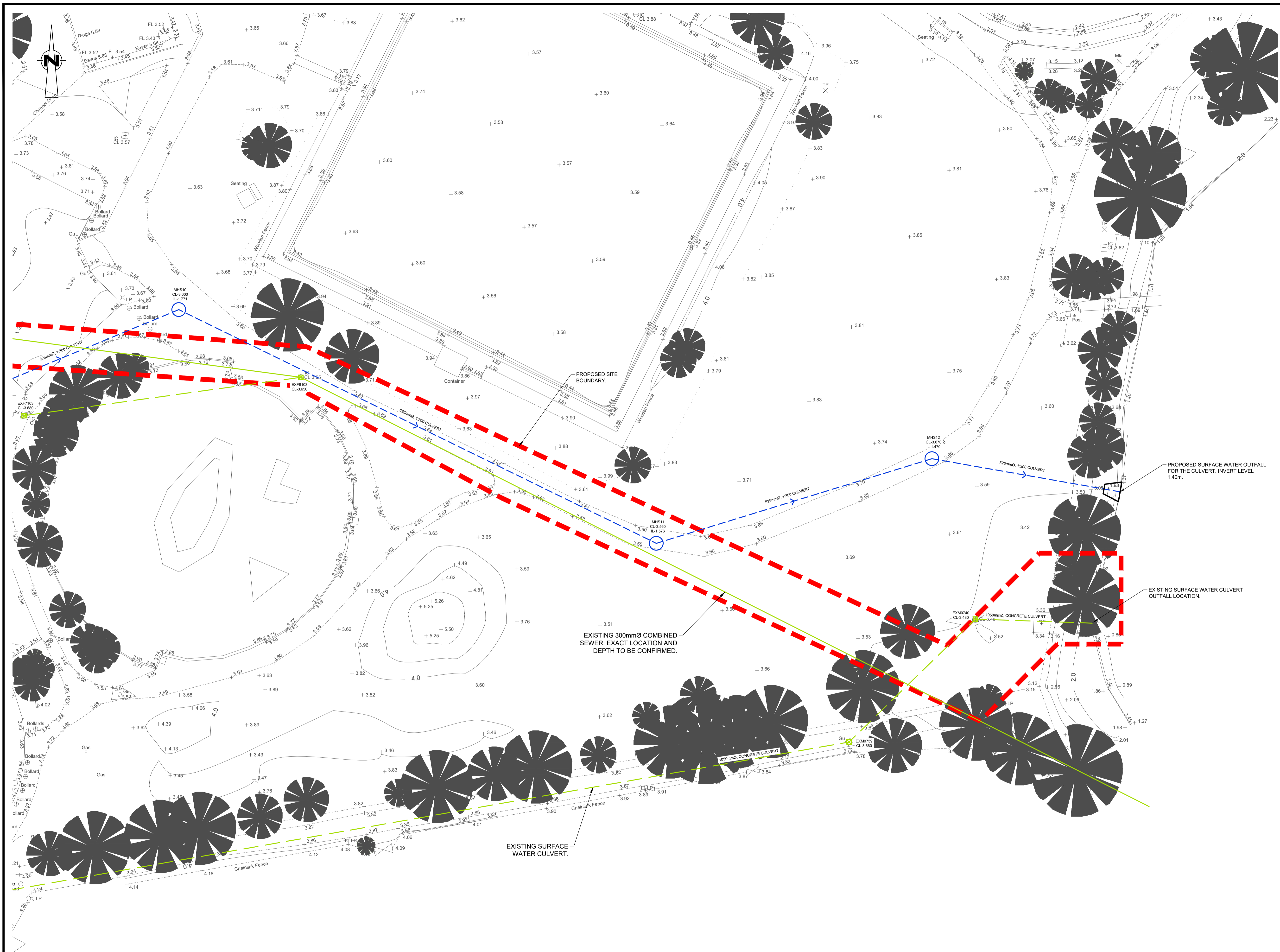
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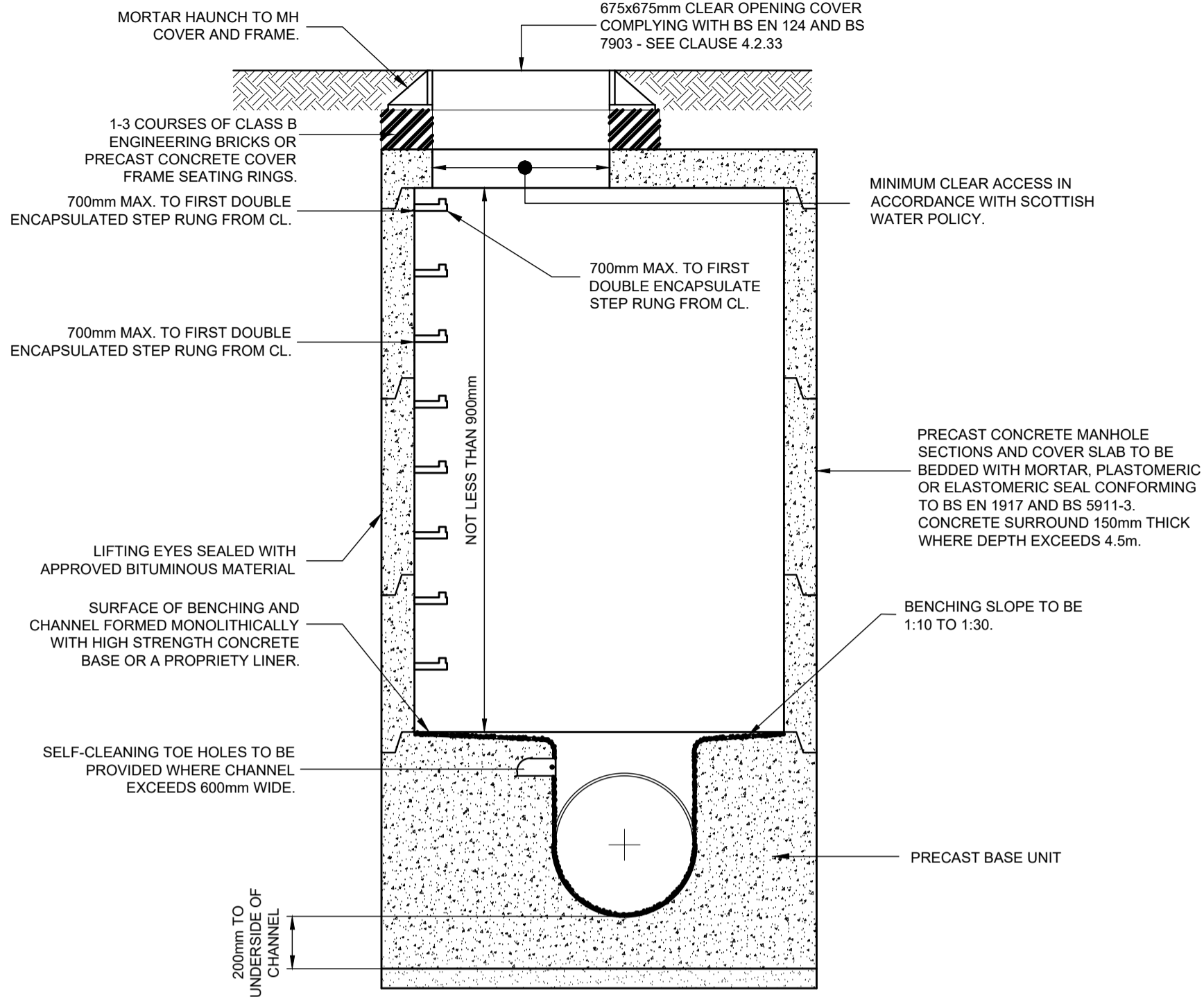
Ramsay & Chalmers
Consulting Structural & Civil Engineers
Chattan Mews Offices, 18 Chattan Place, Aberdeen, AB10 6RD
01224 560700
www.ramsaychalmers.co.uk





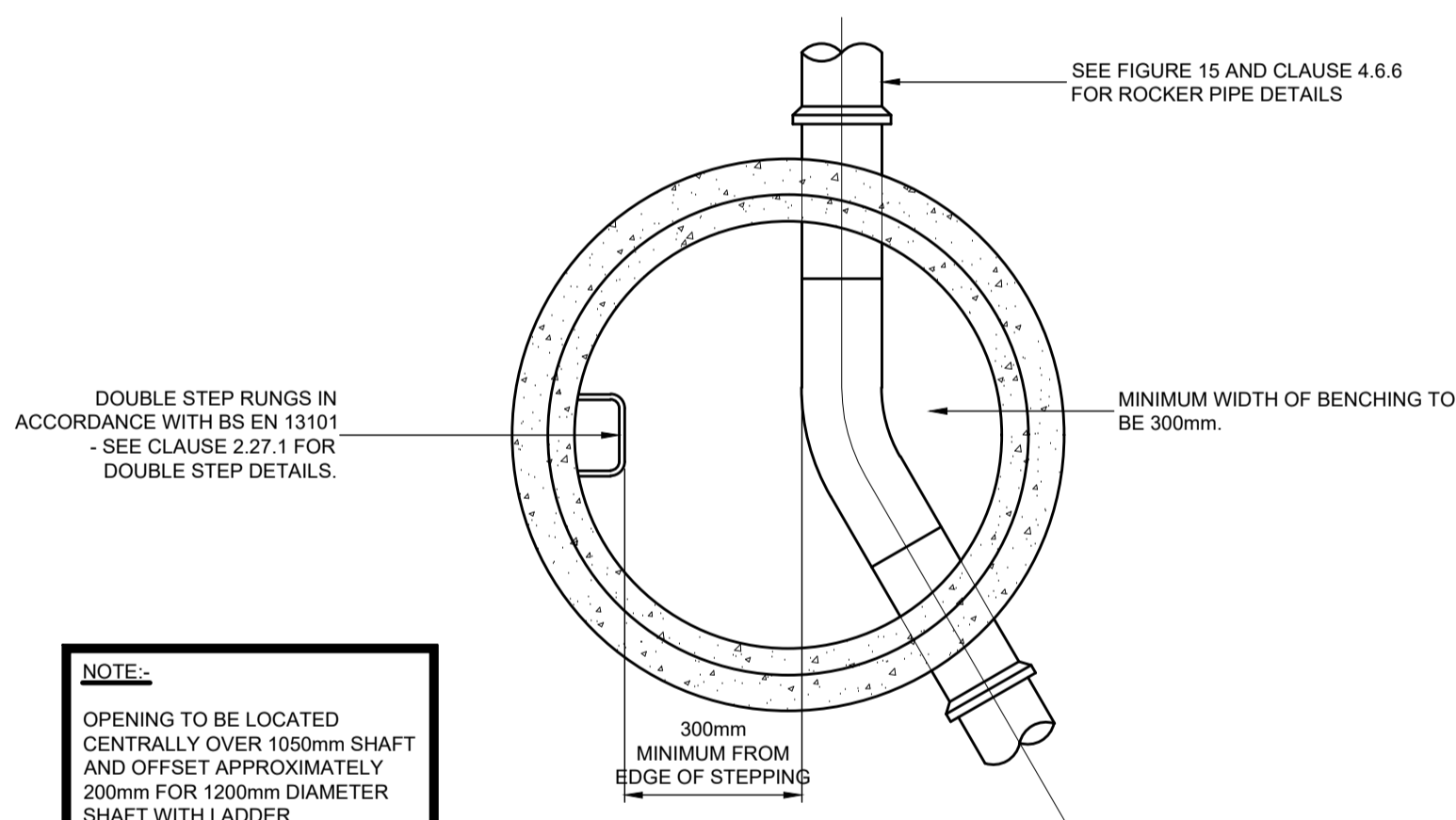






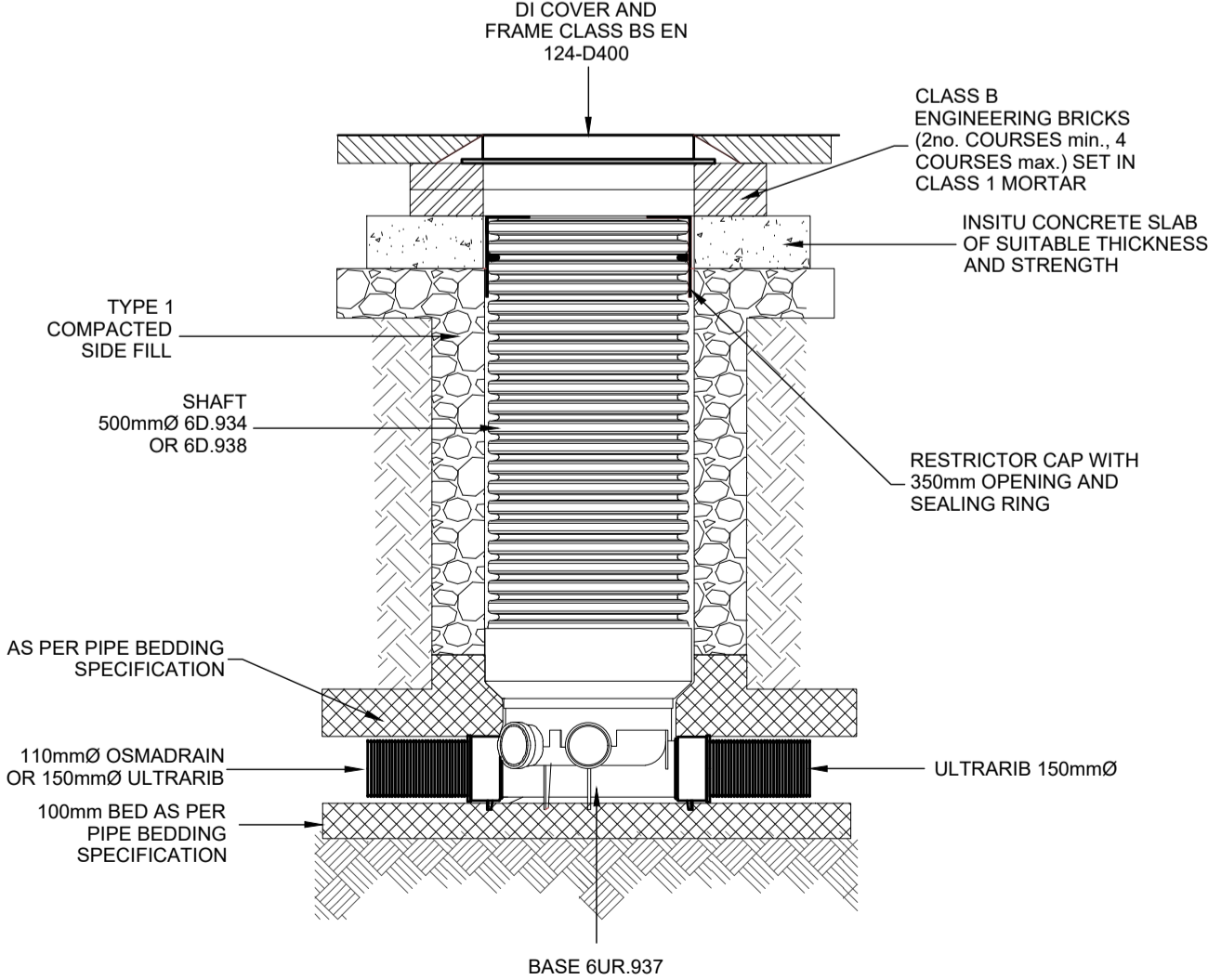
**TYPICAL MANHOLE DETAIL - TYPE B
(PRE-CAST BASE)** (1:20)

(MAXIMUM DEPTH FROM COVER LEVEL TO SOFFIT OF PIPE 3.0m)
(STEP IRONS OR OTHERWISE TO BE FITTED AS REQUIRED BY SCOTTISH WATER'S POLICY)



NOTE:-

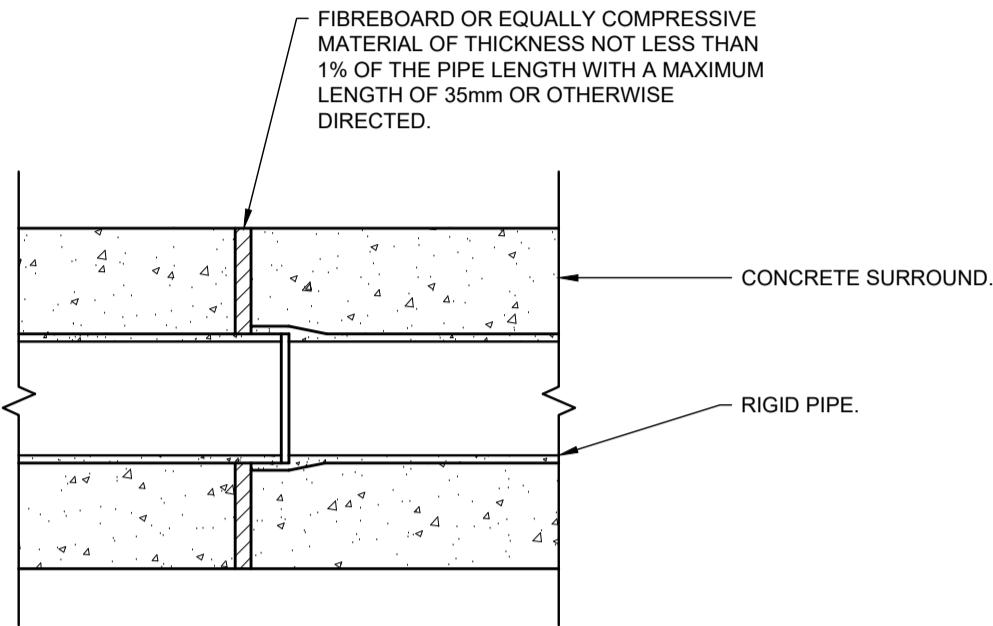
OPENING TO BE LOCATED CENTRALLY OVER 1050mm SHAFT AND OFFSET APPROXIMATELY 200mm FOR 1200mm DIAMETER SHAFT WITH LADDER.



**OSMADRAIN NIC CHAMBER WITH
RESTRICTOR CAP (MAX DEPTH 3m).** (1:20)

NOTES.

- WHERE CONCRETE BEDDING, HAUNCHING OR SURROUND IS USED, BACKFILLING OF THE TRENCH SHALL NOT BE COMMENCED UNTIL THE CONCRETE HAS REACHED A STRENGTH OF 15 N/mm².
- BEFORE PLACING CONCRETE SURROUND, PIPES SHALL BE SUPPORTED NEAR JOINTS.
- CONCRETING OF BEDDING, HAUNCHING OR SURROUNDS SHALL NOT BE DONE UNTIL THE PIPES HAVE BEEN JOINTED AND INSPECTED. THE CONCRETE SHALL BE VIBRATED INTO PLACE AND SHALL BE IN FULL CONTACT WITH THE UNDERSIDE OF THE BARREL OF THE PIPE.
- CONCRETE BEDDING, HAUNCHING OR SURROUNDING PIPES SHALL BE DISCONTINUOUS AT PIPE JOINTS.



**JOINT IN CONCRETE SUPPORT
TO RIGID PIPE DETAIL.** (1:10)

TABLE A - BEDDING MATERIAL

PIPE NOMINAL SIZE (DN)	ALLOWABLE BEDDING MATERIALS
100	10mm NOMINAL SINGLE-SIZED
OVER 100 TO 150	10mm NOMINAL SINGLE-SIZED OR 14mm NOMINAL SINGLE-SIZED OR 14mm TO 5mm GRADED
OVER 150 TO 300	10mm NOMINAL SINGLE-SIZED OR 14mm NOMINAL SINGLE-SIZED OR 20mm NOMINAL SINGLE-SIZED OR 14mm TO 5mm GRADED OR 20mm TO 5mm GRADED
OVER 300 TO 550	14mm NOMINAL SINGLE-SIZED OR 20mm NOMINAL SINGLE-SIZED OR 14mm TO 5mm GRADED OR 20mm TO 5mm GRADED
OVER 550	14mm NOMINAL SINGLE-SIZED OR 20mm NOMINAL SINGLE-SIZED OR 40mm NOMINAL SINGLE-SIZED OR 14mm TO 5mm GRADED OR 20mm TO 5mm GRADED OR 40mm TO 5mm GRADED

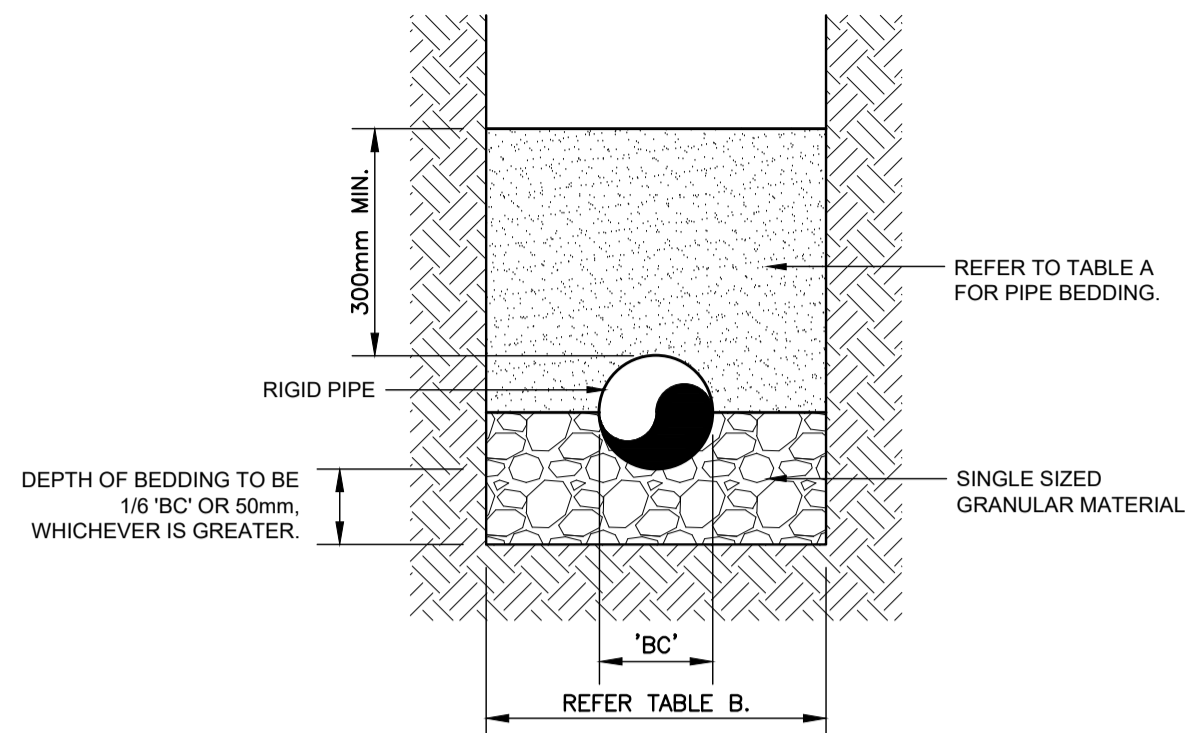
NOTE:
PIPE BEDDING MATERIAL TO BE IN ACCORDANCE WITH IGN 4-08-01 AND 4-08-01A - WATER INDUSTRY INFORMATION & GUIDANCE NOTE: IGN 4-08-01 AND 4-08-01A. THIS TABLE HAS BEEN EXTRACTED FROM IGN 4-08-01A AND SHOULD NOT BE TAKEN IN ISOLATION AND THE ENTIRETY OF IGN 4-08-01 AND 4-08-01A SHOULD BE COMPLIED WITH.

TABLE B - TRENCH WIDTHS

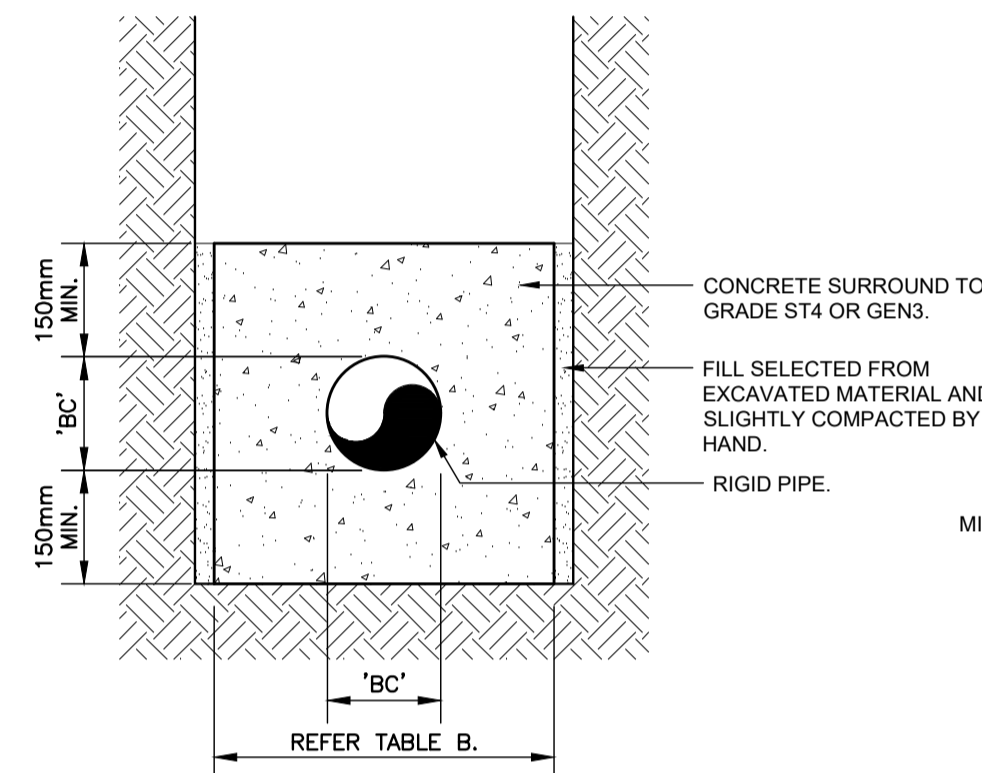
MINIMUM TRENCH WIDTH BASED ON DIAMETER OF PIPE	MINIMUM TRENCH WIDTH BASED ON DEPTH
225mm Ø TO 375mm Ø PIPE + 0.50m	BELOW 1.0m DEEP = NO MINIMUM WIDTH.
375mm Ø TO 700mm Ø PIPE + 0.70m	1.0m TO 1.75m DEEP = 0.80m WIDE.
700mm Ø TO 1200mm Ø PIPE + 0.85m	1.75m TO 4.0m DEEP = 0.90m WIDE.
1200mm Ø AND ABOVE PIPE + 1.00m	4.0m DEEP AND ABOVE = 1.00m WIDE.

NOTES:

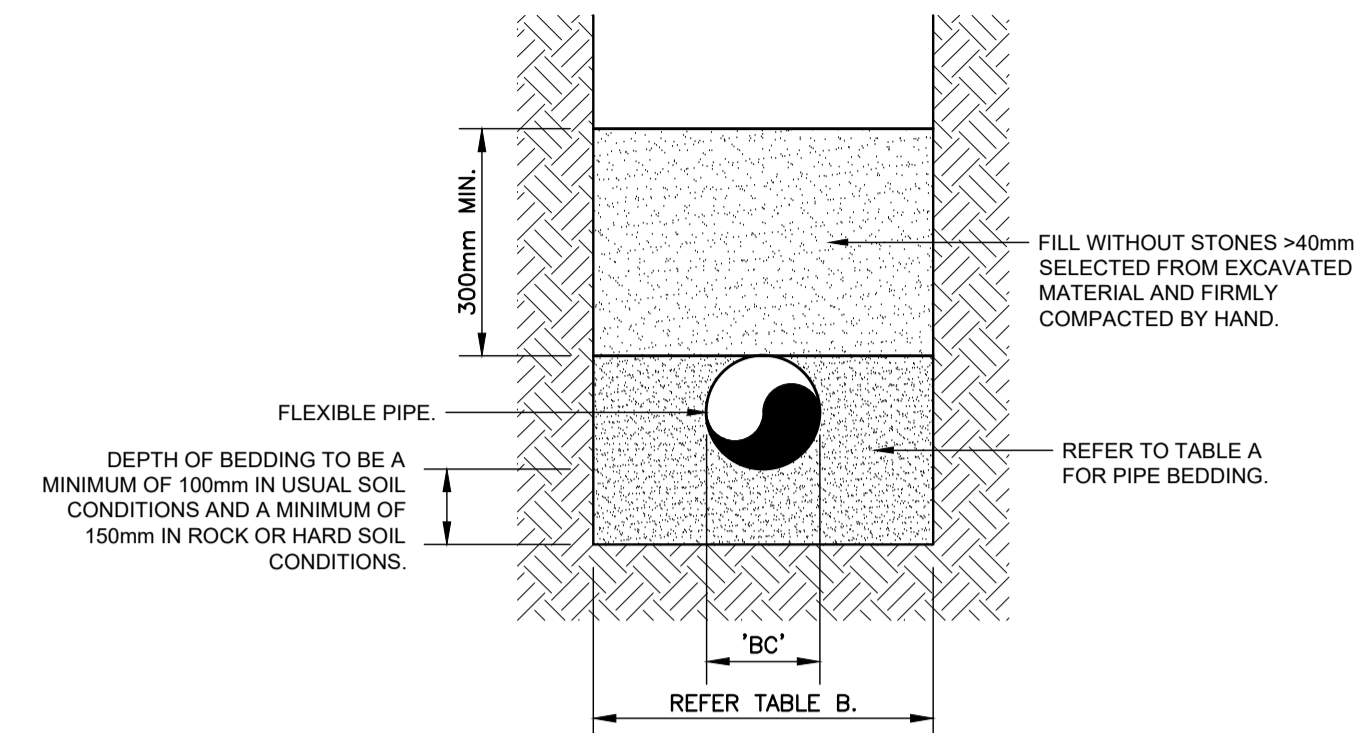
- PIPE TRENCH WIDTHS HAVE BEEN TAKEN FROM TABLES 1 AND 2 OF BS EN 1610:2015 - CONSTRUCTION AND TESTING OF DRAINS AND SEWERS. THESE TABLES ARE EXTRACTS AND SHOULD NOT BE TAKEN IN ISOLATION AND THE ENTIRETY OF BS EN 1610:2015 SHOULD BE COMPLIED WITH.
- THE LARGEST TRENCH WIDTH SHOULD BE USED BASED ON PIPE SIZE OR TRENCH DEPTH.
- THE CONTRACTOR MAY DETERMINE THAT THE TRENCH WIDTH REQUIRES TO BE WIDENED FOR ACCESS AND/OR MECHANICAL EQUIPMENT.



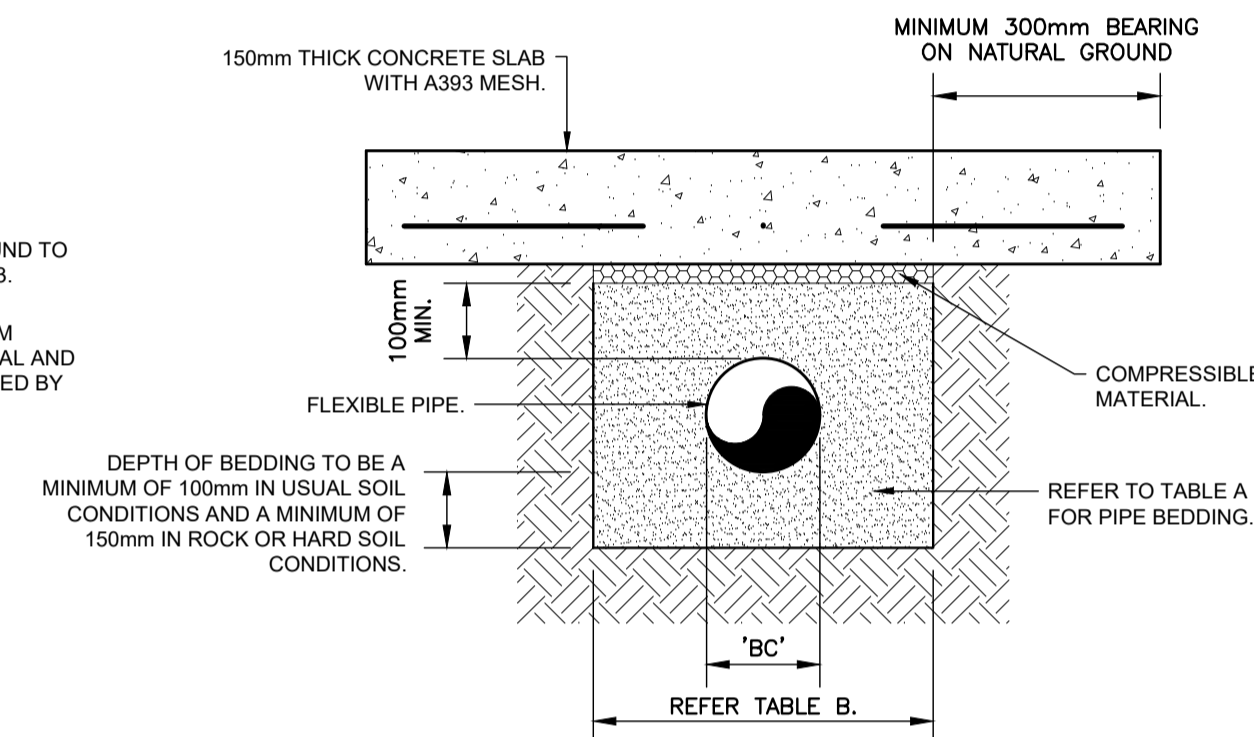
RIGID PIPE BEDDING DETAIL. (1:10)
(COVER GREATER THAN 1.2m TO SOFFIT TRAFFICKED OR GREATER THAN 0.9m TO SOFFIT UNTRAFFICKED)



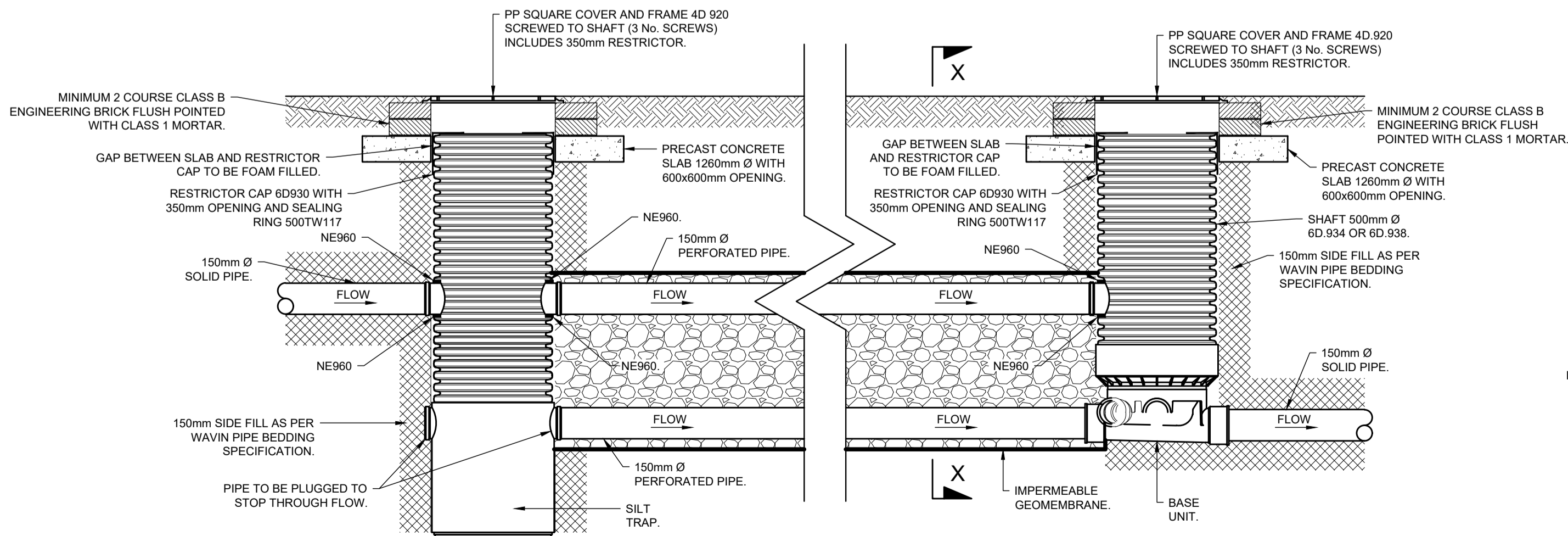
RIGID PIPE CONCRETE SURROUND DETAIL. (1:10)
(COVER LESS THAN 1.2m TO SOFFIT TRAFFICKED OR LESS THAN 0.9m TO SOFFIT UNTRAFFICKED)



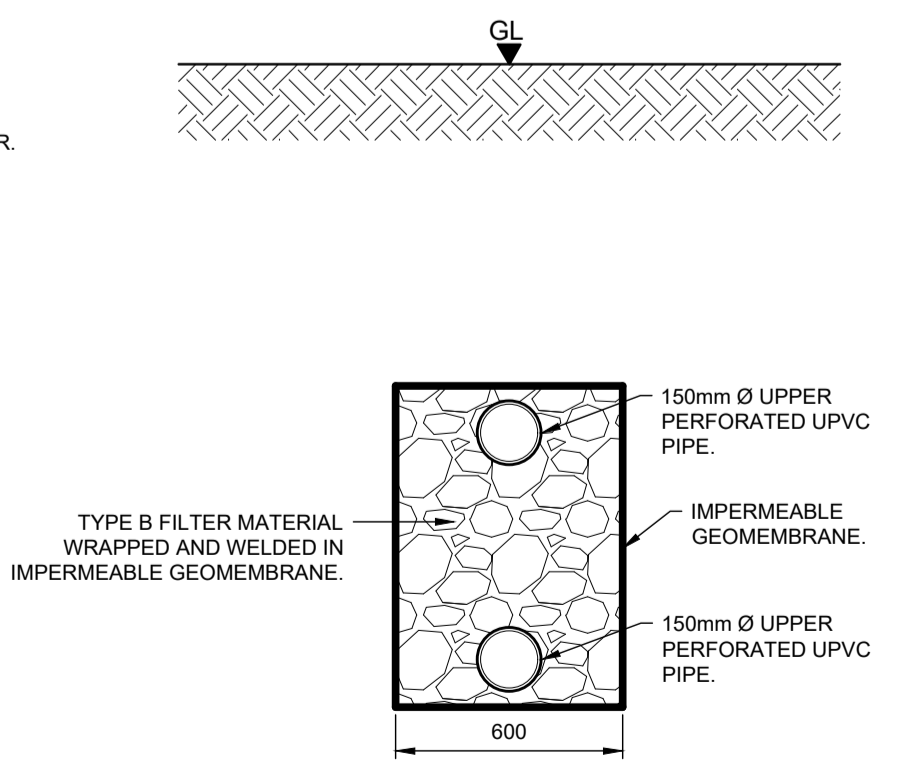
FLEXIBLE PIPE BEDDING DETAIL. (1:10)
(COVER GREATER THAN 1.2m TO SOFFIT TRAFFICKED OR GREATER THAN 0.9m TO SOFFIT UNTRAFFICKED)



FLEXIBLE PIPE CONCRETE SLAB DETAIL. (1:10)
(COVER LESS THAN 1.2m TO SOFFIT TRAFFICKED OR LESS THAN 0.9m TO SOFFIT UNTRAFFICKED)



PROPOSED FILTER TRENCH DETAIL. (1:20)



SECTION X-X. (1:20)
(SECTION THROUGH FILTER TRENCH)

GENERAL NOTES:-

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- ALL LEVELS ARE IN METERS UNLESS OTHERWISE STATED.

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A	MJD	INITIAL ISSUE	29.05.2020
Rev	By	App	Description

Project

**REDEVELOPMENT ASSESSMENT OF
MEIKLEFIELD ESTATE, DINGWALL.**

Drawing Title
**PHASE 2 - PRELIMINARY DRAINAGE
DETAILS (1 OF 2)**

Client
THE HIGHLAND COUNCIL

Drawing ID
XXX-RAC-ZZ-XX-DR-C-0104-A

Job No.
C8288

Scale
AS SHOWN - A1

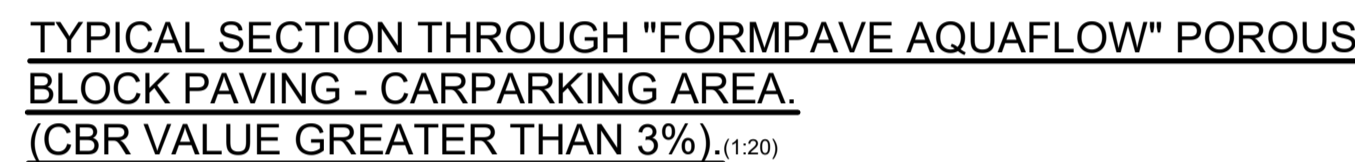
Issue Status
FOR COMMENT

Ramsay & Chalmers
Consulting Structural & Civil Engineers
Chatan Mews Offices, 18 Chatan Place, Aberdeen, AB10 6RD
01224 560700
www.ramsaychalmers.co.uk



-
- Technical drawing of a 10mm thick stainless steel plate. The plate is rectangular with overall dimensions of 450mm by 450mm. It features a central circular orifice with a diameter of 20mm. The plate is bolted to a flat concrete surface using four M10 flush anchors, one in each corner. The distance from the center of the orifice to the center of each anchor is 225mm. The plate is 10mm thick and is to be bolted to a flat concrete surface with 4 No. Hilti HKD-SR stainless steel M10 flush anchors or equal and approved. The orifice size is to be 20mm diameter.

ORIFICE PLATE DETAIL. (1:20)



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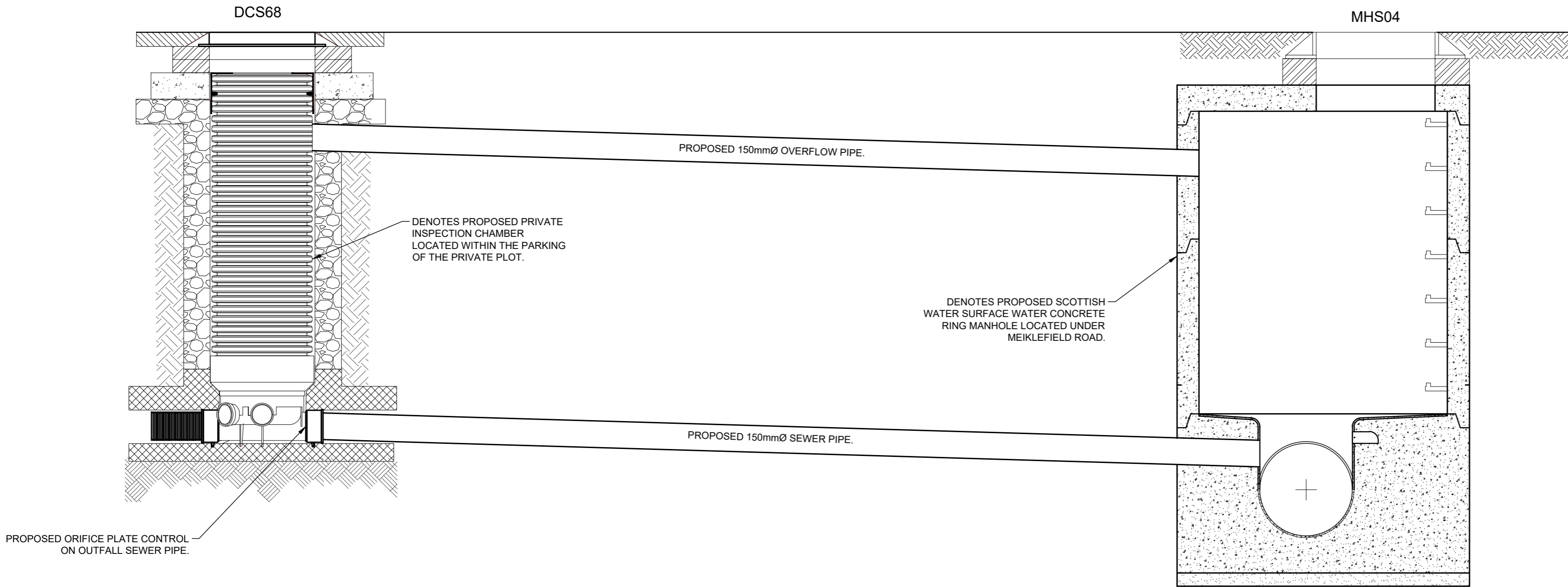
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B	MJD	-	ADDITIONAL NOTES ADDED TO ORIFICE PLATE DETAIL.	08.07.20
A	MJD	-	INITIAL ISSUE.	29.05.20
Rev:	By	App:	Description	Date
Project				
<p>REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.</p>				
Drawing Title				
<p>PHASE 2 - PRELIMINARY DRAINAGE DETAILS (2 OF 2)</p>				
Client				
<p>THE HIGHLAND COUNCIL</p>				
Drawing ID				
<p>XXX-RAZ-ZC-XX-DR-C-0105-B</p>				
Job No.	Scale	Issue Status		
C8288	AS SHOWN - A1	FOR COMMENT		
<p>Ramsay & Chalmers</p> <p>Consulting Structural & Civil Engineers</p> <p>Chattan Mews Offices, 18 Chattan Place, Aberdeen, AB10 6RD 01224 560700 www.ramsaychalmers.co.uk</p>				



PROPOSED OVERFLOW PIPE FROM PRIVATE CHAMBER DCS68 TO ADOPTABLE MANHOLE AT PLOTS 22-27. (1:20)

GENERAL NOTES:-

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A	MJD	-	INITIAL ISSUE	08.07.2025			
Rev.	By	App.	Description	Date			
Project							
REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.							
Drawing Title							
PROPOSED OVERFLOW PIPE DETAIL							
Client							
THE HIGHLAND COUNCIL							
Drawing ID							
XXX-RAC-ZZ-XX-DR-C-0106-A							
Job No.	Scale	Issue Status					
C8288	1:20 - A2	FOR COMMENT					
Ramsay & Chalmers							
Consulting Structural & Civil Engineers							
Chattan Mews Offices, 18 Chattan Place, Aberdeen, AB10 6RD							
01224 560700							
www.ramsaychalmers.co.uk							



LEGEND:-

- DENOTES EXTENT OF ADOPTABLE ROAD.
- DENOTES EXTENT OF ADOPTABLE FOOTPATHS.
- DENOTES EXTENT OF ADOPTABLE VERGE.
- DENOTES EXTENT OF ADOPTABLE DRIVEWAY FOOTWAY CROSSING.
- DENOTES EXTENT OF ADOPTABLE COMMERCIAL FOOTWAY CROSSING.
- DENOTES EXTENT OF PRIVATE PARKING.
- DENOTES EXTENT OF PRIVATE FOOTPATHS.

NOTE

DRAWING IS BASED ON "THE HIGHLAND COUNCIL" INFORMATION "DHHD24007-DHC-A-PM-10-60-0003" ISSUED TO RAMSAY AND CHALMERS ON 09.05.2025.
TOPOGRAPHICAL SURVEY IS BASED ON "PALS" INFORMATION "1194801" ISSUED TO RAMSAY AND CHALMERS ON 16.04.2025.

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B	MJD	-	RAISED PLATFORM ADDED TO LAYOUT.	27.08.2025
A	MJD	-	INITIAL ISSUE.	19.06.2025
Rev.	By	App.	Description	Date

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

PHASE 2 - PRELIMINARY SURFACES LAYOUT (1 OF 2)

THE HIGHLAND COUNCIL

Drawing ID
XXX-RAC-ZZ-XX-DR-C-0110-B

Job No. C8288 Scale 1:200 - A1 Issue Status FOR COMMENT

Ramsay & Chalmers
Consulting Structural & Civil Engineers
Chattan Mews Offices, 18 Chattan Place, Aberdeen, AB10 6RD
01224 560700
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- DENOTES EXTENT OF PRIVATE FOOTPATHS.

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A	MJD	-	INITIAL ISSUE.	19.06.2025
Rev.	By	App.	Description	Date

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

PHASE 2 - PRELIMINARY SURFACES LAYOUT (2 OF 2)

Client
THE HIGHLAND COUNCIL

Drawing ID
XXX-RAC-ZZ-XX-DR-C-0111-B

Job No.
C8288

Scale
1:200 - A1

Issue Status
FOR COMMENT

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01224 560700
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LEGEND:-

- Denotes extent of adoptable road.
- Denotes extent of adoptable footpaths.
- Denotes extent of adoptable verge.
- Denotes extent of adoptable driveway footway crossing.
- Denotes extent of adoptable commercial footway crossing.
- Denotes extent of private parking.
- Denotes extent of private footpaths.

NOTE

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B	MJD	-	RAISED PLATFORM ADDED TO LAYOUT	27.08.2025
A	MJD	-	INITIAL ISSUE	19.06.2025
Rev	By	App	Description	Date
Project				

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

Drawing Title
PHASE 2 - PRELIMINARY SURFACES LAYOUT (2 OF 2)

Client
THE HIGHLAND COUNCIL

Drawing ID
XXX-RAC-ZZ-XX-DR-C-0111-B

Job No.
C8288

Scale
1:200 - A1

Issue Status
FOR COMMENT

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KERBING LEGEND

- DENOTES EXTENT OF HALF BATTERED ROAD KERB.
- DENOTES EXTENT OF DROPPED ROAD KERB.
- DENOTES EXTENT OF DROPPER ROAD KERB.
- DENOTES EXTENT OF SQUARE CHANNEL ROAD KERB.
- DENOTES EXTENT OF FLAT TOP EDGE KERB.
- DENOTES EXTENT OF ROUND TOP EDGE KERB.
- DENOTES EXTENT OF BULLNOSE EDGE KERB.

NOTE

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Rev	By	App	Description	Date
B	MJD	-	RAISED PLATFORM ADDED TO LAYOUT.	27.08.2025
A	MJD	-	INITIAL ISSUE.	19.06.2025

Project

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

Drawing Title

PHASE 2 - PRELIMINARY KERBING LAYOUT (1 OF 2)

Client

THE HIGHLAND COUNCIL

Drawing ID

XXX-RAC-ZZ-XX-DR-C-0112-B

Job No.	Scale	Issue Status
C8288	1:200 - A1	FOR COMMENT

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Consulting Structural & Civil Engineers

Chattan Mews Offices, 18 Chattan Place, Aberdeen, AB10 6RD

01224 560700

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Rev.	By	App.	Description	Date
B	MJD	-	RAISED PLATFORM ADDED TO LAYOUT.	27.08.2025
A	MJD	-	INITIAL ISSUE.	19.06.2025

Project

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

Drawing Title

PHASE 2 - PRELIMINARY KERBING LAYOUT (1 OF 2)

Client

THE HIGHLAND COUNCIL

Drawing ID

XXX-RAC-ZZ-XX-DR-C-0112-B

Job No.	Scale	Issue Status
C8288	1:200 - A1	FOR COMMENT

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Consulting Structural & Civil Engineers

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01224 560700

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KERBING LEGEND	
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	DENOTES EXTENT OF DROP ROAD KERB.
	DENOTES EXTENT OF DROPPER ROAD KERB.
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B	MJD	-	RAISED PLATFORM ADDED TO LAYOUT.		27.08.
A	MJD	-	INITIAL ISSUE		19.06.
Rev	By	App.	Description		Da

REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

Drawing Title
PHASE 2 - PRELIMINARY KERBING LAYOUT (2 OF 2)

Client
THE HIGHLAND COUNCIL

Drawing ID
XXX-RAC-ZZ-XX-DR-C-0113-B

Job No.	Scale	Issue Status
C8288	1:200 - A1	FOR COMMENT



KERBING LEGEND	
	DENOTES EXTENT OF HALF BATTERED ROAD KERB.
	DENOTES EXTENT OF DROP ROAD KERB.
	DENOTES EXTENT OF DROPPER ROAD KERB.
	DENOTES EXTENT OF SQUARE CHANNEL ROAD KERB.
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	DENOTES EXTENT OF ROUND TOP EDGE KERB.
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ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.	
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REDEVELOPMENT ASSESSMENT OF MEIKLEFIELD ESTATE, DINGWALL.

Drawing Title
PHASE 2 - PRELIMINARY KERBING LAYOUT (2 OF 2)

Client
THE HIGHLAND COUNCIL

Drawing ID
XXX-RAC-ZZ-XX-DR-C-0113-B

Job No.	Scale	Issue Status
C8288	1:200 - A1	FOR COMMENT