

Agenda Item	6.6
Report No	PLN/008/26

HIGHLAND COUNCIL

Committee: North Planning Applications Committee

Date: 21 January 2026

Report Title: 25/04468/S42: Mr Taran Campbell

Windrill, Drumsittal, North Kessock, Inverness, IV1 3XF

Report By: Area Planning Manager North

Purpose/Executive Summary

Description: Section 42 application to remove condition 2 (22/02879/FUL)

Ward: 09 – Black Isle

Development category: Local

Reason referred to Committee: 5 objections, including Community Council

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 This is a S42 planning application for the development of land without complying with condition 2 attached to planning permission 22/02879/FUL (erection of extension formation of integral self-contained unit, erection of shed and retrospective installation of a skate park (ancillary to main dwelling). The principle of development is established; the current application seeks only to amend a condition relating to the upgrade of the access. Rather than an SDB2 standard access as stated in condition 2 and shown on the approved drawings, a bespoke technical solution is proposed taking account of site-specific constraints. This is an SDB2 type shared service bay and private access, albeit with larger dimensions than the standard SDB2. The original application was assessed in the policy context of National Planning Framework 4 (NPF4), Highland Wide Local Development Plan (HWLDP) and Inner Moray Firth Local Development Plan (IMFLDP) 2015. Since determination, IMFLDP 2 has been adopted. There are no new significant policy changes which would alter the policy assessment of the original application. The focus of the assessment is therefore on the suitability of the amended access detail.
- 1.2 Condition 2 of 22/02879/FUL states:

“No other development on the shed, extension or self-contained unit shall commence until the site access has been upgraded in accordance with the Highland Council's Access to Single Houses and Small Housing Developments guidelines with the junction formed to comply with SDB 2. Reason: to ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.”

The access upgrade complies with standard SDB2 detail at the existing shared access, with a service bay having a final layer of bituminous surfacing extending up the access road for a distance of at least 6m from the public road edge. Surface water runoff at the access was to be conveyed away from the public road into two new road water gullies. Piped outlets to discharge to a new 16m long x 1m wide x1.6m deep stone filled soakaway was to be provided.
- 1.3 This access upgrade previously approved encompasses land in shared ownership between the application site “Windrill and the neighbouring property “Windsong”. The applicant has provided a supporting statement, (available to view in the ePlanning file and summarised in 1.4 below) stating that the approved SDB2 standard upgrade cannot be implemented on land within shared ownership. As such, an alternative bespoke upgrade solution is proposed.
- 1.4 The amended proposal restricts the access upgrade to land within the Council's road boundary avoiding land in shared neighbouring ownership. The access is to be asphalt surfaced to a maximum of 3m off set from the public road. A new drainage channel is to be installed across the access to catch and convey surface water into a new soakaway and a universal sump is to be installed to collect any silt or drainage.
- 1.5 Pre Application Consultation: Informal pre-application discussion with applicant and Area Roads Team on identifying the road boundary and an alternative appropriate technical solution.

1.6 Supporting Information: A supporting statement has been submitted by the applicant outlining the reasons for the application. This states that no agreement has been achieved with the other party who share ownership of the access point to enable the approved physical works to be undertaken. Because of this no development has been able to proceed since the application was approved. The current application sets out a solution to upgrade the access as far as is reasonably achievable within the extent of the public road carriageway, and outwith the jointly owned land. This represents the fullest extent of access improvements that the applicant can deliver independently.

1.7 Variations: None

2. SITE DESCRIPTION

2.1 The site is located in the dispersed rural community of Drumsittal in North Kessock. The site is an irregularly shaped plot of land, and the existing dwellinghouse is located centrally within it. The skate park is located to the front of the house, between it and the public road, screened by bunding. The existing access to the application site is taken from a shared access point from the public adopted U2596 road, serving two houses.

3. PLANNING HISTORY

3.1	2 October 2001	01/00674/AGRRC, Erection of Agricultural Building	PRIOR APPROVAL NOT REQUIRED
3.2	20 September 2011	11/02625/PIP, Erection of house	APPLICATION REFUSED
3.3	28 November 2017	17/05117/FUL, Erection of extension to house and erection of stables	PERMISSION GRANTED
3.4	28 June 2023	22/02879/FUL, Erection of extension, formation of integral self-contained unit, erection of shed and retrospective installation of skate park (ancillary use to main dwelling)	GRANTED ON APPEAL TO DPEA

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown neighbour

Date Advertised: 12 December 2025

Representation deadline: 26 December 2025 (deadline extended due to public holidays)

Timeous representations: 5 from 4 households and Community Council

Late representations: 0

4.2 Material considerations raised are summarised as follows:

- a) Drainage/flooding concerns on public road due to the development and the amended design of the access detail, and road safety and amenity concerns from this.
- b) New design is technically inefficient conflicting with previously approved details
- c) The applicant is not the sole owner of all the land
- d) Previous drawing CTCH-J5647-P001 Rev C was accepted by both owners of the shared access, with the addition of a correction to the drainage levels.

Knockbain Community Council: Object to the removal or dilution of conditions attached.

Planning Officer Response: Transport Planning and the Area Roads Team have assessed the technical detail provided and are content that this is acceptable (refer to detail in consultation response). The SDB2 access is standard detail outlined in the Council's Access to Single Houses and Small Housing Developments Guidance which is intended to provide advice to small developers. It does not preclude developers from pursuing appropriate bespoke access solutions. Further assessment of the suitability access proposal is considered in section 8.

The applicant has provided a landowner certificate. The Planning Authority has no access to landownership records to verify landownership information provided. The onus is on an applicant to provide accurate information. Landownership is a civil matter outwith the planning system. The existence of planning permission does not affect or supersede an individual's ownership or other legal rights. Planning permission does not entitle anyone to build on, under or over ground outwith their ownership or to enter private ground to demolish, construct or maintain their property.

Non material considerations raised by third parties:

- a) type of application and land owner certificate are different to what was approved by the Reporter
- b) Water connection to the pool (previously approved)
- c) The applicant operates a number of other businesses.

4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Transport Planning** (in conjunction with Area Roads Team): No objection.

The Roads and Transport Guidelines for New Developments (RTGND) provide standard solutions such as the SDB2 layout for consistency and ease of application. However, the guidance also allows for flexibility where departures from the standard are justified and agreed. In this case, the proposed service bay and private access will be larger than the standard SDB2 dimensions, which is considered acceptable and beneficial. The increased size will improve safety by providing enhanced access and egress for vehicles, better visibility for all users, and safer arrangements for refuse collection operations. This bespoke solution is therefore supported as an appropriate interpretation of the guidance.

Drainage: The proposed soakaway was initially positioned too close to the public road, creating a risk of shoulder damage and undermining. Following a site visit, Roads Inspectors recommended relocating the soakaway behind the fence line to maintain adequate separation from the carriageway, and this approach has been agreed in principle with the applicant. The verge width of approximately 1.5 metres should allow safe positioning of the soakaway, subject to Scottish Water's comments regarding proximity to the water main. If space is constrained, a shallower, elongated soakaway design (such as 12 metres by 1.0 to 1.2 metres) could reduce the impact on verge stability.

The final location and design of the soakaway will be confirmed during the Section 56 process for a Road Opening Permit, which is required for any works on or adjacent to the public road. Responsibility for the soakaway, ACO drain, and gully will remain with the homeowner, and a planning condition requiring a maintenance schedule and regular inspections is recommended.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 National Planning Framework 4 (2023) (NPF4)

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation

Policy 3 - Biodiversity

Policy 5 - Soils

Policy 22 - Flood Risk and Water Management

Policy 29 – Rural Development

6.2 Highland Wide Local Development Plan 2012 (HwLDP)

28 - Sustainable Design

29 - Design Quality and Place-making

36 - Development in the Wider Countryside

55 - Peat and Soils

57 - Natural, Built and Cultural Heritage

64 - Flood Risk

65 - Waste Water Treatment

66 - Surface Water Drainage

6.3 Inner Moray Firth Local Development Plan 2 (2024) (IMFLDP2)

No specific policies apply.

6.4 Highland Council Supplementary Planning Policy Guidance

Access to Single Houses and Small Housing Developments (May 2011)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 None

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
- 8.2 Section 42 of the Town and Country Planning (Scotland) Act 1997 provides for applications for the development of land without complying with conditions subject to which a previous planning permission was granted. Section 42(2) of the Act states that on such an application the planning authority shall consider only the question of the conditions subject to which planning permission should be granted. The principle of the development is not re-assessed in this report, only the detail of the proposed amended access detail. Other conditions have been reviewed as appropriate.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) Acceptability of the technical details, road safety and amenity
 - c) any other material considerations
- 8.4 The site benefits from an existing planning permission comprising: a domestic skate park; a shed (18.5m x 8m x 4.4m to gutter height) located to the NW corner of the site; a 1.5 storey rear extension to accommodate living accommodation ancillary to the main house; alteration of the existing garage to form a self-contained unit incorporating one bedroom and an open plan kitchen/living room for friends and family/let self-contained holiday accommodation; and associated works including the upgrading of the access at its junction with the public road.
- 8.5 This application essentially seeks approval for an alternative access upgrade to that previously approved. The applicant has provided supporting information that implementation of the originally approved access is dependent on land within shared ownership. Questions over landownership boundaries and access to land are civil matters outwith the remit of the planning system and as such are not relevant to this assessment. The key matters for assessment is whether or not the proposal represents a technically appropriate, and proportionate access upgrade solution relative to the development, that is safe and does not increase the risk of surface water flooding or harm to the integrity of the public road.
- 8.6 The assessed speed from a desktop survey is 30mph and therefore splays of 2.4m x 90m in each direction are required. The proposal has been the subject of technical consultation with Transport Planning, and the Area Roads Team who have inspected the site. They have deemed the design to be acceptable and have raised no concerns regarding drainage, flooding or road safety. It is considered that the proposed upgrade is appropriate and would mitigate any potential impact on road safety that may arise from additional road users accessing the site as a result of the proposed self contained unit's use as guest or tourist accommodation. Given the small scale of this, any additional traffic should be minimal. It is acknowledged that concerns have been raised that the amended detail deviates from SDB2 detail. The

Council's guidance sets standard solutions for ease, but the same guidance also allows for flexibility in its interpretation as long as departures from standards are justified and agreed. In this case the service bay/private access would be bigger than a standard SDB2 type service bay which will enhance safe access, safe refuse collection and visibility. This application is as consequence of extensive discussions between the applicant and colleagues in roads to achieve a suitable technical solution which address road safety concerns. This is considered to be an appropriate solution which would enable the consented development to proceed. It is considered that the proposal accords with relevant planning policy.

Other material considerations

- 8.7 The Black Isle has a registered Local Place Plan prepared by the community in line with the legislation brought forward following the 2019 Planning Act. The Plan does not seek to 'allocate' site for development, rather it provides a broad vision residents would like to see develop over the next decade. No conflicts are identified.

Non-material considerations

- 8.8 None other than those referred to in 4.2.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.9 None

9. CONCLUSION

- 9.1 The original condition was imposed by the Reporter when granting the appeal to allow the development to proceed. This application has arisen due to the inability of the applicant to secure agreement with the adjacent landowner to improve the existing shared access. This submission is in order to deliver the required access improvements on land within the control of the applicant. The proposal has been the subject of technical consultation with Transport Planning, and the Area Roads Team who have inspected the site. They have deemed the design to be acceptable and have raised no concerns regarding drainage, flooding or road safety. As outlined above although concerns have been raised about the perceived reduction in standards, the Roads authority have advised that the changes will in fact represent a betterment on the standards previously sought. This will be the subject of separate Roads approval under Section 56 for a Road Opening Permit. It is considered that the proposed upgrade is appropriate and would mitigate any potential impact on road safety that may arise from additional road users accessing the site as a result of the originally consented development.
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No other development on the shed, extension or self-contained unit shall commence until the site access has been upgraded in accordance with the approved drawings to the satisfaction of the Road Authority and Planning Authority.

Reason: To ensure that an adequate level of access is timeously provided for the development; in the interests of road safety and amenity.

3. For the avoidance of doubt there shall be no drainage connections to the local road drainage network.

Reason: To ensure that the efficiency of the existing Council Road drainage network is not adversely affected.

4. Prior to first occupation of the self-contained unit hereby approved parking spaces and turning as denoted on the approved Site and Location Plan drawing number 2021 070 000 shall be provided and shall be maintained for this use in perpetuity

Reason: In order to ensure that the level of off-street parking is adequate.

5. The self-contained accommodation hereby approved shall be used solely as accommodation ancillary to the main dwellinghouse or for holiday letting purposes only and at no time shall it be occupied as a separate dwelling.

Reason: To ensure that the development does not become used as a separate dwellinghouse in recognition of the lack of private amenity space and in accordance with the use applied for.

6. The shed hereby approved shall be used solely for purposes incidental to the use of the house on the site and no commercial activity shall be carried out in or from the garage.

Reason: In order to clarify the terms of this permission, in accordance with the use applied for and in the interest of residential amenity as the use of the shed has not been considered for any other usage.

7. The skate park hereby approved shall be used solely for purposes incidental to the enjoyment of the dwelling house, and for no other purpose or use. For the avoidance of doubt the skate park shall not be open to members of the public or run as a commercial business at any time.

Reason: In order to clarify the terms of this permission, in accordance with the use applied for and in the interest of residential amenity as the application has been assessed on the basis of the skate park being for private use only.

8. No further development shall commence until a fully detailed scheme of landscaping for the site, has been submitted to and approved in writing by the Planning Authority. The landscaping plan shall detail of boundary treatments and all hard and soft landscaping including landscaping to the bund and any planting proposed within the site. The development shall thereafter be carried out in accordance with the details thereby approved. All planting thereby approved shall be undertaken in the first planting season following the completion of the skate park. Any plants which die, are removed, or become seriously damaged or diseased within a period of five years shall be replaced the following planting season to the original specification unless otherwise agreed in writing by the Planning Authority.

Reason: To ensure that the bund and fence are finished to an appropriate standard in the interest of visual amenity.

9. Maintenance responsibilities for the soakaway, ACO drain and gully will remain with the applicant. No further development shall commence until a maintenance schedule for the soakaway, ACO drain and gully including a schedule for regular inspections, has been submitted to and approved in writing by the Planning Authority in consultation with the Roads Authority. Thereafter, this shall be maintained in accordance with the approved details in perpetuity.

Reason: In the interests of road safety and to ensure the ongoing protection and integrity of the public road.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Land Ownership/Planning Permission

For the avoidance of doubt, the existence of planning permission does not affect or supersede an individual's ownership or other legal rights. Please be advised that this permission does not entitle you to build on, under or over ground outwith your ownership or to enter private ground to demolish, construct or maintain your property.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature:

Designation: Area Planning Manager – North

Author: Emma Forbes

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

Plan 1	- 2021 070 - 000 REV D LOCATION/SITE LAYOUT PLAN
Plan 2	- CTCH-J5647-001 REV D ACCESS LAYOUT PLAN
Plan 3	- 2021 070 - 005 REV A PROPOSED FLOOR PLAN
Plan 4	- 2021 070 - 010 - REV A PROPOSED FLOOR-ELEVATION PLAN - SHED
Plan 5	- 2021 070- 006 REV B PROPOSED ELEVATION PLAN

Appendix 1 – Letters of Representation

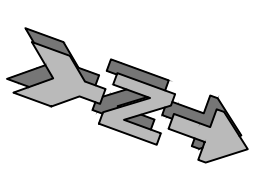
Ms Sandra Dingwall, Windsong, Drumsittal, North Kessock, Inverness, IV1 3XF, 24/12/25

Knockbain Community Council, Per: John Stott, Chair, 23/12/25

Elizabeth T Ross, Culbin, Drumsittal, North Kessock, Inverness, IV1 3XF, 23/12/25

Iain Mackay, 53 Bellfield Road, North Kessock, By Inverness, IV1 3XX, 23/12/25

A.C Dingwall, 18 Croyard Park, Beauly, IV4 7JY, 25/12/25



CONSTRUCTION PROCEDURE:-

CAT SCAN - Prior to excavation, individual utility providers service plans should be obtained and the area CAT scanned to locate and accurately mark out existing utility infrastructure. If any utilities are found, the relevant utility owner must be consulted, protection measures or diversions installed/carried out and approval granted by the utility provider prior to works commencing.

EXCAVATION - Excavate with hand tools to expose to any utilities present and in accordance with the recommendations provided by the utility provider. Topsoil is to be set aside for reinstatement and subsoil removed until the excavation is 350mm below the existing carriageway level. If unsuitable material such as soil or peat is discovered, this should be removed and replaced with approved granular or crushed rock infill placed in 150mm layers and compacted with a twin drum or other approved compaction equipment. Prior to backfilling the excavation, any utilities present must be protected as directed by the utility provider.

CONSTRUCTION MAKEUP - Sub base, binder course and surface course to be placed as shown in Caintech drawing CTCH-J5647-P002_A - Construction Details. Sub base and binder course to be placed prior to construction work commencing. Surface course to be laid on completion of construction works.

KERBING - Flush heel kerb to be installed to delineate service bay edge as show in Caintech drawing CTCH-J5647-P002_A - Construction Details.

VERGING - Topsoil to be reinstated around the service bay to a nominal depth of 100mm and setback from the road 0.5 meters and grass seeded.

- GENERAL NOTES:-**
1. Refer to Caintech drawing CTCH-J4793_P001 - Drainage Layout Plan for the proposed drainage layout associated with the associated dwelling.
 2. Refer to Caintech drawing CTCH-J5647_P002 - Construction Details in relation to infrastructure proposed.
 3. Refer to Caintech drawing CTCH-J5647_P003 - Topographical Survey for a survey of the existing access arrangement.
 4. Proposed SDB2 access is to be constructed in accordance with the layout, dimensions and guidance provided in Highland Councils "Access to Single Houses and Small Housing Developments"
 5. Drainage and sanitary pipe work to meet BS EN 752:2017 and BS EN 1610:2015, CIRIA C753, SEPA Regulatory method WAT-RM- 04 and SEPA GBR10.
 6. A minimum of 600mm cover to be provided to all pipe work within landscaped areas, a minimum of 900mm below any parking area and a minimum of 1200mm below any road. Concrete slab protection to be provided where minimum cover below road is not achievable.
 7. The functionality of any gravity drainage shown is dependant on achieving the minimum allowable gradients.
 8. Existing services must be accurately located on site prior to construction work commencing. Utility providers with infrastructure within the working area must be consulted prior to construction works commencing. Protection measures or diversion works must be carried out and approved by the utility provider prior to construction works commencing.
 9. Refer to Caintech drawing CTCH-J5647-005 for detailed design level information.

LEGEND:-

	Proposed Asphalt Surfacing (Refer to drawing CTCH-J5647-002)
	Proposed Granular Soakaway (Refer to drawing CTCH-J5647-002)
	Existing Road Construction (To remain)
	Existing Granular Track Construction (To remain)
	Proposed Drainage Channel & sump trap (Refer to drawing CTCH-J5647-002)
	Interpolated location of existing Openreach telecom infrastructure
	Interpolated location of existing Scottish Water water main infrastructure
	Interpolated location of existing Scottish & Southern Electricity Networks power infrastructure
	"Windrill" deed boundary as registered on Scotland's Land Information Service (Plan No. ROS18987)
	Shared access deed boundary registered on Scotland's Land Information Service (Plan No. ROS19028)
	Indicates approximate position of trial pit/percolation test (carried out 27/09/2022)

D	14.10.25	Proposed access upgrade works reduced following discussions on site between developer and Highland Council.	KGT	GCN
C	18.04.25	Drainage channel specification updated and proposed falls updated following meeting with neighbour's agent. Northern soakaway removed.	KGT	GCN
B	07.03.25	New asphalt surface extended to edge of existing access. Additional soakaway added on north side of access junction.	KGT	GCN
A	31.10.24	Topographical survey added. Proposed SDB2 arrangement revised to suit surveyed positions.	CM	KGT

Site Layout:

Alterations & Extension to Windrill, North Kessock

SDB2 Site Access Construction Plan

LAND & BUILDING SURVEYING
SETTING OUT ENGINEERS
CIVIL ENGINEERING DESIGN
LASER SCANNING SERVICES

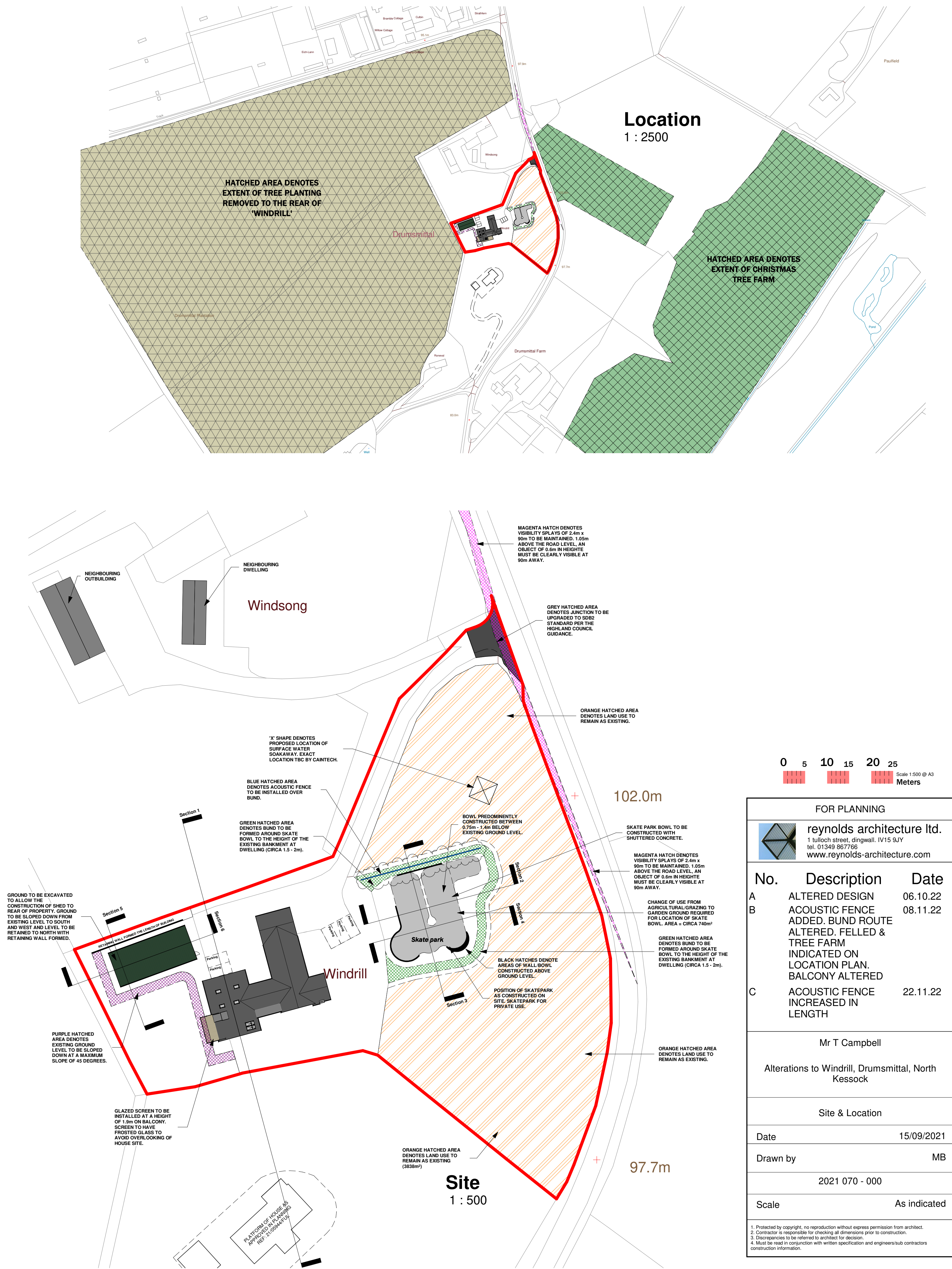
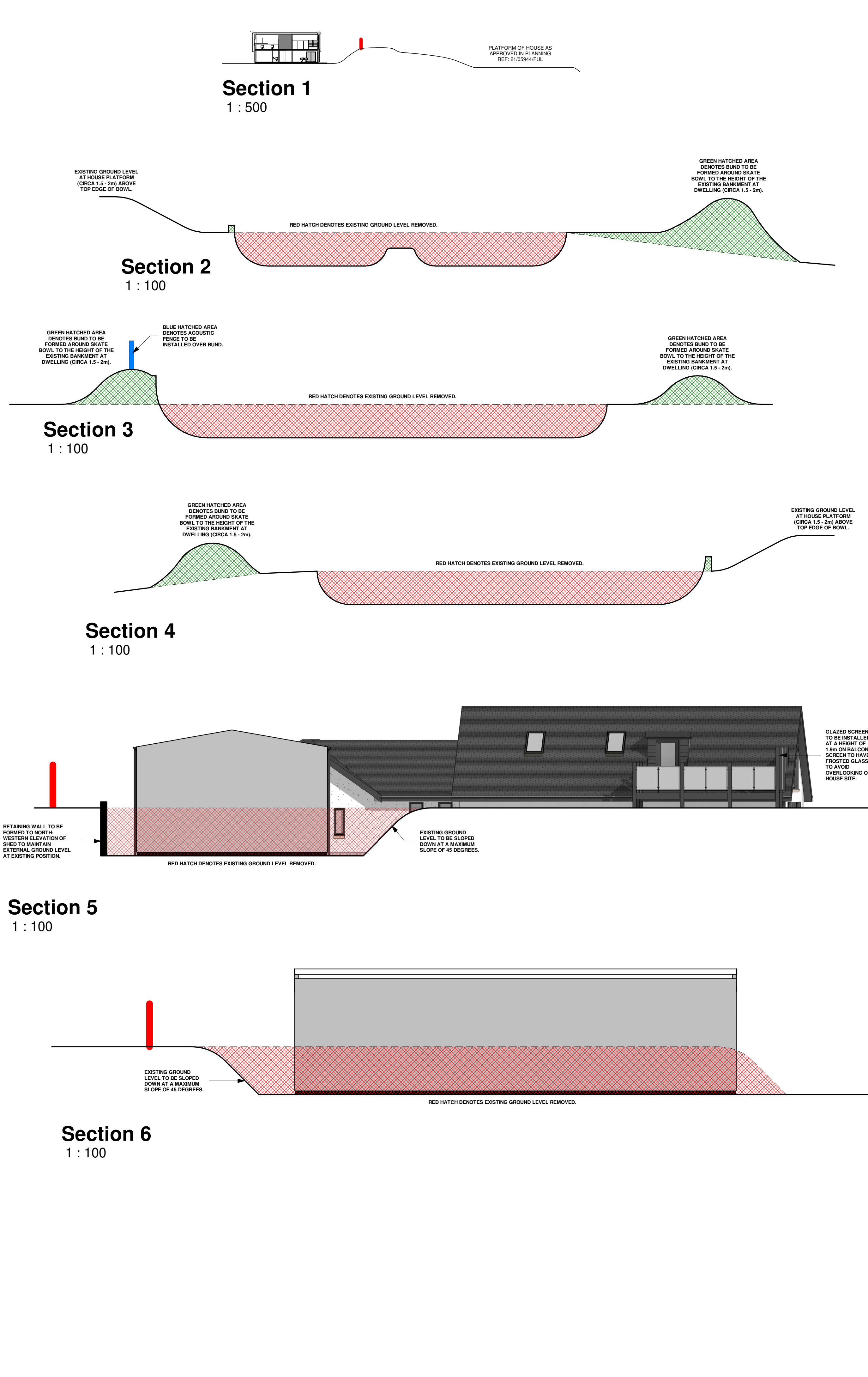
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VOLUMETRIC SURVEYING
DIMENSIONAL CONTROL SURVEYING
AUTOCAD DRAUGHTING SERVICES

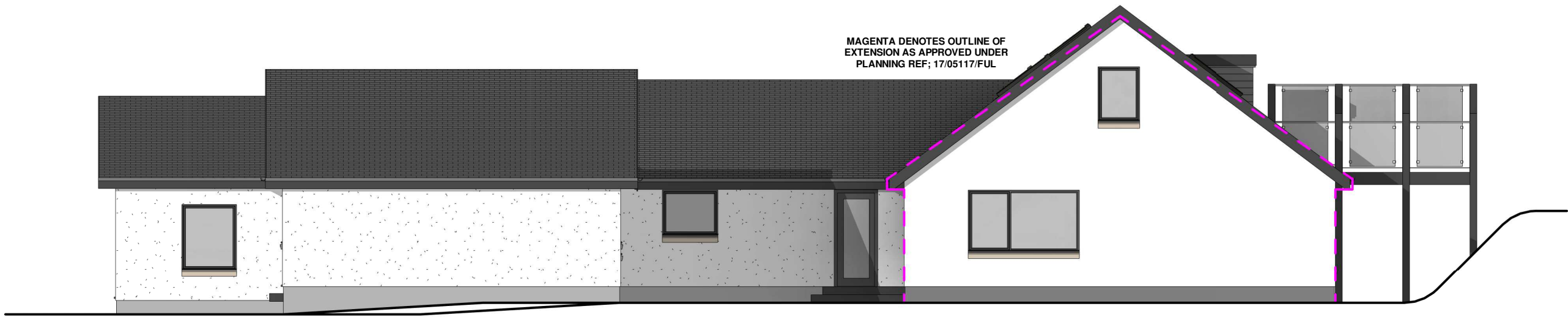
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Client:

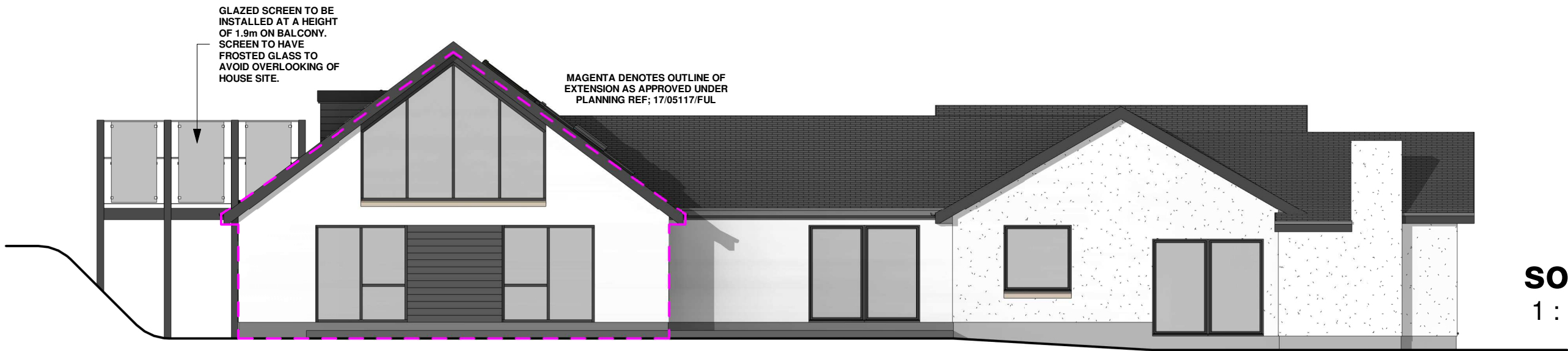
Mr T. Campbell

Drawn By:	Checked By:	Surveyed By:	Surveyed Date:
CM	KGT	N/A	N/A
Drawing Status:		Drawing Date:	
☐ PLANNING		05/06/2024	
☐ FOR APPROVAL		Drawing Scale:	
☒ WARRANT		1:250 @ A1	
☐ CONSTRUCTION		Drawing No:	
		CTCH-J5647-001	
• Levels are in metres and are to Ordnance Datum.		Our Job Ref:	Rev:
• Co-ordinates are to National Grid. (GPS Network)		J5647	D

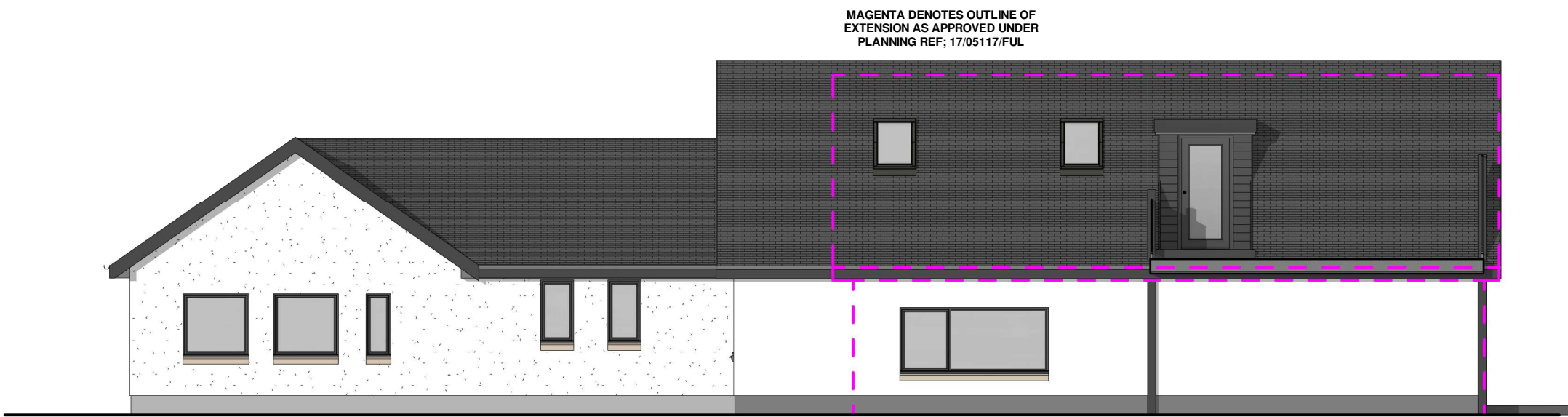




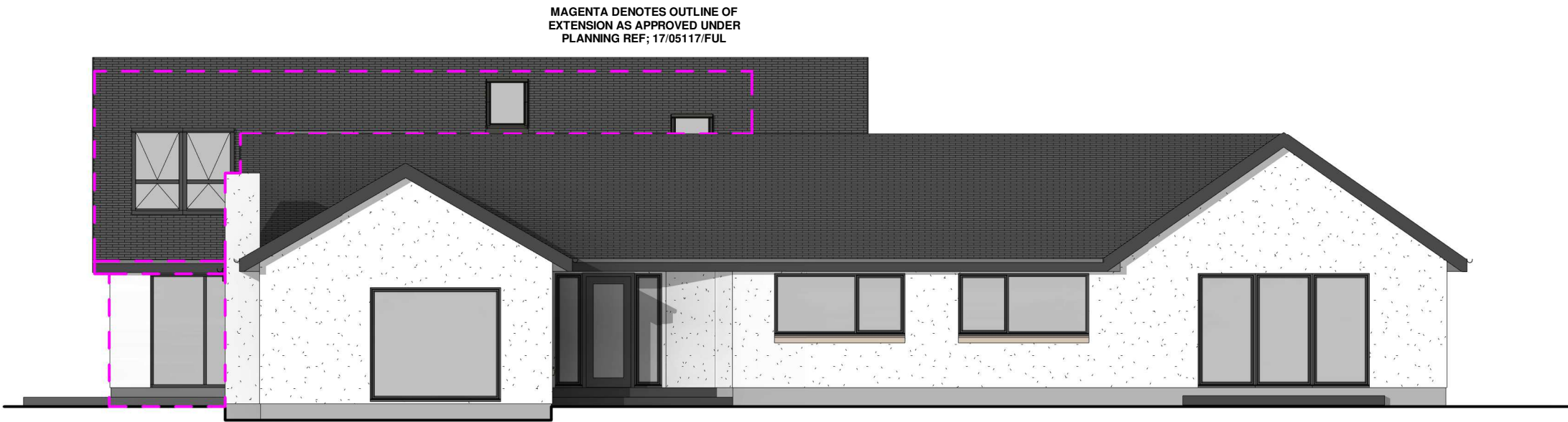
north
1 : 100



south
1 : 100



west
1 : 100



east
1 : 100

Material Specification:

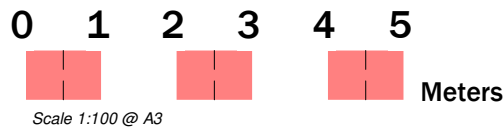
Wall - Existing walls painted Pure Brilliant White.
- Render to match existing.

Windows - Coloured to RAL 7016.

Door - Coloured to RAL 7016.

Roof - Membrane roof Coloured to RAL 7016.
- Tiles to match existing.

Eaves - UPVC rainwater goods
- Painted timber fascia and soffits to RAL 7016



FOR PLANNING		
	reynolds architecture ltd. 1 tulloch street, dingwall. IV15 9JY tel. 01349 867766 www.reynolds-architecture.com	
No.	Description	Date
A	ALTERED DESIGN	06.10.22
Mr T Campbell		
Alterations to Windrill, Drumsmittal, North Kessock		
(proposed) Elevations		
Date	15/09/2021	
Drawn by	MB	
2021 070 - 006		
Scale	1 : 100	
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South

1 : 100

West

1 : 100



East

1 : 100

North

1 : 100

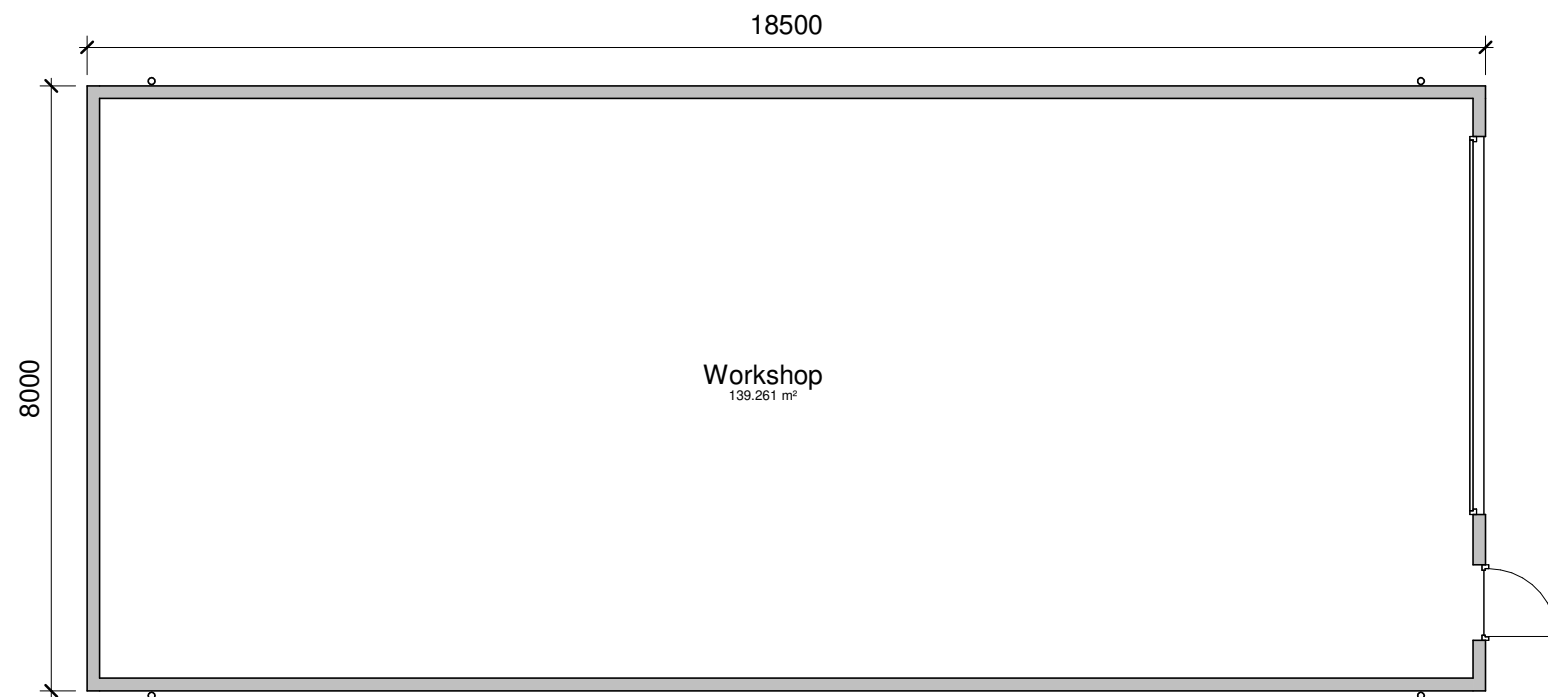
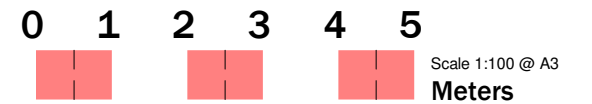
Material Specification:

Wall - Juniper Green profile sheet.

Door - Coloured to RAL 7016.

Roof - Juniper Green profile sheet.

Eaves - Aluminium rainwater goods to RAL 7016.
- Aluminium fascia to RAL 7016.



Ground floor

1 : 100

FOR PLANNING



reynolds architecture ltd.

1 tulloch street, dingwall. IV15 9JY

tel. 01349 867766

www.reynolds-architecture.com

Rev	Description	Date
A	ALTERED DESIGN	06.10.22

Mr T Campbell

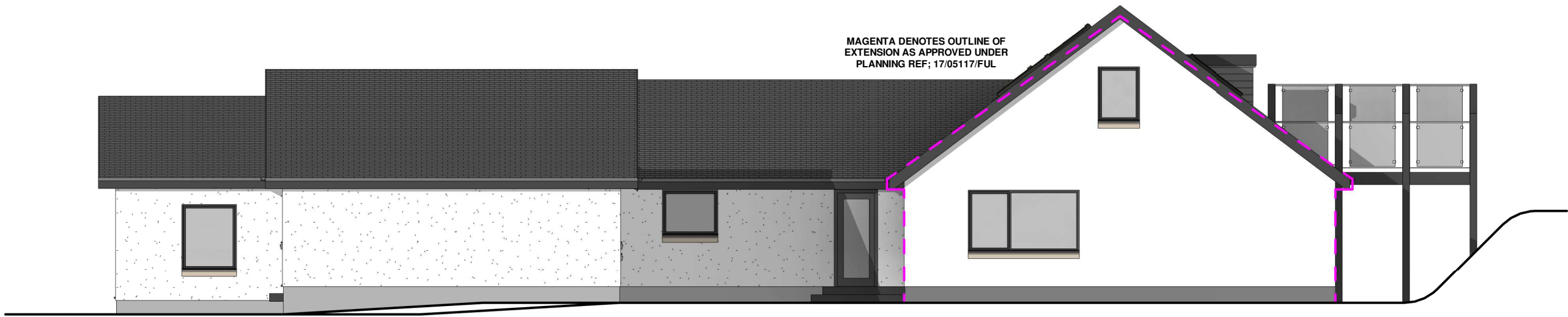
Alterations to Windrill, Drumsittal, North
Kessock

(proposed) Shed

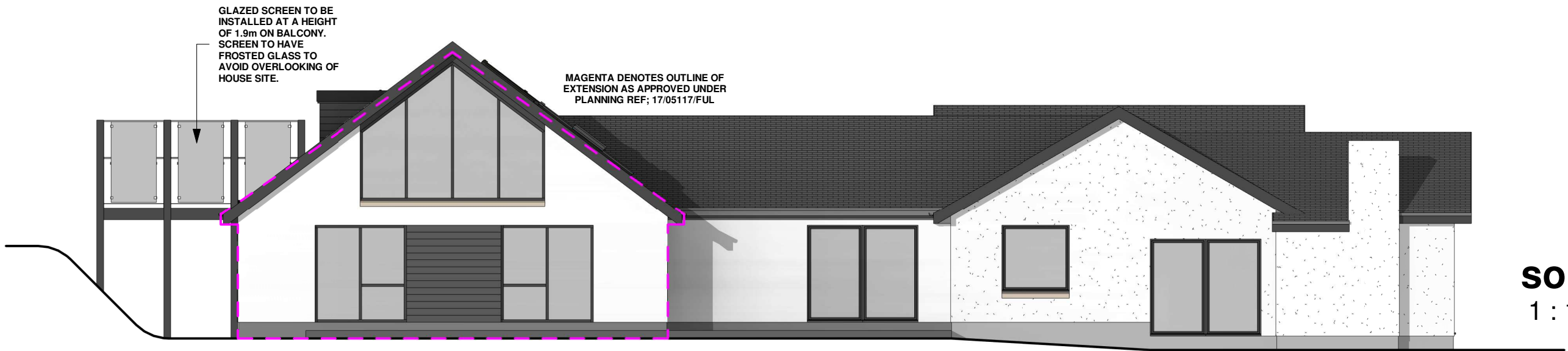
Date	19/10/2021
Drawn by	MB
Scale	1 : 100

2021 070 - 010

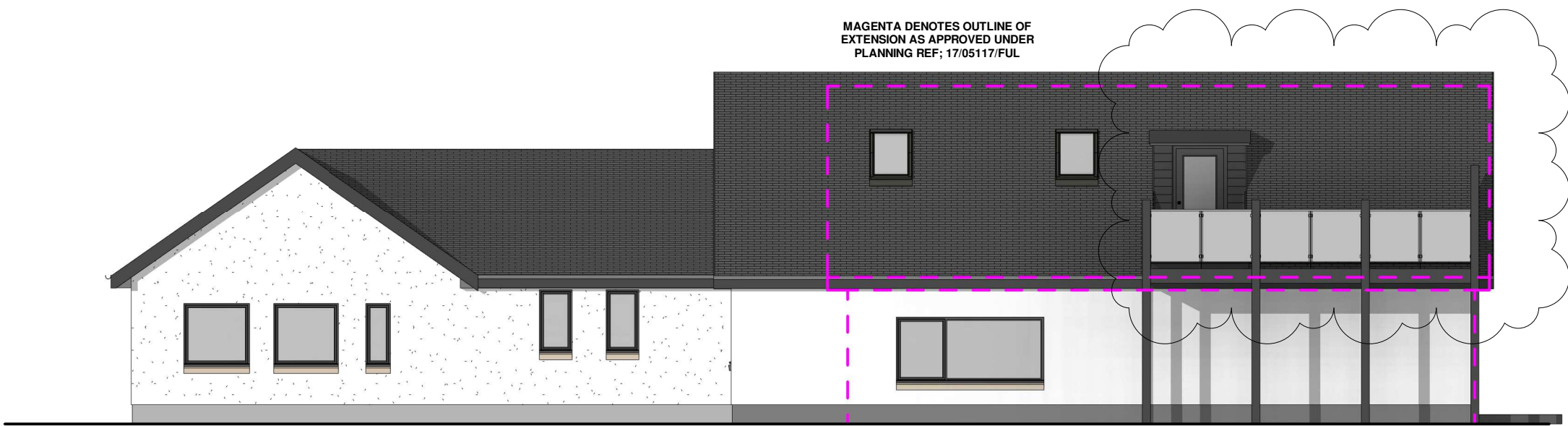
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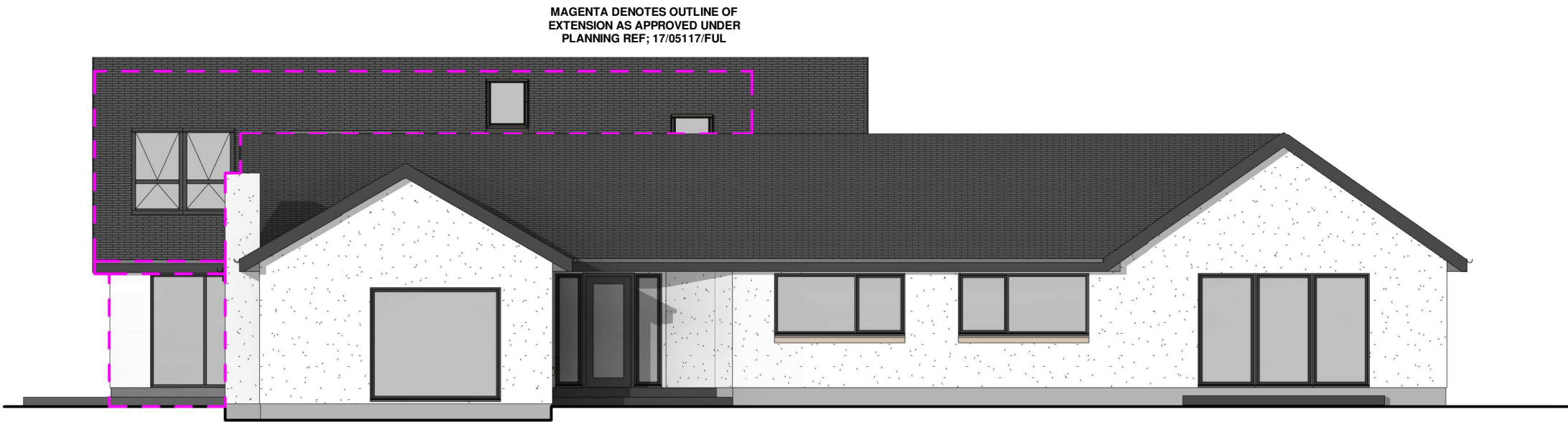
north
1 : 100



south
1 : 100

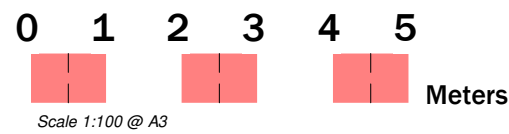


west
1 : 100



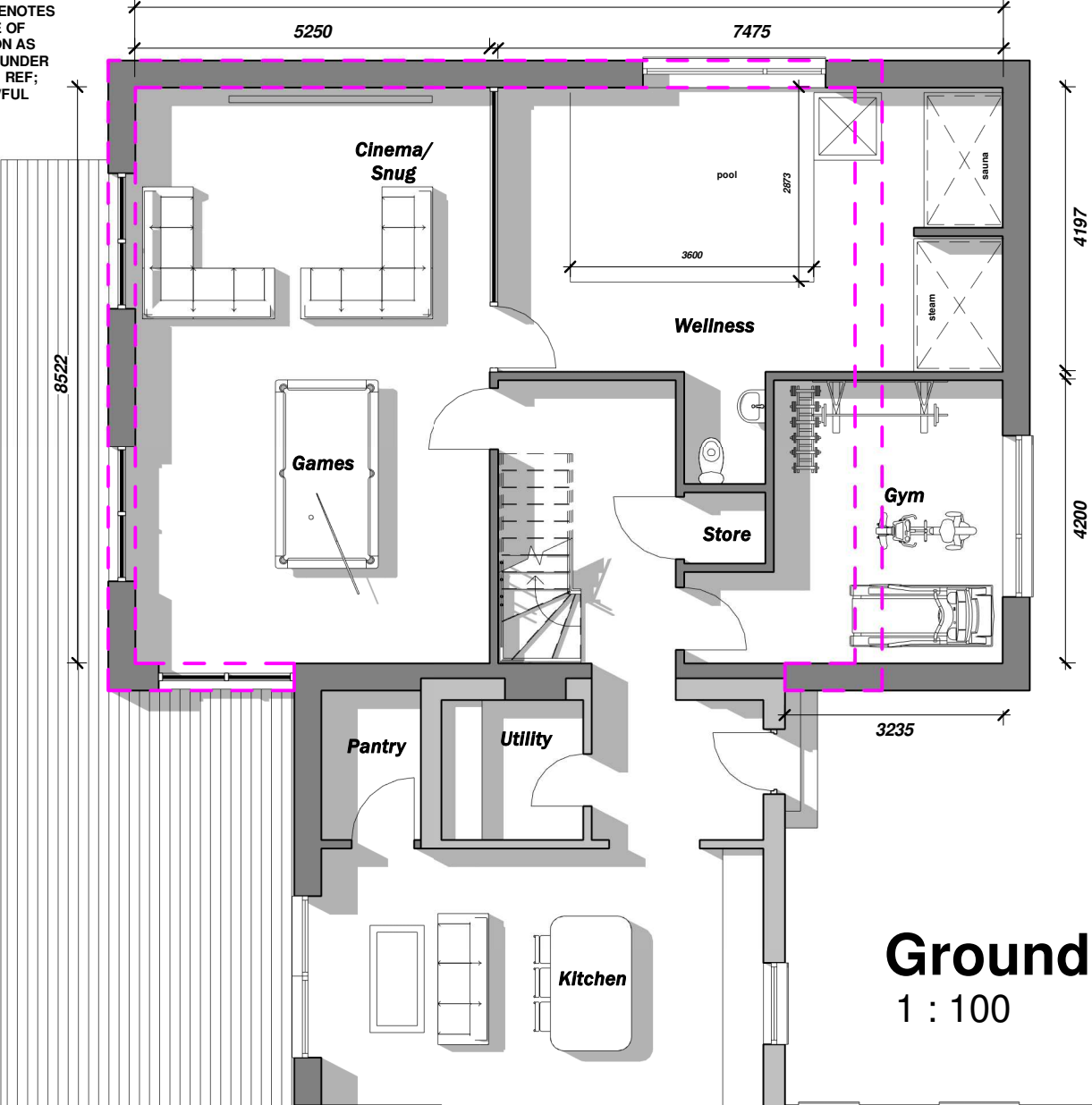
east
1 : 100

Material Specification:
Wall - Existing walls painted Pure Brilliant White. - Render to match existing.
Windows - Coloured to RAL 7016.
Door - Coloured to RAL 7016.
Roof - Membrane roof Coloured to RAL 7016. - Tiles to match existing.
Eaves - UPVC rainwater goods - Painted timber fascia and soffits to RAL 7016



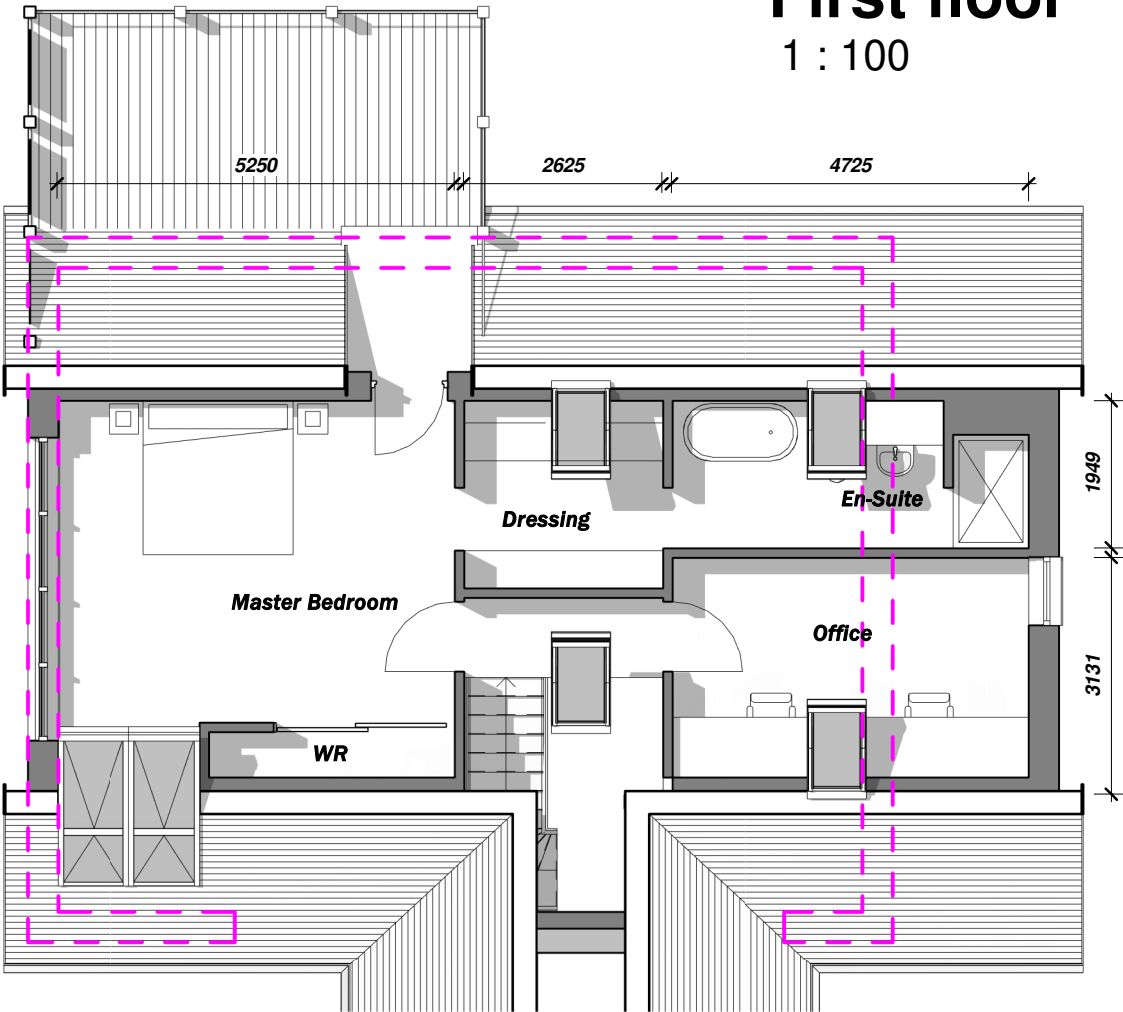
FOR PLANNING		
 reynolds architecture ltd. 1 tulloch street, dingwall. IV15 9JY tel. 01349 867766 www.reynolds-architecture.com		
No.	Description	Date
A	ALTERED DESIGN	06.10.22
B	ACOUSTIC FENCE ADDED. BUND ROUTE ALTERED. FELLED & TREE FARM INDICATED ON LOCATION PLAN. BALCONY ALTERED	08.11.22
Mr T Campbell		
Alterations to Windrill, Drumsmittal, North Kessock		
(proposed) Elevations		
Date	15/09/2021	
Drawn by	MB	
2021 070 - 006		
Scale	1 : 100	
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MAGENTA DENOTES
OUTLINE OF
EXTENSION AS
APPROVED UNDER
PLANNING REF;
17/05117/FUL

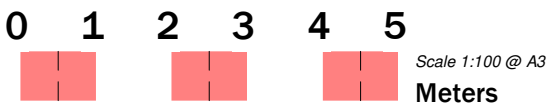


Ground floor
1 : 100

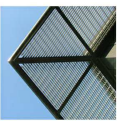
MAGENTA DENOTES
OUTLINE OF
EXTENSION AS
APPROVED UNDER
PLANNING REF;
17/05117/FUL



First floor
1 : 100



FOR PLANNING



reynolds architecture ltd.
1 tulloch street, dingwall. IV15 9JY
tel. 01349 867766
www.reynolds-architecture.com

Rev	Description	Date
A	ALTERED DESIGN	06.10.22

Mr T Campbell
Alterations to Windrill, Drumsittal, North Kessock

(proposed) Floor Plans

Date	15/09/2021
Drawn by	MB
Scale	1 : 100

2021 070 - 005

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