

Agenda Item	6.11
Report No	PLN/037/26

HIGHLAND COUNCIL

Committee: North Planning Applications Committee

Date: 10 June 2026

Report Title: 25/01402/FUL : Inver House Distillers

Land 65m SE of Iluka
Oldwick Road
Wick

Report By: Area Planning Manager - North

Purpose/Executive Summary

Description: Erection of bonded warehouse and formation of access, carpark, SuDS and landscaping

Ward: 3 – Wick and East Caithness

Development category: Local

Reason referred to Committee: Number of Representations

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 The proposed development is for the erection of new bonded warehouses in association with Old Pulteney Distillery that is capable of storing approximately 3,000 barrels. The proposal comprises three bonded warehouses arranged in a single, low-lying row along the Mill Lade in Wick. Each of the warehouses is broadly square in shape, measuring 30m x 30m, with Warehouses 1 and 3 identical in footprint. Warehouse 2 has a slightly reduced footprint, measuring approximately 0.2m less in width. All units comprise pitched roofs, with a ridge height of 7.4m, and the eaves height of 5.5m between the gables and along the central green roof feature. The site extends to approximately 1.87 hectares and currently consists of scrub and grassland, with areas of informal waste deposition and debris evident along the watercourse.

The site is located immediately southeast of the existing Old Pulteney Distillery, the site lies to the rear of established residential properties. Vehicular access is to be taken from Oldwick Road, with a new pedestrian path proposed along the Mill Lade, connecting to the wider core path network at the southeastern corner of the site.

The warehouses are aligned broadly parallel to the Mill Lade and are set diagonally away from neighbouring residential properties, reflecting a layout that responds to both the site's physical constraints and surrounding context. The proposal represents a reduction in scale from earlier iterations, with a 25% decrease in built footprint achieved through the removal of one unit and the repositioning of the remaining buildings further from existing housing.

- 1.2 The scheme incorporates areas of landscaping, particularly at the site entrance and along the Mill Lade corridor, alongside integrated parking, security fencing, and associated infrastructure. Sustainable Drainage Systems (SuDS) are proposed within the southeastern portion of the site, forming part of a comprehensive approach to surface water management and environmental enhancement.
- 1.3 Pre-Application Consultation: The initial consultation response identified concerns regarding flood risk and overall site suitability. The pre-application proposal at that stage comprised seven warehouses across the full extent of the site and was considered poorly aligned with the site's mixed-use allocation, with the scale and industrial nature of the development viewed as incompatible with the surrounding residential character. Following this, the Planning Authority engaged with the applicant to discuss these concerns, including the suitability of the site and potential alternatives. It was agreed that a development of this scale would not be acceptable in this location, and that a reduced scheme, supported by the necessary technical information, could be considered more favourably.
- 1.4 Supporting Information:
- Construction Traffic Management Plan,
 - Design Statement,
 - Flood Risk Assessment,

- Landscape Maintenance Plan,
- Planning Supporting Statement,
- Biodiversity Net Gain Report,
- Habitat Classification Survey and Protected Species Survey,
- Drainage Impact Assessment,
- Existing Services Report,
- Flood Risk Response Technical Note,
- Site Walk Over Report and Photos, Landscape Precedents
- Lightweight Sedum Roof System Data Sheet

1.5 Variations:

- 15 December 2025: Updated to reduce the scale of development to three warehouses, with the site layout adapted accordingly. New information added for drainage and flooding, and updated SuDS infrastructure added as well.
- 6 May 2026: Indicative landscaping plan submitted including formalised path along the Mill Lade

2. SITE DESCRIPTION

2.1 The application site extends to approximately 1.87 hectares and comprises vacant, generally level grassland located on the northeastern periphery of Wick, immediately south of the Old Pulteney Distillery. The site is triangular in form and is bounded by Oldwick Road to the west and south, Roxburgh Road to the north, and the Mill Lade to the east, a man-made watercourse supplying water from Loch Hempriggs to the distillery.

The site is currently undeveloped, although it is partially enclosed along its western and southern boundaries by established residential development. This nearby housing is predominantly suburban in character and comprises a mix of detached and semi-detached properties, largely arranged in a single tier and set within relatively generous plots. Properties immediately adjoining the site to the west and south are typically single-storey and 1 ½ storeys in height, while more substantial two-storey dwellings are located further west within established residential streets.

In the wider context, the surrounding area is characterised by a mix of residential, commercial and industrial uses. To the north, there are two-storey semi-detached houses and flatted developments alongside commercial premises, including an auctioneer, and industrial uses such as North Coast Timbers and the Old Pulteney Distillery. To the west, residential areas are interspersed with areas of open space, including Bignold Park, Wick Academy Football Club and a cemetery, all of which lie within approximately 400 metres of the site. To the south, the pattern of development continues with predominantly single-storey detached dwellings marking the edge of Wick's Settlement Development Area, beyond which lie open agricultural fields extending to the east and south of the site.

The proposed development will be located in proximity to existing residential properties. The nearest dwelling lies approximately 20 metres from the closest proposed warehouse building when measured on a corner-to-corner basis. This

relationship provides important context in understanding the interface between the proposed commercial use and the surrounding residential environment.

3. PLANNING HISTORY

3.1 03.05.2024 24/01103/PREAPP : Proposed Bonded Warehouse Development PREAPP RESPONSE ISSUED

4. PUBLIC PARTICIPATION

4.1 Advertised: Unknown Neighbour / Schedule 3 Development – John O’ Groats Journal

Date Advertised: 13.06.2025

Representation deadline: 27.06.2025

Timeous representations: 17

Late representations: 6

4.2 Material considerations raised in objection comments are summarised as follows:

a) Increased traffic and congestion, road safety for vehicles and pedestrians

Planning response: In consultation with Transport Planning, this application is considered to be acceptable, with conditions securing further road safety measures and a Construction Traffic Management Plan. It is noted that the nature of the development precludes frequent site traffic once the warehouses are operational. This is covered further in the section on access and infrastructure.

b) Noise pollution

Planning response: The impact on amenity has been fully assessed in the relevant section of this report, with conditions secured where necessary. Environmental Health were consulted and raised no objection, and while there will be construction noise, this will be within controlled hours, and once the site is operational there will be limited noise, as detailed later in the report.

c) Air and environmental pollution

Planning response: Concern over pollution and the developments proximity to a watercourse has been considered, and conditions are attached to protect the Mill Lade during construction and operation. Air pollution insofar as it relates to vapours from the maturing whisky is considered to be negligible given the smaller scale of development and open sea air providing natural ventilation.

d) Health and safety concerns

Planning response: Concerns regarding potential health effects from environmental blackening (“angel’s share” mould) are noted. However, no objections have been raised by Environmental Health, and there is no clear evidence demonstrating a direct health impact. It is also considered that local climatic conditions, including coastal winds, would assist in dispersing any vapours. Safety in relation to pedestrians is considered in the section on access and infrastructure. Some aspects related to these issues are covered in more detailed in sections 8.63-8.65.

- e) Zoning and land use conflict, wrong site for development
Planning response: The site is identified in local plans as suitable for mixed-use development. The implications of siting industrial warehouses in a partially residential area is considered at length in the assessment that follows and considered on the whole to be acceptable. It is also noted that the applicant has provided justification in that their product is marketed as being matured by the “sea air”. Commentors suggested that other sites would be better suited to this development, however this is the application that has come forward and is assessed accordingly.
- f) Aesthetic and community impact
Planning response: Concerns over the design being incongruous and out of character for the area are noted. While there are houses to the west and south, it is noted that there is still a significant industrial presence immediately north and northwest of the site. The design and visual impacts are considered in the section of this report on siting, design and amenity.
- g) Light pollution
Planning response: This is considered in the section on siting, design, and amenity and will be further addressed via condition to ensure no light spills outwith the site.
- h) Environmental blackening, specifically on properties
Planning response: This is covered in the section on amenity, but there has been no definitive link identified between environmental blackening and maturation warehouses.
- i) Inappropriate design contrary to Policy 28
Planning response: This is considered at length in the section on siting, design and amenity and on the whole the design is appropriate to the policy.
- j) Loss of natural light at residential properties
Planning response: The buildings maximum ridge height is 7.4m, with the closest property a distance of 15m away to the south of the site. As such, it is not expected that there will be any significant impact on natural light reaching neighbouring properties, as discussed further in the report.
- k) Impact on nature and wildlife in the area

Planning response: Preliminary protected species surveys and biodiversity information have been submitted and indicate no significant adverse effects on local wildlife. Further mitigation measures, along with an updated Biodiversity Net Gain report, will be secured by condition to ensure any impacts are appropriately addressed.

l) Insufficient screening measures

Planning response: The security fencing required for bonded warehouses is acceptable, and landscaping will be further secured via condition to ensure proper screening and visual amenity.

4.3 Material considerations raised in support comments are summarised as follows:

- a) Safeguarding and creation of jobs
- b) Increased tourism in Wick, sustaining local economy
- c) Environmental enhancements of site

4.4 Non-material considerations raised are summarised as follows:

a) Decreased property values

Planning response: This is not a material planning consideration.

b) Will result in increased crime and anti-social behaviour

Planning response: This is a matter for the police and not within the remit of planning.

4.5 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet <https://www.highland.gov.uk/planning/view-comment-planning-applications>.

5. CONSULTATIONS

5.1 **Wick Community Council** has raised no objection to the proposal and expresses support for Old Pulteney Distillery's intentions to expand through the provision of additional warehouse capacity. However, the Community Council has queried the suitability of the proposed location within a predominantly residential area and suggests that the development may have been more appropriately located within an established industrial estate.

5.2 **Transport Planning** initially raised no objection in principle but requested further information relating to access design, traffic management, cycle provision and construction details. Following the submission of additional information addressing these matters, Transport Planning has confirmed that it has no objection to the proposal, subject to conditions. This position is based on the acceptability of the revised access arrangements, appropriate drainage design, and confirmation that operational traffic associated with the development will be minimal and will not materially impact the surrounding road network.

5.3 **Development Plans** does not object to the proposal and considers it to be broadly in conformity with the Development Plan. The site is allocated as mixed

use (WK17) within the CaSPlan, where business and industrial uses, including Class 6 storage, are acceptable in principle. While the proposal introduces industrial development within a predominantly residential edge-of-settlement location, it is recognised as functionally linked to the Old Pulteney Distillery and therefore appropriate in this context. The siting of the warehouses, including the use of set-backs, landscaping buffers and contained operational areas, is considered to mitigate potential impacts and supports the acceptability of the development despite its industrial nature.

In addition, the proposal is considered to accord with NPF4 Policy 3 and HwLDP Policies 58 and 59, with surveys submitted and mitigation measures proposed to protect biodiversity and secure net gain.

The development has also been assessed against policies relating to transport, design, flood risk and environmental protection, including NPF4 Policies 13, 14, 22 and 23 and relevant HwLDP policies. Subject to further detailed considerations, including transport management, noise, and drainage, the proposal is considered capable of complying with these requirements.

Development Plans have advised that to wholly comply with Development Plans, the following details would be required: Travel Plan including Operational Transport Management Plan, Noise Impact Assessment, 25m setback requirements to comply with the developer requirements of WK17.

It is considered sufficient to deal with noise through condition, and that no operational transport plan would be required given the minimal journeys expected at the dunnage warehouses. However, delivery times are secured by condition to ensure any movements on-site happen within accepted hours.

The 25m buffer is considered nonviable in terms of development, and discussed in the section of the report on Flood Risk.

- 5.4 **Access Officer – Caithness and Sutherland** does not object to the proposed development, given there is little evidence that the site of this proposed development has been used regularly for amenity/recreational use. Aerial images from ~1999 do suggest regular use, for possibly dog walking, but this use is not evident in any of the newer aerial images.

The Access Officer also highlight that the 6m buffer from the Mill Lade, with the indicative recreation area/walkway, is welcomed as it will preserve a corridor for informal public use.

- 5.5 **Environmental Health** raised no objections to the proposal. They have commented that SEPA will have regard to the protection of the Mill Lade, but as it is a private water supply, it must be kept safe from contamination during construction. This will be secured via condition.

- 5.6 **Contaminated Land** have raised no objection to the development but note that historical OS maps record a former mill pond located in the northern part of the site.

It is unclear whether the area was infilled when this use ceased, and the provenance of material used as infill. As such, a condition is recommended to secure information concerning the ground conditions in the northern part of the

site to indicate whether infilling has occurred, and if any waste materials are present.

5.7 **Historic Environment Team – Archaeology** have raised no objection but note that the site lies within an area of potential archaeological interest. As such, a condition is attached for a scheme of investigation to be undertaken prior to the commencement of any development on site.

5.8 **Flood Risk Management Team** initially objected to the proposal due to insufficient information regarding flood risk, particularly in relation to the revised layout and proximity to the Mill Lade.

Following the submission of additional technical information demonstrating appropriate finished floor levels, buffer distances and that development lies outwith flood risk areas, these concerns were addressed. As a result, the objection was withdrawn, subject to conditions securing detailed drainage measures.

5.9 **SEPA** initially submitted a holding objection on the basis of insufficient information in relation to flood risk. In particular, confirmation that the development would be located outwith areas at risk of flooding was sought, that no land raising would occur within any flood extent, that an appropriate buffer to the Mill Lade would be maintained, and that suitable finished floor levels and freeboard allowances were incorporated.

Following the submission of additional information, including updated site layout drawings and a technical response, SEPA reviewed the proposal and confirmed that their concerns had been satisfactorily addressed. This included demonstration that all built development and access tracks lie outwith the identified flood risk area, that no land raising is proposed within any flood extent, that a minimum 6m buffer from the Mill Lade is maintained, and that finished floor levels provide an appropriate freeboard above the adjacent bank level. On this basis, objection was withdrawn.

5.10 **Health and Safety Executive** did not raise any objection.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 **National Planning Framework 4 (2023) (NPF4)**

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation

Policy 3 - Biodiversity

Policy 4 - Natural Places

Policy 5 - Soils

Policy 13 - Sustainable Transport

Policy 14 - Design Quality and Place

Policy 15 - Local Living and 20 Minute Neighbourhoods

Policy 22 - Flood Risk and Water Management

Policy 23 - Health and Safety

Policy 26 - Business and Industry

Policy 30 - Tourism

6.2 Highland Wide Local Development Plan 2012 (HwLDP)

- 28 - Sustainable Design
- 29 - Design Quality and Place-making
- 31 - Developer Contributions
- 41 - Business and Industrial Land
- 43 - Tourism
- 55 - Peat and Soils
- 63 - Water Environment
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 77 - Public Access

6.3 Caithness and Sutherland Local Development Plan (2018) (CaSPlan)

Settlement Development Area – Wick

The site is designated for mixed-used development and identified as WK17: South of Roxburgh Road

6.4 Highland Council Supplementary Planning Policy Guidance

- Developer Contributions (March 2018)
- Flood Risk and Drainage Impact Assessment (Jan 2013)
- Public Art Strategy (March 2013)
- Standards for Archaeological Work (March 2012)
- Sustainable Design Guide (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Creating Places

8. PLANNING APPRAISAL

8.1 Sections 25(1) and 37(2) of the Town and Country Planning (Scotland) Act 1997 (as amended), collectively require that this application be determined in accordance with the development plan unless material considerations indicate otherwise. Section 24(1) requires that all planning applications must now be determined in accordance with the provisions of NPF4 and those of any the relevant, extant Local Development Plan unless material considerations provide justification otherwise. Section 24(3) states that in the event of any incompatibility between a provision of the National Planning Framework and a provision of a local development plan, whichever of them is the later in date is to prevail.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) Siting, Design and Amenity
 - c) Access and Infrastructure
 - d) Flood Risk and Surface Water Drainage
 - e) Environmental Impact
 - f) Integrated Impact Assessment
 - g) any other material considerations

Development plan/other planning policy

8.4 Business and Industrial Use:

Given the nature of the proposed development, it must be assessed against all relevant business and industry planning policies. The National Planning Framework 4 (NPF4), Highland-wide Local Development Plan (HwLDP), and the Caithness and Sutherland Local Development Plan (CaSPlan) all support the principle of sustainable economic growth, including new business and industrial development in appropriate and sustainable locations.

- 8.5 NPF4 Policy 26: Business and Industry seeks to encourage, support, and facilitate business and industrial development where it delivers wider economic and community benefit. Policy 26(c) states that such proposals will be supported where they are compatible with the primary function of the area. While the immediate surroundings of the application site comprise predominantly residential properties and agricultural land, this must be considered in the context of the wider area. The site lies in close proximity to established industrial activity, most notably the main Old Pulteney distillery complex approximately 350 metres to the north of the warehouses, alongside other associated industrial uses. As such, the introduction of bonded warehouse storage, fundamentally linked to the distillery's operation, is compatible with the established and evolving character of the wider area. The proposal is therefore considered a logical extension of an existing industrial function, rather than an isolated or incongruous use.
- 8.6 Furthermore, Policy 26(a) provides strong support for business and industry development on sites allocated for such uses within the Local Development Plan (LDP). The Caithness and Sutherland Local Development Plan (CaSPlan) identifies the site, together with adjacent land to the east, as allocation WK17: South of Roxburgh Road, covering approximately 4.1 hectares, and designated for mixed-use development, an allocation which explicitly supports a combination of housing, community, and business uses, thereby clearly establishing the acceptability of business-related development on the site.
- 8.7 In terms of business and industrial use classifications, the proposal falls within Class 6 (Storage or Distribution) as defined by the Town and Country Planning

(Use Classes) (Scotland) Order 1997. Bonded warehouses are appropriately categorised within this class; however, their function is directly ancillary to, and supportive of, the distillery's core business operations. There is also a recognised degree of overlap and flexibility between Class 6 (storage and distribution) and Class 4 (business use), which typically includes offices, research and development, and light industrial processes. Under the General Permitted Development (Scotland) Order, changes between certain use classes can occur without the need for full planning permission, reflecting the similar nature and compatibility of these uses in practice.

- 8.8 Given this close functional relationship, and the supporting policy framework that encourages business and industrial activity within mixed-use allocations, the proposed bonded warehouses can be considered as contributing to the business element of the WK17 mixed-use (housing, community and business) allocation identified in the CaSPlan, therefore aligning with the broader planning intention of supporting economically productive uses on the site.
- 8.9 The proposed use is not considered to constitute general industrial activity and therefore does not fall within Class 5 (General Industry) of the Scottish Use Classes Order. The nature of the operation does not involve industrial processing or manufacturing activities typically associated with Class 5 uses. Instead, the proposal is more appropriately categorised as Class 6 (Storage or Distribution), reflecting the primary function of the site for storage, handling, and distribution purposes. As such, the proposal aligns more closely with the characteristics and permitted development framework associated with Class 6 uses.
- 8.10 It was noted through pre-application discussions with the applicant and their agent, that there are existing industrial sites in close proximity to the distillery, both to the east and west, that are currently occupied or unavailable for purchase. Alternative sites within the wider Wick industrial area to the northwest were also discounted due to their separation from the distillery, which would reduce operational efficiency, particularly where staff access is required. On this basis, it is accepted that no suitable or reasonably available alternative sites exist.
- 8.11 The proposal is considered appropriate in both its nature and scale. The bonded warehouses are directly related to, and necessary for, the ongoing operation of the nearby distillery, and therefore represent a logical and compatible extension of an established industrial use. Matters relating to siting, design and the impact on neighbouring amenity are considered in detail in the following sections.
- 8.12 In addition, NPF4 Policy 26(e) requires that proposals for business and industrial development take account of:
- i. Impacts on surrounding residential amenity, sensitive uses, and the natural and historic environment; and
 - ii. The need for appropriate site restoration at the end of the commercial lifespan of the development.

8.13 In relation to criterion (i), potential impacts on residential amenity and the wider environment are fully considered in the subsequent sections of this assessment, including siting and environmental considerations. With regard to criterion (ii), site restoration is not considered to be a significant concern in this instance. Bonded warehouses associated with whisky maturation are typically long-term infrastructure, with operational lifespans extending over many decades. As such, the development is expected to remain in use for the foreseeable future, and restoration requirements are unlikely to arise within a conventional planning timeframe.

8.14 Finally, it is noted that Policy 41 of the Highland-wide Local Development Plan (HwLDP) broadly aligns with the principles of NPF4 Policy 26 and the CaSPlan allocation. Policy 41 supports business and industrial development within Wick and directs proposals towards allocated sites or land accommodating existing employment uses in the first instance. As the application site forms part of a mixed-use allocation that includes business uses and is functionally related to the expansion of the Old Pulteney Distillery, the proposal is considered to accord with the spatial strategy of the development plan.

8.15 CaSPlan Developer Requirements

The developer requirements for this site, WK17, are stated in the CaSPlan and constitute a material consideration in the determination of this application. The requirements for the site are:

- a) Flood Risk Assessment may be required (no development in areas shown to be at risk of flooding);
- b) Protected species survey;
- c) 25m development setback from watercourse;
- d) Avoid any discharge into the watercourse;
- e) Provision of areas of open space and creation of positive environmental, heritage and recreational feature of the mill lade/watercourse;
- f) Opportunity for multiple accesses into site;
- g) Development proposals should be accompanied by recreational management plans, if appropriate; and
- h) Development proposals will require to identify what measures will be put in place to ensure that there would be no adverse effect on the integrity of the East Caithness Cliffs SPA through increased disturbance caused by increased recreational use of the area by residents of the new housing.

8.16 It is considered that the proposal complies with the majority of the above criteria, which are assessed in detail within the relevant sections that follow, and criterion (g) has not been considered applicable in this instance. An exception relates to the recommended 25-metre setback from the watercourse, which is not considered feasible given the limited developable area of the site. This matter is examined in closer detail within the Flood Risk section of this report, alongside consideration of consultation responses from the Flood Risk Management Team, SEPA and Environmental Health regarding potential flood risk and contamination impacts.

8.17 Tourism

Both NPF4 and the HwLDP support the sustainable development and enhancement of tourism facilities. HwLDP Policy 43: Tourism in particular seeks to ensure that proposals contribute positively to the visitor economy, are proportionate to their location, complement existing facilities, and help to increase visitor numbers, length of stay and associated economic benefits.

8.18 The applicant's Planning Statement highlights that Old Pulteney Distillery has aspirations to expand its visitor offering in the future, further strengthening its role as a destination within Wick and the wider tourist network, including its association with the NC500 route. While these ambitions do not form part of the current application, they indicate a longer-term strategy to enhance visitor facilities on the existing distillery site. The current proposal can therefore be viewed as supporting this broader objective, consistent with the aims of Policy 43 in reinforcing and developing established tourism assets.

8.19 Overall, the development proposal is considered to be in accordance with the relevant policy frameworks set out in the NPF4, the HwLDP and the CaSPlan, all of which support sustainable economic growth and the expansion of business and industrial activity in appropriate locations. The proposed development represents a logical extension of an established distillery operation, contributing to the continued growth of a key local employer, tourism sector, and the wider Highland economy. It aligns with the mixed-use allocation for the site, satisfies the relevant criteria for development where allocation alone may not be determinative, and demonstrates clear locational and operational justification. Having established the principle of development, the assessment now considers site-specific matters to ensure the proposal can be appropriately accommodated within its immediate context.

Siting, Design and Amenity

8.20 Siting and Layout

The proposed development comprises three bonded warehouse buildings arranged in a single, low-lying linear formation. Each unit has a broadly square footprint with a pitched roof form, reaching a maximum ridge height of approximately 7.4m and reducing to a 5.5m eaves height between gables as well as along the central green roof feature. The buildings are aligned broadly parallel to the Mill Lade but are set on a diagonal axis relative to adjacent residential properties, which assists in reducing direct visual impact and perceived massing. This revised arrangement reflects a reduction of approximately 25% in the overall development footprint compared to the original scheme, following the removal of one of the four previously proposed warehouses. The most northerly of the three warehouses, Warehouse 3, is 13 m from the curtilage of the nearest house and 20 m from the back of the house itself. Whilst the most southerly of the three, Warehouse 1 is 17.5 m from the curtilage of the nearest house and 22.5 m from the house itself. Whereas the earlier proposal presented a continuous built form running parallel to neighbouring houses at a relatively uniform distance of around 20–25 metres, having a far greater impact on the houses situated on the eastern and northern

side of Old Wick Road. the amended layout introduces greater variation in siting, orientation and spacing. This revision to the layout, number, and orientation of the warehouses is more appropriate and has a significantly less overbearing relationship with surrounding residential houses.

- 8.21 Landscaping proposals focus on softening the site's appearance and strengthening its integration within the surrounding environment. Structural planting is proposed at the site entrance and along key boundaries to help filter views of the buildings, reduce their visual prominence and enhance biodiversity. In addition, a pedestrian path is to be formed alongside the Mill Lade, providing both amenity and recreational value while establishing a direct link to the existing core path network at the south-eastern corner of the site. This connection will improve accessibility and encourage active travel, ensuring the development contributes positively to the wider movement network and public realm.
- 8.22 Security and operational requirements have been carefully incorporated into the layout, including perimeter fencing and the arrangement of parking and servicing areas in close proximity to the warehouse units to maximise efficiency and minimise land take. Surface water management is addressed through the inclusion of Sustainable Drainage Systems (SuDS) within the south-eastern corner of the site. These features are designed in accordance with best practice to control runoff and reduce flood risk, while also delivering ecological and visual benefits. Together, these measures contribute to a comprehensive and sustainable design approach that balances operational functionality with environmental and amenity considerations.
- 8.23 Design and Visual Amenity

Initial concerns regarding the introduction of industrial style buildings within a setting immediately bordered by predominantly 1–2 storey residential properties have been satisfactorily addressed through a revised proposal that demonstrates a clear response to both the physical characteristics of the site and its wider context, resulting in a development that is considered compatible with its surroundings. While it is acknowledged that the proposal introduces a new built form into an area currently characterised as open field, the height, scale and overall design approach are considered to represent an appropriate and balanced response. In particular, the development reflects both the domestic scale of surrounding housing and the established industrial character associated with the whisky industry and existing Old Pulteney buildings in the locality. This is achieved through the modest form and height of the proposed warehouses and the revised layout, which improves the relationship with nearby residential properties. The original scheme comprised a continuous built form running parallel to adjoining houses, with a relatively uniform stand-off distance of approximately 20–25 metres. In contrast, the revised layout introduces a more considered diagonal orientation, significantly improving separation distances, with neighbouring properties now set a minimum of approximately 20 metres away and many benefiting from distances extending beyond 45 metres. When viewed from Old Wick Road and Roxburgh Road it will largely be in the context of houses in the foreground with the warehouses

set to their rear. This stepped effect will reduce their scale and massing between the affected buildings.

- 8.24 The three bonded warehouse buildings are arranged in a low-lying linear form, which helps reduce their visual prominence in both immediate and longer distance views. Each warehouse has a maximum ridge height of approximately 7.4 metres and is subdivided into two bays, enabling a lower roof profile and reducing the perceived massing of the overall development. This approach contributes positively to minimising visual impact and supports compliance with policy requirements for sensitive siting and high-quality design as set out in HwLDP Policy 28: Sustainable Design.
- 8.25 In terms of appearance, the external materials comprise predominantly dark corrugated metal cladding, complemented by areas of brickwork. This palette is appropriate to the functional, industrial nature of the development, while the muted tones assist in assimilating the buildings into the semi-rural edge of settlement context. The design of the green roof is a key feature in breaking up the overall scale and massing of the warehouses, incorporating subtle curved elements at the building ends which soften the form and reduce visual bulk. These green roof sections run between the gables and slope down towards both the front and rear elevations, further moderating the perceived height and aiding integration with the surrounding landscape, particularly when viewed from the proposed path along the Mill Lade. The inclusion of green roofs also aligns with sustainable design principles by contributing to biodiversity enhancement and surface water management, which are discussed in later sections.
- 8.26 While the presence of the development will inevitably be perceptible from certain viewpoints, including nearby residential properties and along Oldwick Road and Kennedy Terrace, the overall visual effects are not considered to be significant or unacceptable. Views of the development will be softened by a combination of the existing built form, proposed structural landscaping, and the integration of the green roof elements. In many cases, glimpses of the site will be partial or filtered, rather than continuous or dominant, thereby reducing the degree of visual intrusion.
- 8.27 From the south, including viewpoints experienced by users of the core path network, the development will extend the built form into an area currently characterised as open field. However, it is considered that the warehouses are largely read in the context of the existing settlement edge, with the development backdropped by established residential properties and the Old Pulteney buildings to the north. Furthermore, the inclusion of Sustainable Drainage Systems (SuDS) in the form of wet meadow features, alongside proposed boundary planting, will provide additional visual softening as these elements mature.
- 8.28 Overall, the development demonstrates a proportionate and contextually responsive design that balances operational requirements with environmental and visual considerations. It is considered that the proposal will not result in unacceptable impacts on individual or community residential amenity, nor on the wider landscape character. The scheme accords with the principles of

HwLDP Policy 28 by promoting high-quality design, minimising environmental impact, and supporting the economic development of the area. In particular, the development reflects policy expectations in relation to sensitive siting, the use of appropriate materials, the safeguarding of visual amenity, and the incorporation of sustainable design measures. As such, the proposal is considered to be compatible with the social, environmental and economic wellbeing objectives of the HwLDP.

8.29 Light and Noise Pollution

In terms of daylight, it is not considered that the proposed development will give rise to any unacceptable impacts on neighbouring residential properties. The scale, height, and positioning of the warehouses within the site have been carefully arranged to maintain appropriate separation distances and minimise any potential overshadowing effects. The closest dwelling is located approximately 20 metres from the nearest warehouse (measured building-to-building), with the second closest at approximately 22.5 metres to the southwest. All remaining nearby properties are set at distances exceeding 30 metres, with the seven immediately adjacent dwellings averaging approximately 48 metres from the nearest warehouse. Given the 7.4m ridge height of the warehouses, together with the diagonal orientation and clear separation from nearby residential properties, it is concluded that the development will not result in any significant loss of natural light, daylight or sunlight to surrounding properties, and therefore would not adversely affect residential amenity in this regard.

8.30 With respect to external lighting, it is acknowledged that some lighting will be required for operational safety and security purposes. However, the proposed lighting strategy is comprised of primarily low-level bollard units, and the site will not be subject to continuous or high-intensity floodlighting. Any higher-level lighting referred to within the submitted plans would be activated only when required, using passive infra-red sensors that respond to motion. This ensures that lighting is only operational for short, defined periods and only when necessary, thereby minimising unnecessary light spill or glare outwith the site. Details of all external lighting will be secured by planning condition to ensure that the final scheme is appropriately designed and does not result in unacceptable light pollution or adverse impacts on neighbouring properties or the wider environment.

8.31 In terms of noise, the nature of the proposed use as bonded warehouses is such that operational activity is inherently low-intensity. Once whisky casks are stored, they are generally left undisturbed for extended periods, resulting in minimal day-to-day activity on site. No generators or other significant sources of continuous noise are proposed as part of the development, as the warehouses feature vents for passive air flow. Any operational activity, including vehicle movements associated with delivery or collection, can be appropriately controlled through planning conditions restricting hours of operation. As such, it is considered that the development will not give rise to unacceptable levels of noise or disturbance and will be compatible with the amenity of nearby residential properties.

8.32 Environmental Blackening

Objection comments have raised concerns regarding environmental blackening associated with whisky maturation warehouses and its potential implications for residential amenity and human health. Environmental blackening is attributed to a naturally occurring fungal micro-flora (*Baudoinia compniacensis*), which can develop on external surfaces under certain atmospheric conditions and is not limited to distillery environments.

8.33 In assessing this issue, regard has been given to potential amenity and health effects, including concerns relating to respiratory conditions such as asthma. However, current research indicates that this micro-flora is widespread and there is no conclusive evidence establishing a direct causal link between maturation warehouses and adverse health impacts. On this basis, it is not considered that the proposal would result in a significant adverse effect on human health.

8.34 This position is supported by appeal decisions which have found that environmental blackening alone does not justify refusal of planning permission. It is also relevant that the site is located within an open, coastal environment with good air circulation, reducing the potential for concentrated accumulation. Furthermore, existing bonded warehouses associated with the distillery are already located approximately one street away, with no substantive evidence of significant health or air quality impacts.

8.35 In the context of NPF4 Policy 23: Health and safety, the proposal is not considered likely to give rise to significant adverse effects on health or air quality. Accordingly, while the concerns raised are acknowledged, environmental blackening is not considered to present a material constraint to the determination of this application.

8.36 The proposal is considered to align with the relevant siting and design policies in NPF4 and the HwLDP for sustainable development by reducing potential impacts on neighbouring residential amenity through its low-lying form, increased separation distances, and structural landscaping. The scale, materials and incorporation of features such as green roofing and SuDS contribute to a development that integrates satisfactorily with the surroundings while supporting operational requirements. Impacts in terms of daylight, noise, lighting and environmental blackening have been assessed and are not considered to give rise to significant adverse effects on residential amenity. As such, the development is judged to accord with HwLDP Policy 28: Sustainable Design through its sensitive siting, high-quality design and environmental mitigation measures, and with NPF4 Policy 23: Health and Safety in that it does not pose unacceptable risks to amenity or health.

Access and Infrastructure

8.40 Vehicle Access and Parking

The proposed vehicular access to the site will be taken from Oldwick Road and has been revised during the course of the application to improve its alignment and relationship with neighbouring properties. The updated design, including

an appropriate access width and kerb radii, is considered suitable for the intended industrial use and capable of safely accommodating HGV movements. Visibility splays are also considered acceptable for the 20mph road environment, ensuring adequate sightlines for vehicles entering and exiting the site.

8.41 The internal layout provides sufficient space for turning and manoeuvring, as demonstrated by swept path analysis, which confirms that the largest vehicles likely to access the site can do so safely and without conflict. Parking provision within the site is considered adequate to accommodate the anticipated low number of staff and any occasional visitors, thereby avoiding overspill onto the public road. A planning condition will secure the provision of parking prior to the site becoming operational, ensuring that on-street parking pressures do not arise.

8.42 Consideration has also been given to the location of parking within the site. Initial concerns were raised regarding the proximity of parking areas to the residential property immediately north of the proposed access, particularly in relation to potential impacts on privacy. Through the applicant's programme of public engagement, these concerns were explored and subsequently addressed. As a result, the parking has been repositioned further into the site, increasing its separation from neighbouring properties and reducing any potential impacts on residential amenity.

8.43 Pedestrian Access and Safety

The proposal incorporates multiple pedestrian access points, including a formalised walking route along the Mill Lade. This path extends from the northernmost point of the site and connects to Core Path CA15.32 (Seaview Farm – Pint o the Ord) at the south-eastern corner. The provision of this route responds directly to the developer requirements set out in the CaSPlan, which seek the delivery of accessible open space and the enhancement of the Mill Lade as a positive environmental, heritage and recreational asset. The design also reflects the desire for permeability through the site, enabling improved pedestrian connectivity.

8.44 The path is located between the Mill Lade and the security fencing enclosing the operational area of the development. At the northern entrance, seating is proposed alongside an interpretation panel, which could provide information relating to the Mill Lade, the distillery, and local biodiversity. These features will be secured by planning condition and maintained by the applicant for the benefit of the wider community. The route will offer a recreational resource, allowing users to engage with the watercourse and surrounding landscape, while also linking into the wider core path network. The inclusion of biodiversity enhancements and the wet meadow SuDS feature along the southern boundary will further contribute to the amenity value of the route.

8.45 Concerns have also been raised in relation to pedestrian safety along Oldwick Road and at the site access. These matters have been considered by the Transport Planning Team, who have raised no objection in this regard. The access arrangements, including visibility splays and road geometry, are

considered appropriate for the local context. It is also noted that the operational characteristics of the development are such that vehicle movements, including HGVs, will be minimal. As a result, it is not considered that the proposal will give rise to significant pedestrian safety concerns either along Oldwick Road or at the point of access to the site.

8.46 Traffic

In operational terms, traffic associated with the development is expected to be minimal. The applicant has indicated that HGV movements will be infrequent, with approximately one delivery or collection per month, reflecting the low-intensity nature of bonded warehouse use. Staff numbers will also be limited, resulting in a minimal number of daily vehicle trips. On this basis, the development is not anticipated to give rise to any material impact on the capacity or safety of the surrounding road network.

- 8.47 A Construction Traffic Management Plan (CTMP) will be secured by condition to manage traffic during the construction phase. This will include details such as agreed haulage routes, delivery scheduling, and mitigation measures to minimise disruption to local residents and road users. Subject to these safeguards, the proposed development is considered to be acceptable in terms of access, traffic generation, and road safety.

Flood Risk and Surface Water Drainage

- 8.48 A key consideration in the determination of this application is flood risk and drainage, having regard to the requirements of NPF4 Policy 22: Flood Risk and Water Management and HwLDP Policies 64: Flood Risk, 65: Waste Water Treatment and 66: Surface Water Drainage. SEPA flood mapping identifies parts of the site as being susceptible to surface water flooding, and the presence of the man-made Mill Lade introduces a degree of localised complexity which is not fully reflected in strategic mapping alone. The principal area of sensitivity lies along the eastern boundary of the site, approximately midway along the Mill Lade, where a localised depression exists. While the original four-warehouse layout avoided this area, the revised three-warehouse scheme introduces built development, most notably Warehouse 2, in closer proximity to this lower-lying ground, necessitating detailed assessment against policy requirements.

- 8.49 In this context, SEPA initially issued a holding objection, and the Council's Flood Risk Management Team (FRMT) also objected, citing insufficient information to demonstrate that the development would be located outwith the functional floodplain and would not be at risk of flooding, as required by NPF4 Policy 22 and HwLDP Policy 64. Concerns related to the adequacy of finished floor levels, the potential requirement for land raising, the relationship of the development to the Mill Lade, and the proposed drainage approach, including the acceptability of discharge to the watercourse. In particular, it was necessary to establish that all flood risks were fully understood and addressed; that there would be no reduction in floodplain capacity or increase in flood risk elsewhere; and that the development would remain safe and operational during flood events.

- 8.50 In response, the applicant submitted additional supporting information, including updated drawings, a technical flood risk response, and a planning addendum. This clarified that finished floor levels would be set at 35.2m AOD, providing an appropriate freeboard above the adjacent Mill Lade bank levels. Cross-section drawings demonstrate that the built development would lie at least 200mm above the bank level, in line with previously established principles, while also maintaining a minimum 6m undeveloped buffer to the watercourse. It has also been confirmed that all built development, including access arrangements, lie outwith the flood extent identified in SEPA's future flood mapping, and that no land raising will take place within any area identified as being at risk of flooding.
- 8.51 Following review of this information, SEPA confirmed that its concerns had been satisfactorily addressed and formally withdrew its objection, noting that the development is located outwith areas of medium to high flood risk, incorporates suitable buffer distances, and provides appropriate freeboard. Similarly, the FRMT reassessed the proposal and, having regard to site-specific topographical information, concluded that land to the east of the Mill Lade lies at a lower level than the area within the site adjacent to Warehouse 2. This indicates that, in the event of fluvial flooding, water would preferentially flow eastwards away from the development, thereby reducing the likelihood of flooding affecting the proposed buildings and neighbouring properties. On this basis, the FRMT withdrew its objection, confirming that the proposal complies with the requirements of HwLDP Policy 64.
- 8.52 Notwithstanding the removal of objections, both consultees have recommended that further detail be secured by condition to ensure full compliance with policy. In particular, a finalised Drainage Impact Assessment is required to demonstrate that surface water drainage will be managed in accordance with best practice and without adverse impact on the Mill Lade or surrounding environment. This aligns with the requirements of HwLDP Policy 66, which mandates the use of Sustainable Drainage Systems (SuDS) designed in accordance with established guidance, and requires arrangements for long-term maintenance. The proposed SuDS features, including wet meadow areas in the south eastern corner of the site, will provide both functional drainage and ecological enhancement. Matters relating to foul drainage will also require to be addressed in accordance with HwLDP Policy 65, including appropriate connection to the public sewer or demonstration of a suitable alternative that does not give rise to environmental or health concerns.
- 8.53 It is also noted that the Caithness and Sutherland Local Development Plan (CaSPlan) refers to a 25m stand-off from the Mill Lade. While the basis for this specific distance is not clearly evidenced, the proposal has been the subject of detailed consultation with SEPA and the FRMT, both of whom are satisfied that a 6m buffer, combined with appropriate finished floor levels and drainage design, is sufficient to manage flood risk in accordance with current policy and technical standards. As such, the proposal is considered to meet the intent of both NPF4 Policy 22 and HwLDP Policy 64 in avoiding and managing flood risk, without giving rise to increased risk elsewhere or compromising neighbouring properties.

- 8.54 Overall, while the revised layout introduces development closer to a flood risk area, the submission of detailed, site-specific information and the incorporation of embedded mitigation measures demonstrate that all flood risks have been appropriately identified and addressed. The proposal will remain safe and operational during flood events, will not reduce floodplain capacity or increase risk to third parties, and incorporates suitable allowances for climate change and freeboard. Subject to the recommended planning conditions, the development is therefore considered to comply with NPF4 Policy 22 and HwLDP Policies 64, 65 and 66, and is acceptable in terms of flood risk and drainage.

Environmental Impact

8.55 Protected Species

Pursuant to NPF4 Policy 4: Natural places and HwLDP Policy 58: Protected Species, development proposals with the potential to affect legally protected species must be supported by appropriate survey work and demonstrate compliance with relevant statutory requirements. As such, a UK Habitat Classification Survey and Protected Species Survey was undertaken in autumn 2024 and submitted in support of this application.

- 8.56 The survey identified that the site is predominantly comprised of low-quality grassland, with a small reedbed area to the north representing the only habitat of moderate ecological value. No protected species were recorded during the survey; however, the possibility of occasional use of the site cannot be entirely excluded. Notwithstanding this, the survey concludes that there are no significant ecological constraints in relation to either habitats or protected species.

- 8.57 While the proposed development is not considered likely to result in adverse impacts on protected species or habitats, the proximity to the Mill Lade watercourse is a material consideration and both SEPA and Environmental Health have identified potential risks in relation to pollution. Accordingly, appropriate safeguards will be required during construction to prevent contamination of the watercourse, which connects to Wick Harbour and supports bird species associated with nearby designated sites. A scheme for the management of potential contamination during both the construction and operational phases of the development will be secured by planning condition.

8.58 Biodiversity and Nature Enhancements

All development proposals must be assessed against NPF4 Policy 1: Tackling the Climate and Nature Crises, which requires significant weight to be given to the global climate and nature emergencies. The policy seeks to encourage and facilitate development that contributes positively to addressing these challenges, including promoting compact growth and sustainable patterns of development. In addition, NPF4 Policy 2 requires that development is sited and designed to minimise lifecycle greenhouse gas emissions as far as practicable.

- 8.59 NPF4 Policy 3: Biodiversity applies to all development proposals and requires the protection and enhancement of biodiversity, the reversal of biodiversity loss,

and the strengthening of nature networks. For local developments, proposals must include proportionate measures to conserve, restore and enhance biodiversity in line with national and local guidance.

- 8.60 The submitted ecological assessment confirms that the site is predominantly comprised of modified grassland of low ecological value, with areas of higher distinctiveness present in the wider baseline not affected by the proposed development. The development has been designed to avoid impacts on these higher value habitats.
- 8.61 The proposal delivers a substantial biodiversity net gain, achieving increases of 41.58% for area habitats and 43.32% for watercourses, significantly exceeding the minimum 10% requirement set out in policy and guidance. Additional enhancements are also expected in respect of habitat connectivity features, including hedgerows and tree lines; however, these could not be quantified within the submitted metric due to their absence in the baseline conditions. It is noted that the biodiversity assessment was prepared prior to the finalisation of the proposed landscaping scheme. Accordingly, a detailed Biodiversity Enhancement Plan will be secured by planning condition to ensure that biodiversity measures are clearly defined, deliverable, and capable of achieving the anticipated ecological enhancements.
- 8.62 Overall, the proposal is considered to comply with the requirements of NPF4 Policies 1–4 by avoiding adverse impacts on higher value habitats, delivering measurable biodiversity enhancements, and contributing positively towards tackling the climate and nature crises.

Integrated Impact Assessment

- 8.63 The requirement for an Integrated Impact Assessment (IIA) in this case arises from the nature of the concerns raised in representations. Objectors specifically raised concerns that the proposal would have an adverse impact on their health and wellbeing and would be contrary to the Equality Act 2010 and the Human Rights Act. These issues engage the Council's Public Sector Equality Duty under section 149 of the Equality Act 2010, its responsibilities in respect of Human Rights, and its wider duties to consider socio-economic impacts and wellbeing in decision-making.
- 8.64 In response, an IIA screening was undertaken to ensure that any potential impacts on people with protected characteristics, those who may be socio-economically disadvantaged, and the rights and wellbeing of residents were systematically identified, assessed and recorded. This demonstrates that the Council has given due regard to its statutory duties and has allowed those considerations to inform the planning assessment and recommendation to Members. For this proposal, an Integrated Impact Assessment screening was undertaken on 28th May 2026, and the conclusions have been reviewed and approved by the relevant manager.

- 8.65 While concerns were raised regarding the potential impacts of environmental blackening, evidence indicates it is a naturally occurring and widespread phenomenon with no clear causal link to adverse human health effects, and no objections have been raised by Environmental Health. Furthermore, the site's open coastal location, and existing nearby warehouses suggest low potential for significant accumulation or amenity impacts, meaning it is not considered a material constraint. As such, the proposal is not considered to result in an unacceptable interference with rights protected under Article 8 (right to respect for private and family life), Article 14 (protection from discrimination) or Protocol 1, Article 1 (protection from discrimination) of the European Convention of Human Rights (ECHR). On this basis, the screening concludes that the development is not considered to bring any negative impacts and that a Full Impact Assessment is not required.

Other Material Considerations

- 8.66 None

Non-material Considerations

- 8.67 The issues of property value and increased crime are not material planning considerations.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.68 None.

9. CONCLUSION

- 9.1 The principle of development is considered to accord with NPF4 Policy 26 and HwLDP Policy 41, which support business and industrial uses where they deliver economic benefit and are compatible with their surroundings. The proposal represents a logical extension of the established Old Pulteney distillery operations and aligns with the mixed-use WK17 allocation within the CaSPlan. It has been demonstrated that there are no suitable alternative sites and that the scale and nature of the development are appropriate to its context. As such, the proposal is consistent with the spatial strategy of the Development Plan and supports sustainable economic growth.
- 9.2 The proposal has been assessed against the developer requirements for Allocation WK17 set out in the CaSPlan and is considered to comply with the majority of these criteria, including flood risk assessment, biodiversity considerations, access provision, and the delivery of open space and recreational enhancements. While the full 25m setback from the Mill Lade is not achieved, technical assessment and consultee responses confirm that the proposed 6m buffer is appropriate and sufficient to manage flood risk. Overall, subject to conditions, the proposal satisfies the intent of the site-specific requirements.

- 9.3 The proposal aligns with NPF4 and HwLDP Policy 43, which support the enhancement of tourism infrastructure and the strengthening of existing visitor destinations. While not directly a tourism development, the proposal supports the operational capacity of Old Pulteney Distillery, a key tourism asset within Wick. The applicant's longer-term aspirations to expand visitor provision further reinforce this role. As such, the development contributes positively to the local visitor economy in line with policy objectives.
- 9.4 In assessing the impacts of the proposal on the surrounding area and residential amenity, it is acknowledged that the original scheme gave rise to concerns due to the number of buildings, their orientation and relatively uniform proximity to neighbouring properties. However, these concerns have been positively and comprehensively addressed through the reduction in the number of warehouses from four to three, the repositioning and rotation of the buildings to a diagonal alignment, and a notable increase in separation distances. The closest dwelling is now approximately 20 metres from the nearest warehouse (measured building-to-building), with the next closest at approximately 22.5 metres, and the majority of surrounding properties positioned at distances exceeding 30 metres, averaging around 48 metres. This increased separation, combined with the modest height and low-lying profile of the buildings, allows the development to be more readily absorbed into its surroundings and to read more comfortably in the context of adjacent residential areas, particularly given its set-back position to the rear of existing street frontages.
- 9.5 The siting, layout and design of the development are considered to accord with HwLDP Policy 28 and NPF4 Policy 23. The revised layout reduces the development footprint, increases separation from neighbouring properties, and incorporates structural landscaping and green infrastructure. Impacts relating to visual amenity, daylight, noise, lighting and environmental blackening have been carefully assessed and are not considered significant. The proposal represents a well-designed and contextually responsive development that safeguards residential amenity and integrates appropriately within its surroundings.
- 9.6 The proposed access, parking and internal layout are considered acceptable and comply with the requirements of the Development Plan in terms of road safety and infrastructure provision. Adequate visibility, manoeuvring space and parking are provided, and traffic generation will be minimal. Pedestrian connectivity is enhanced through the inclusion of a path linking to the core path network, supporting active travel and recreational use. Subject to conditions, the proposal is therefore acceptable in terms of access, infrastructure and transport considerations.
- 9.7 The proposal has been assessed against NPF4 Policy 22 and HwLDP Policies 64, 65 and 66 and is considered to comply with their requirements. Although initial concerns were raised, the submission of detailed technical information demonstrates that the development is located outwith areas of flood risk, incorporates appropriate freeboard and buffer distances, and will not increase flood risk elsewhere. Surface water will be managed through SuDS in line with best practice, and foul drainage will be addressed in accordance with policy.

Subject to conditions, the development is acceptable in terms of flood risk and drainage.

- 9.8 The proposal accords with NPF4 Policies 1–4 and HwLDP Policy 58 by demonstrating no significant adverse impact on protected species or habitats and delivering measurable biodiversity enhancement. Survey work confirms limited ecological constraints, and appropriate safeguards will be secured to protect the Mill Lade and surrounding environment. The scheme achieves significant biodiversity net gain and incorporates habitat enhancements, thereby contributing positively to nature recovery and wider environmental objectives.
- 9.9 An Integrated Impact Assessment screening has been undertaken, which identified no potential impacts in respect of equalities or related human rights arising from the proposed whisky maturation warehouses or their relationship with the surrounding area. This reflects that there is no evidence of significant amenity, health, accessibility or safety effects, including in relation to environmental blackening. Accordingly, the development is not considered to give rise to any significant amenity, accessibility or safety concerns.
- 9.10 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Notification to Scottish Ministers N

Conclusion of Section 75 Obligation N

Revocation of previous permission N

Subject to the above actions, it is recommended to **GRANT** the application subject to the following conditions and reasons.

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development shall commence until a scheme to deal with potential contamination on site has been submitted to and agreed in writing by the Planning Authority. The scheme shall include:
 - a) the nature, extent and type of contamination on site and identification of pollutant linkages and assessment of risk (i.e. a land contamination investigation and risk assessment), the scope and method of which shall be submitted to and agreed in writing by with the Planning Authority, and undertaken in accordance with PAN 33 (2000) and British Standard BS 10175:2011+A2:2017 Investigation of Potentially Contaminated Sites - Code of Practice;
 - b) the measures required to treat/remove contamination (remedial strategy) including a method statement, programme of works, and proposed verification plan to ensure that the site is fit for the uses proposed;
 - c) measures to deal with contamination during construction works;
 - d) in the event that remedial action be required, a validation report that will validate and verify the completion of the agreed decontamination measures;
 - e) in the event that monitoring is required, monitoring statements shall be submitted at agreed intervals for such time period as is considered appropriate by the Planning Authority.

No development shall commence until written confirmation has been received that the scheme has been implemented, completed and, if required, monitoring measurements are in place, all to the satisfaction of the Planning Authority.

Reason: In order to ensure that the site is suitable for redevelopment, given the nature of previous uses/processes on the site.

3. No development shall commence until a finalised Drainage Impact Assessment (DIA) has been submitted to and approved in writing by the Planning Authority, in consultation with the Flood Risk Management (FRM) Team.

The approved Drainage Impact Assessment shall thereafter be implemented in full for the duration of the development.

Reason: To ensure that an appropriate drainage strategy is in place and to prevent an increased risk of flooding, in the interests of flood risk management and the proper planning of the area.

4. Prior to the commencement of development, details shall be submitted to and approved in writing by the Planning Authority confirming the presence or absence of any formal or informal footbridge over the mill lade shown on desktop mapping and/or indicated on the landscape layout drawings.

Where a footbridge is confirmed to exist, the submission shall include an assessment demonstrating that the structure presents no risk of obstruction to flows or otherwise increases flood risk to the proposed development or surrounding area. Where no such structure exists, this shall be clearly evidenced.

Thereafter, the development shall be carried out in accordance with the approved details.

Reason: To ensure that any existing structure does not adversely affect water flow or increase flood risk in the interests of flood risk management and the safety of the development.

5. No development or site clearance shall commence until detailed drawings and specification for the site access onto Oldwick Road have been submitted to, and approved in writing by, the Planning Authority in consultation with the Roads Authority. The access shall be constructed in accordance with the approved details prior to any other works commencing on site

Reason: To ensure the junction is constructed to an appropriate standard for industrial use, safeguarding road safety and structural integrity.

6. No development shall commence until a detailed Construction Traffic Management Plan (CTMP), based on the submitted framework document, has been updated following appointment of a contractor and approved in writing by the Planning Authority in consultation with the Roads Authority. The CTMP shall include:

- 1) Finalised haulage routes;
- 2) Delivery booking system and restricted hours;
- 3) Banksman provision for all HGV movements;
- 4) Measures for road cleansing, dust suppression;
- 5) wheel washing; and
- 6) Contact details for site management and compliance monitoring.

Reason: To safeguard the safety and convenience of road users during construction.

7. No works in connection with the development hereby approved shall commence unless an archaeological Written Scheme of Investigation (WSI) has been submitted to and approved in writing by the planning authority and a programme of archaeological works has been carried out in accordance with the approved WSI. The WSI shall include details of how the recording and recovery of archaeological resources found within the application site shall be undertaken, and how any updates, if required, to the written scheme of investigation will be provided throughout the implementation of the programme of archaeological works. Should the archaeological works reveal the need for post excavation analysis the development hereby approved shall not be occupied or brought into use unless a Post-Excavation Research Design (PERD) for the analysis, publication and dissemination of results and archive deposition has been submitted to and approved in writing by the planning authority. The PERD shall be carried out in complete accordance with the approved details.

Reason: In order to protect the archaeological and historic interest of the site.

8. No development shall commence until full details of any external lighting to be used within the site and/or along its boundaries and/or access have been submitted to, and approved in writing by, the Planning Authority. Such details shall include full details of the location, type, angle of direction and wattage of each light which shall be so positioned and angled to prevent any direct illumination, glare or light spillage outwith the site boundary and to minimise impacts on nocturnal wildlife, including bats. Thereafter only the approved details shall be implemented.

Reason: In order to ensure that any lighting installed within the application site does not spill beyond the intended target area, does not impact adversely upon the amenity of adjacent properties and does not result in 'sky glow'.

9. No development shall commence until details of a scheme of hard and soft landscaping works (demonstrating biodiversity enhancement) have been submitted to, and approved in writing by, the Planning Authority. Details of the scheme shall include:

- i. All earthworks and existing and finished ground levels in relation to an identified fixed datum point;
- ii. A plan showing existing landscaping features and vegetation to be retained;
- iii. The location and design, including materials, of any existing or proposed walls, fences and gates;
- iv. All soft landscaping and planting works to conserve, restore and enhance biodiversity levels, including plans and schedules showing the location, species and size of each individual tree and/or shrub and planting densities;
- v. Biodiversity Enhancement Plan;

- vi. Details of proposed seating and benches, including their design, materials, location and arrangement;
- vii. Details of the proposed pathway, including alignment, levels, surfacing materials and boundary treatments;
- viii. Details of any proposed public art, including siting, scale, design, materials and maintenance arrangements; and
- ix. A programme and timetable for the preparation, implementation, completion and subsequent on-going maintenance and protection of all landscaping works (including hard landscaping, seating, pathways and public art).

Landscaping works shall be carried out in accordance with the approved scheme. All planting, seeding or turfing as may be comprised in the approved details shall be carried out in the first planting and seeding seasons following the commencement of development, unless otherwise stated in the approved scheme. Any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: In order to ensure that a high standard of landscaping is achieved, appropriate to the location of the site.

10.

No development shall commence until full details of a covered and secure communal bicycle storage/racking system for 6 bicycles have been submitted to, and approved in writing by, the Planning Authority. Thereafter, the storage/racking system shall be installed in accordance with these approved details prior to the first occupation of the development hereby approved.

Reason: In order to facilitate the use of a variety of modes of transport.

11.

No development shall commence until a scheme for the protection of the Mill Lade water supply and associated water environment has been submitted to and approved in writing by the Planning Authority, in consultation with Environmental Health where appropriate. The scheme shall include details of measures to prevent pollution, sedimentation, surface water contamination, and any adverse impact on water quality during construction and operation of the development.

Thereafter, the approved mitigation measures shall be implemented in full for the duration of the construction works and maintained thereafter unless otherwise agreed in writing by the Planning Authority.

Reason: To safeguard the quality of the Mill Lade water supply and protect the water environment in the interests of environmental protection and public health.

12.

Prior to the first occupation of the development hereby approved, the car parking and access arrangements detailed on approved plan ref. 17545-DB3-B00-00-DR-A-90002 REV P10 shall be completed in full and made available for use. Thereafter, all car parking spaces shall be maintained for this use in perpetuity.

Reason: In order to ensure that the level of off-street parking is adequate.

13. Any noise originating from the operation of the premises shall be inaudible within any noise sensitive premises. For the purposes of this condition, "noise-sensitive premises" includes, but is not necessarily limited to, any building, structure or other development the lawful use of which a) falls within Classes 7 (Hotels & Hostels), 8 (Residential Institutions) or 9 (Houses) of the Town and Country Planning (Use Classes) (Scotland) Order 1997 (as amended), or b) is as a flat or static residential caravan.
- Reason:** In order to safeguard the amenity of neighbouring properties and occupants.
13. There shall be no vehicle deliveries to, or the unloading or loading of delivery vehicles within, the application site outwith the hours of 8:00 to 18:00 inclusive, from Monday to Friday and excluding public holidays, unless otherwise approved in writing by the Planning Authority as an exceptional instance for operating outwith these hours.
- Reason:** In order to safeguard the amenity of neighbouring properties and occupants.
14. No development shall take place within 6 metres of any watercourse without planning permission being granted on application to the Planning Authority.
- Reason:** To ensure that development which is normally permissible without the need for a planning application is carefully managed and does not encroach onto riparian buffer strips. Such buffers strips are required a) for the maintenance of watercourses within the application site, b) to account for natural watercourse migration, and c) in order to safeguard property from flood risk.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.

2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature:

Designation: Area Planning Manager - North

Author: Katie Tolley

Background Papers: Documents referred to in report and in case file.

Relevant Plans: Plan 1 - Site Layout Plan - 17545-DB3-B00-00-DR-A-90002 REV P10
Plan 2 - Location Plan - 17545-DB3-B00-00-DR-A-90001 REV P05

Plan 3 - Elevations - 17545-DB3-B00-00-DR-A-20701 REV P02
Plan 4 - Floor Plan - 17545-DB3-B00-00-DR-A-20101 REV P02
Plan 5 - Site Elevations - 17545-DB3-B00-00-DR-A-90003 REV B
Plan 6 - Roof Plan - 17545-DB3-B00-RF-DR-A-27101 REV P02
Plan 7 - General Plan - 17545-DB3-B00-ZZ-DR-A-20105 REV P03
Plan 8 - Flood Extents Layout - 169402/1000 REV B
Plan 9 - Site Cross Sections - 169402/1001 REV A
Plan 10 - Road Plan - 169402/1002 REV A
Plan 11 - Swept Path Analysis - 169402/1003 REV A
Plan 12 - Road Layout Plan - 169402/1004 REV A
Plan 13 - Drainage Layout Plan - 169402/2000 REV B
Plan 14 - Services Routing Plan - 169402/2001 REV B
Plan 15 - Landscaping Plan - L01 REV A

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:

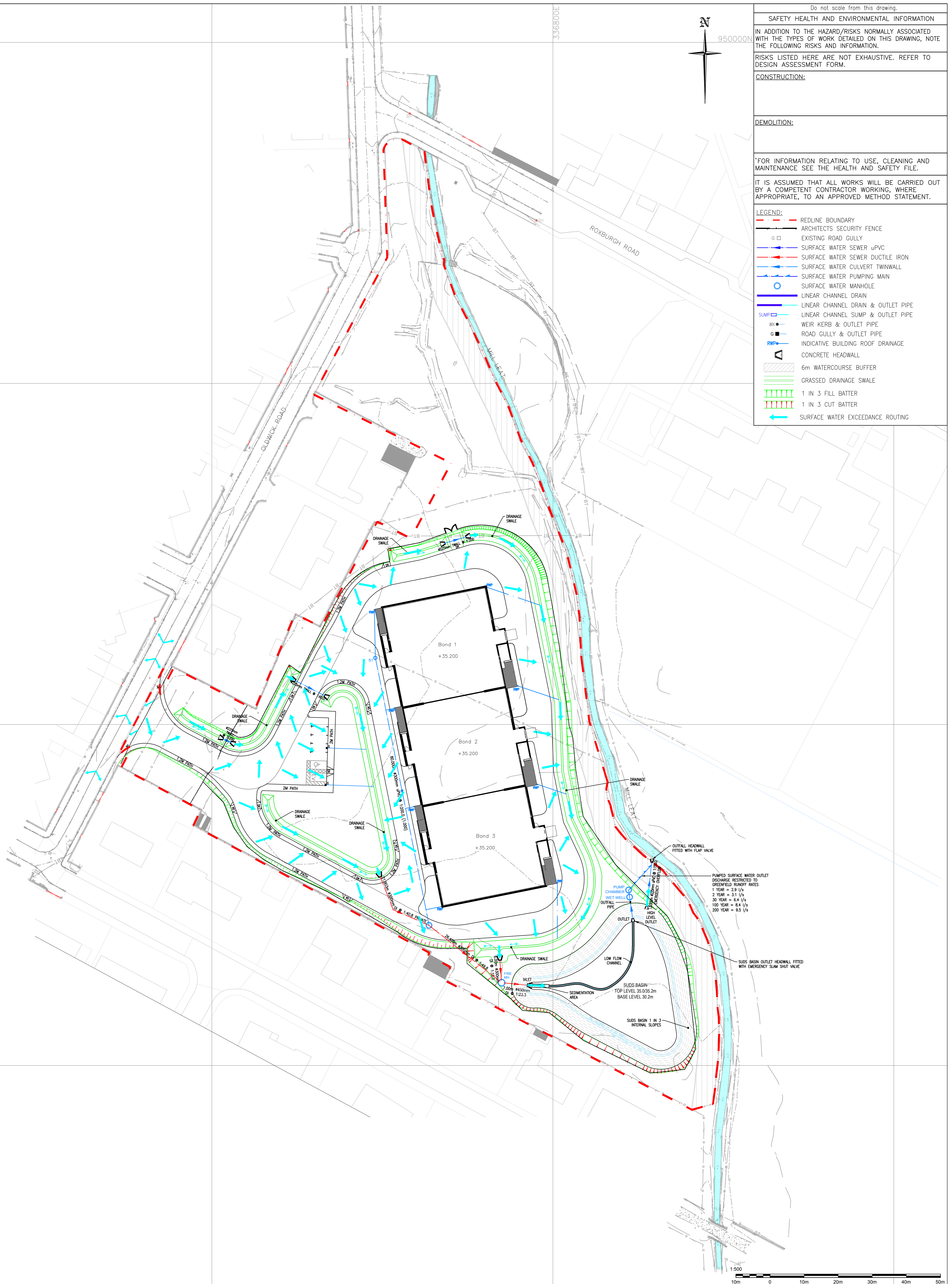
DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

LEGEND:

- - - REDLINE BOUNDARY
- ARCHITECTS SECURITY FENCE
- EXISTING ROAD GULLY
- SURFACE WATER SEWER uPVC
- SURFACE WATER SEWER DUCTILE IRON
- SURFACE WATER CULVERT TWINWALL
- SURFACE WATER PUMPING MAIN
- SURFACE WATER MANHOLE
- LINEAR CHANNEL DRAIN
- LINEAR CHANNEL DRAIN & OUTLET PIPE
- LINEAR CHANNEL SUMP & OUTLET PIPE
- WEIR KERB & OUTLET PIPE
- ROAD GULLY & OUTLET PIPE
- INDICATIVE BUILDING ROOF DRAINAGE
- CONCRETE HEADWALL
- 6m WATERCOURSE BUFFER
- GRASSED DRAINAGE SWALE
- 1 IN 3 FILL BATTER
- 1 IN 3 CUT BATTER
- SURFACE WATER EXCEEDANCE ROUTING



950000N

336800E



Rev.	Date	Description	Drawn	Checked	Approved
B	10/12/2025	SuDS annotation and fire manhole inlet sewers updated.	MW	RJD	RJD
A	03/12/2025	Architects fence line and drawing status updated.	MW	RJD	RJD

NOTES:
 1. PROPOSED LAYOUT BY DB3 GLASGOW ARCHITECTS.
 2. TOPOGRAPHICAL SURVEY BY CAINTCH NOVEMBER 2024.
 3. CO-ORDINATES ARE TO NATIONAL GRID AND LEVELS TO ORDNANCE DATUM.
 4. ORDNANCE SURVEY LTD LICENCE/CUSTOMER ACCOUNT NO. AC0000805641.
 5. SEWER INSTALLATION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH SCOTTISH WATER "SEWERS FOR SCOTLAND, FOURTH EDITION".

Client:
 Inver House Distillers Limited

Project Title:
 IHD Pulteney Distillery Wick

Drawing Title:
 Surface Water Exceedance Routing Plan

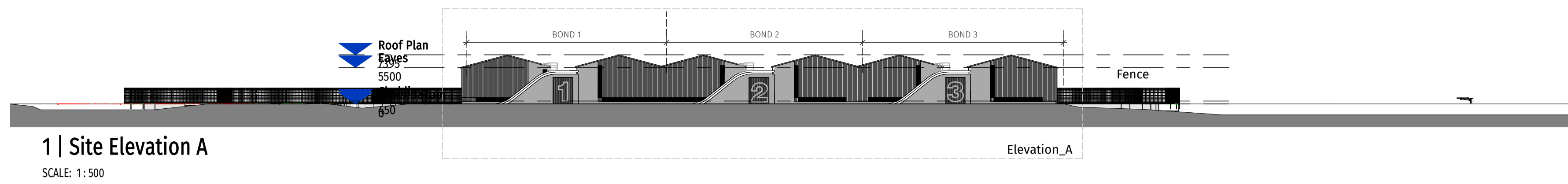
FAIRHURST

Borony House
 Stoneyfield Business Park, INVERNESS, IV2 7PA
 Tel: 01463 724 544

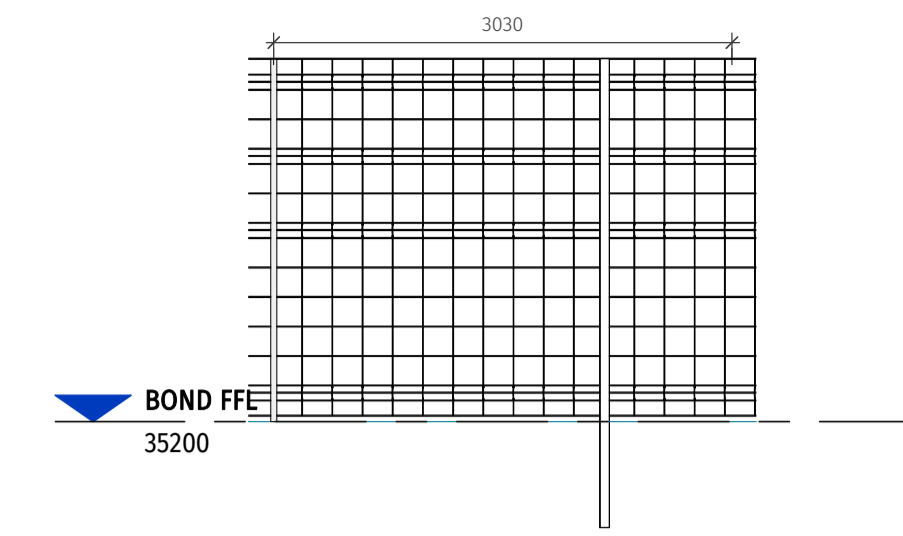
Scale at A1: 1:500	Status: PLANNING
Drawn: MW	Checked: RJD
Date: 27/11/2025	Date: 01/12/2025
Approved: RJD	Date: 01/12/2025

Drawing No.:
169402/2001

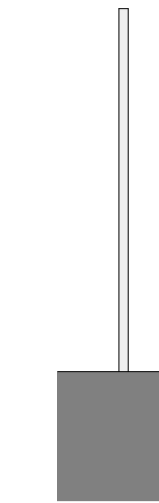
Revision:
B



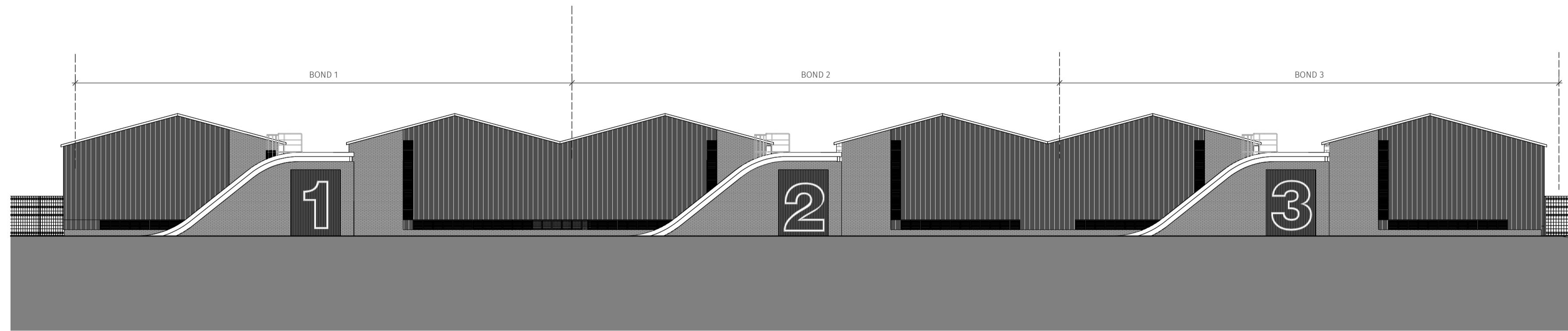
1 | Site Elevation A
SCALE: 1:500



3 | Fence Elevation
SCALE: 1:50



4 | Fence Section
SCALE: 1:50



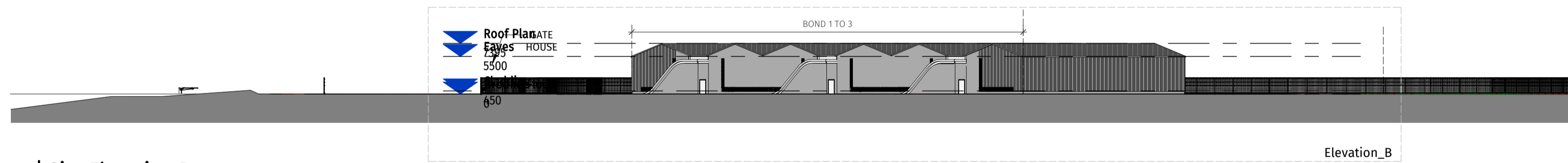
1_1 | Elevation_A
SCALE: 1:200

5 | Fence Plan
SCALE: 1:50

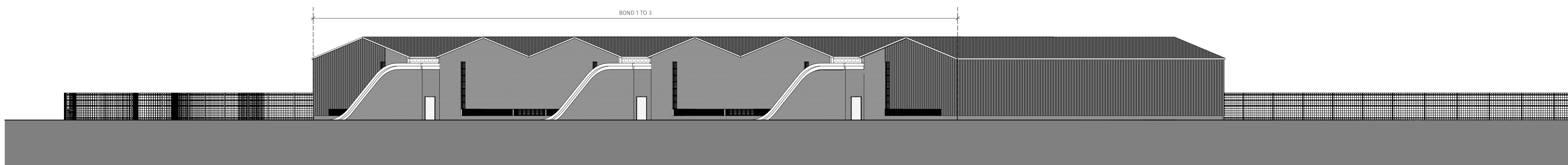


Material- Fully welded steel
Colour- RAL 6005 (moss green)
Finish- Pre-galvanized and powder coating

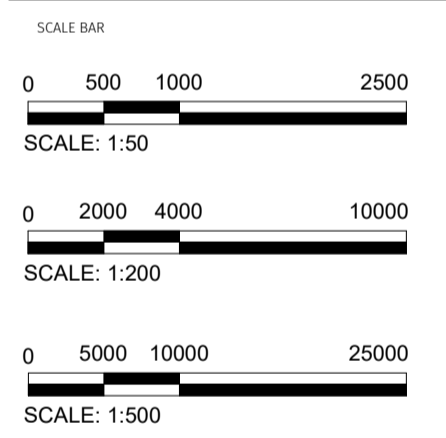
New Post and Wire Fence
Note : The proposed boundary fence detail shown is indicative. The final design will closely match in terms of height, materials, and general appearance but may be subject to minor modifications prior to construction.



2 | Site Elevation B
SCALE: 1:500

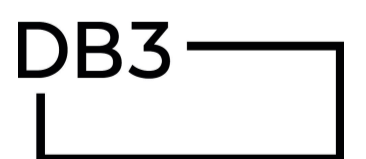


2_1 | Elevation_B
SCALE: 1:200



Rev	Date	Description	By	Chk
P01	04.12.25	Planning Issue	KC	BR
P03	08.05.25	Fence details added	KC	BR
P02	06.05.25	1:200 Elevations Added. Scale bar added	KC	BR
P01	28.03.25	First Issue	KC	BR

PLANNING



GLASGOW

Unit 2, The Matrix, 114 Cowcaddens Road, Glasgow, G4 0HL
Tel: 0141 353 1187 www.db3group.com

CLIENT
Inver House Distillers Limited

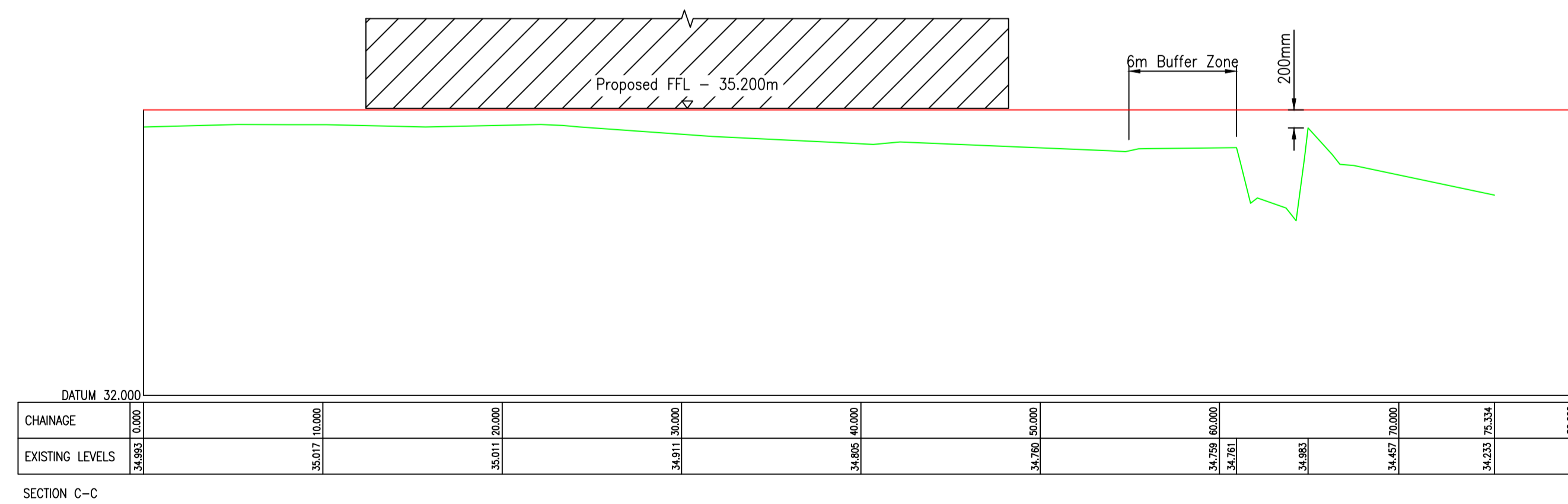
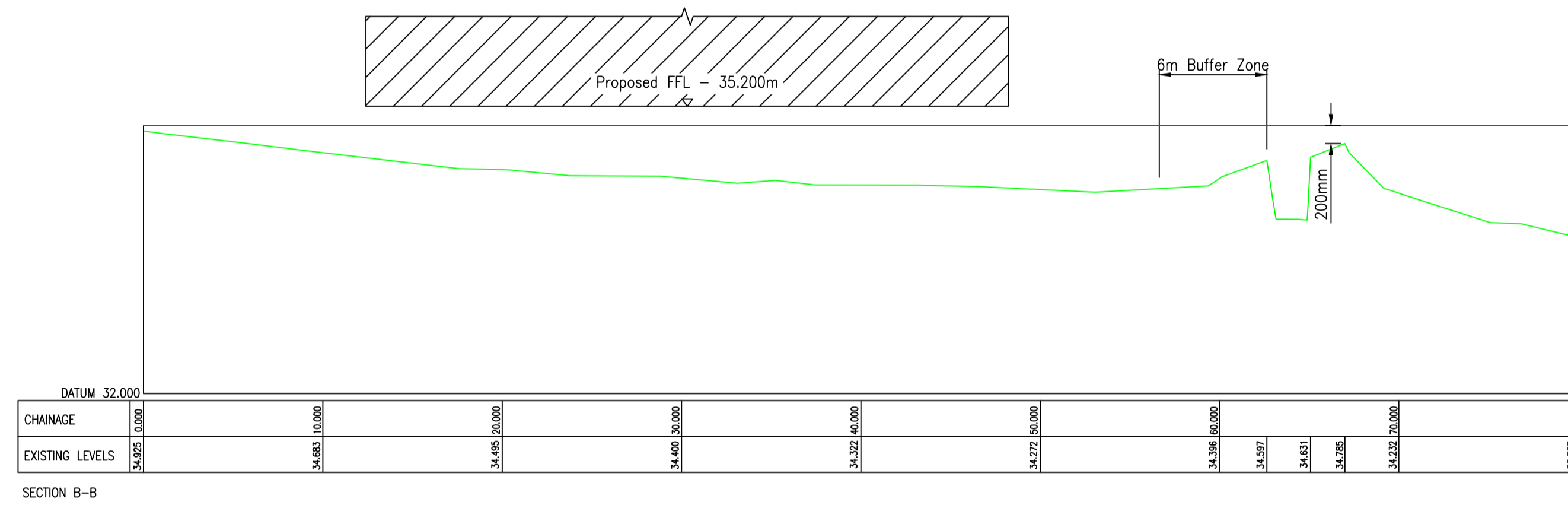
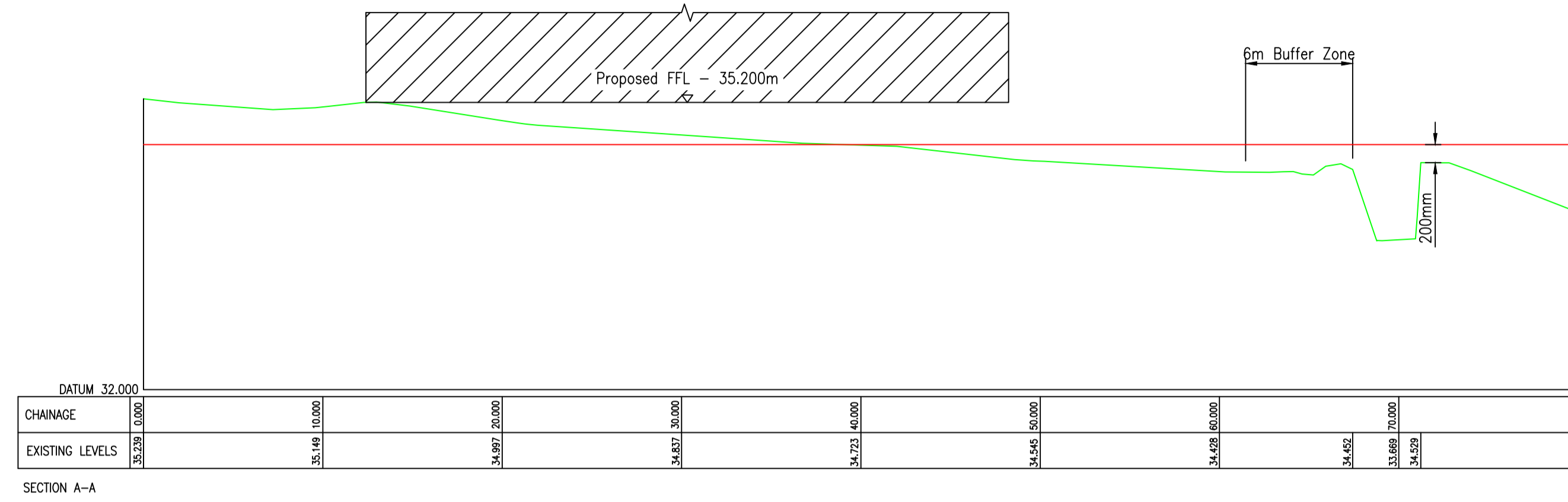
PROJECT
IHD Pulteney Distillery Wick

TITLE
Site Elevations

CREATION DATE	SCALE @ A1	DRN	CHK	APP	SUIT
05/16/22	As indicated	KC	BR	Approver	

SHEET NO.	REVISION
17545 - DB3 - 800 - 00 - DR - A - 90003	P04

PROJECT NO (ORIGINATOR/ZONE/LEVEL/TYPE/ROLE/NUMBER)
17545 - DB3 - 800 - 00 - DR - A - 90003
© COPYRIGHT - ALL RIGHTS RESERVED.
ALL INFORMATION MUST BE REPORTED TO THE DESIGN RESPONSIBLE.
NO PART OF THIS DOCUMENTATION MUST BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DB3 GROUP.
PLOT DATE: 05/15/2025 09:41:24



Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Notes:

- Do not scale from this drawing.
- All dimensions are in metres unless specified otherwise.
- For clarity this drawing should only be printed and read in colour.
- This drawing is to be read in conjunction with all architectural and engineering drawings, details and specifications.

Legend:

- 200mm Free Board From Mill Lade Bank Level
- Existing Levels

A	18/10/25	Section Levels Updated		JD	RL	DE
Rev.	Date	Description		Drawn	Chkd.	Appd.
			Client: Inver House Distillers			
Borony House Stonyfield Business Park WINGRESS NZ 7PA Tel: 01463 724 544						
Project Title: Old Pulteney Distillery Wick						
Drawing Title: Cross Sections						
Scale at A1: 1:250H 1:50V		Status: For Information				
Drawn: JD	Checked: RL	Approved: DE				
Date: 30/09/2025	Date: 02/10/2025	Date: 07/10/2025				
Drawing No.: 169402/1001						Revision: A

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:

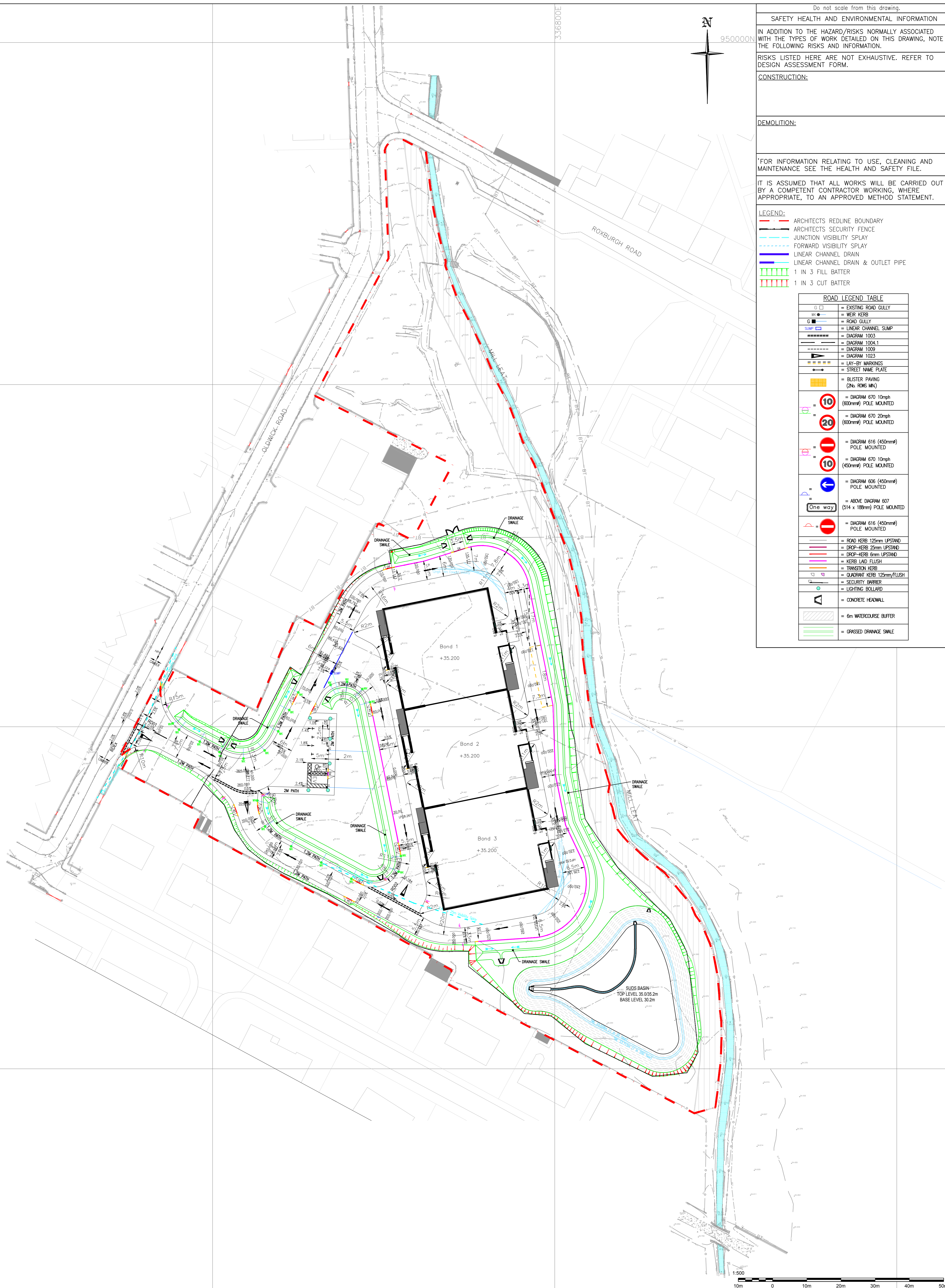
DEMOLITION:

*FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

- LEGEND:**
- ARCHITECTS REDLINE BOUNDARY
 - ARCHITECTS SECURITY FENCE
 - JUNCTION VISIBILITY SPLAY
 - FORWARD VISIBILITY SPLAY
 - LINEAR CHANNEL DRAIN
 - LINEAR CHANNEL DRAIN & OUTLET PIPE
 - 1 IN 3 FILL BATTER
 - 1 IN 3 CUT BATTER

ROAD LEGEND TABLE	
	= EXISTING ROAD GULLY
	= WEIR KERB
	= ROAD GULLY
	= LINEAR CHANNEL SUMP
	= DIAGRAM 1003
	= DIAGRAM 1004.1
	= DIAGRAM 1009
	= DIAGRAM 1023
	= LAY-BY MARKINGS
	= STREET NAME PLATE
	= BLISTER PAVING (2% R016 MK)
	= DIAGRAM 670 10mph (600mm) POLE MOUNTED
	= DIAGRAM 670 20mph (600mm) POLE MOUNTED
	= DIAGRAM 616 (450mm) POLE MOUNTED
	= DIAGRAM 670 10mph (450mm) POLE MOUNTED
	= DIAGRAM 606 (450mm) POLE MOUNTED
	= ABOVE DIAGRAM 607 (514 x 188mm) POLE MOUNTED
	= DIAGRAM 616 (450mm) POLE MOUNTED
	= ROAD KERB 125mm UPSTAND
	= DROP-KERB 25mm UPSTAND
	= DROP-KERB 6mm UPSTAND
	= KERB LAID FLUSH
	= TRANSITION KERB
	= QUAPANT KERB 125mm/FLUSH
	= SECURITY BARRIER
	= LIGHTING BOLLARD
	= CONCRETE HEADWALL
	= 6m WATERCOURSE BUFFER
	= GRASSED DRAINAGE SWALE



NOTES:
 1. PROPOSED LAYOUT BY DB3 GLASGOW ARCHITECTS.
 2. TOPOGRAPHICAL SURVEY BY CAINTCH NOVEMBER 2024.
 3. CO-ORDINATES ARE TO NATIONAL GRID AND LEVELS TO ORDNANCE DATUM.
 4. ORDNANCE SURVEY LTD LICENCE/CUSTOMER ACCOUNT NO. AC0000805641.

Client:
 Inver House Distillers Limited

Project Title:
 IHD Pulteney Distillery Wick

Drawing Title:
 Road Plan



Borony House
 Stoneyfield Business Park, INVERNESS, IV2 7PA
 Tel: 01463 724 544

Scale at A1: 1:500
 Status: PLANNING

Drawn: MW
 Checked: RJD
 Date: 27/11/2025

Approved: RJD
 Date: 01/12/2025
 Drawing No.: 169402/1002
 Revision: A

Rev.	Date	Description	Drawn	Checked	Approved
A	03/12/2025	Architects fence line and drawing status updated.	MW	RJD	RJD

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:

DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

LEGEND:

- ARCHITECTS REDLINE BOUNDARY
- ARCHITECTS SECURITY FENCE
- ENGINEERS ROAD LEVEL
- ENGINEERS GROUND LEVEL
- ▨ 1 IN 3 FILL BATTER
- ▨ 1 IN 3 CUT BATTER



950000N

336800E



NOTES:
 1. PROPOSED LAYOUT BY DB3 GLASGOW ARCHITECTS.
 2. TOPOGRAPHICAL SURVEY BY CAITECH NOVEMBER 2024.
 3. CO-ORDINATES ARE TO NATIONAL GRID AND LEVELS TO ORDNANCE DATUM.
 4. ORDNANCE SURVEY LTD LICENCE/CUSTOMER ACCOUNT NO. AC0000805641.

Client:
 Inver House Distillers Limited

Project Title:
 IHD Pulteney Distillery Wick

Drawing Title:
 Road & Ground Levels Plan

FAIRHURST	
<small>Borony House Stoneyfield Business Park, INVERNESS, IV2 7PA Tel: 01463 724 544</small>	
Scale at A1: 1:500	Status: PLANNING
Drawn: MW	Checked: RJD
Date: 27/11/2025	Date: 01/12/2025
Approved: RJD	Date: 01/12/2025
Drawing No.: 169402/1004	Revision: A

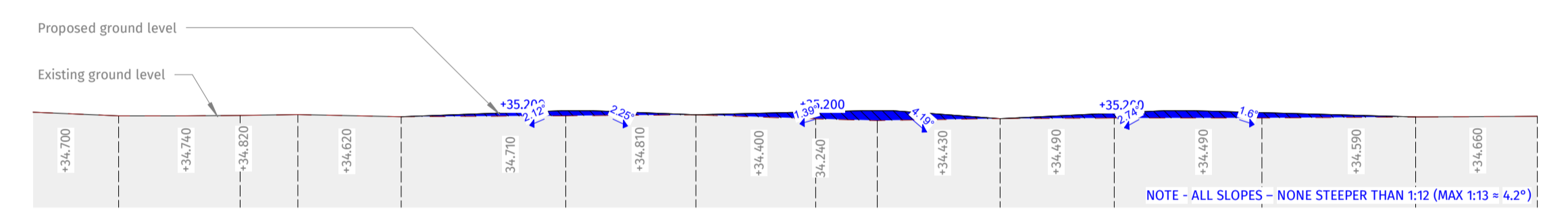
Rev.	Date	Description	Drawn	Checked	Approved
A	03/12/2025	Architects fence line and drawing status updated.	MW	RJD	RJD



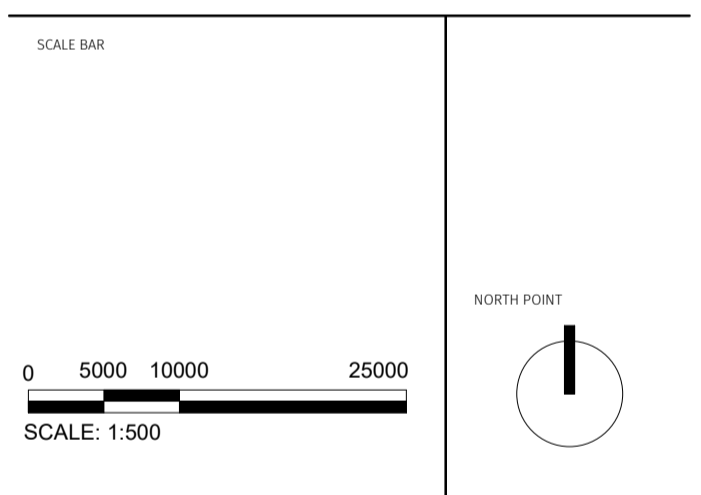
- KEY
- Site Boundary
 - Steel Security Fencing
 - Bollard Light
 - Flood Light
 - ▨ 6m buffer zone
 - - - Indicative Recreational area and walkway

Gross External Area (GEA)
3 Bonds (Bonds 1/2/3): 2925 sqm

Gross Internal Area (GIA)
Bond 1 & 3: 929 sqm approx
Bond 2: 918 sqm approx

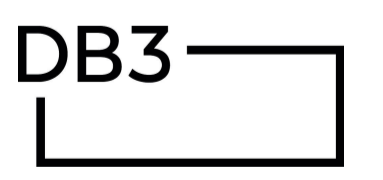


2 | Site Section
SCALE: 1:500



Rev	Date	Description	By	Chk
P10	04.12.25	Planning Issue	KC	BR
P09	02.12.25	Fence line amended to suit updated civil engineer's drawings	KC	BR
P08	27.11.25	Layout revised	KC	BR
P07	22.10.25	Layout revised	KC	BR
P06	09.09.25	Layout revised to incorporate three bond and Proposed section added	KC	BR
P05	06.05.25	Boundary Line amended.	KC	BR
P04	02.04.25	Maintenance Access to Lade - External Layout revised	KC	BR
P03	01.04.25	Grasscrete Access Road added	KC	BR
P02	01.04.25	External Layout revised	KC	BR
P01	28.03.25	First Issue	KC	BR

PLANNING



GLASGOW

Unit 2, The Matrix, 114 Cowcaddens Road, Glasgow, G4 0HL
Tel: 0141 353 1187 www.db3group.com

CLIENT
Inver House Distillers Limited

PROJECT
IHD Pulteney Distillery Wick

TITLE
Proposed Site Plan

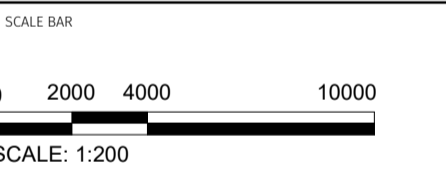
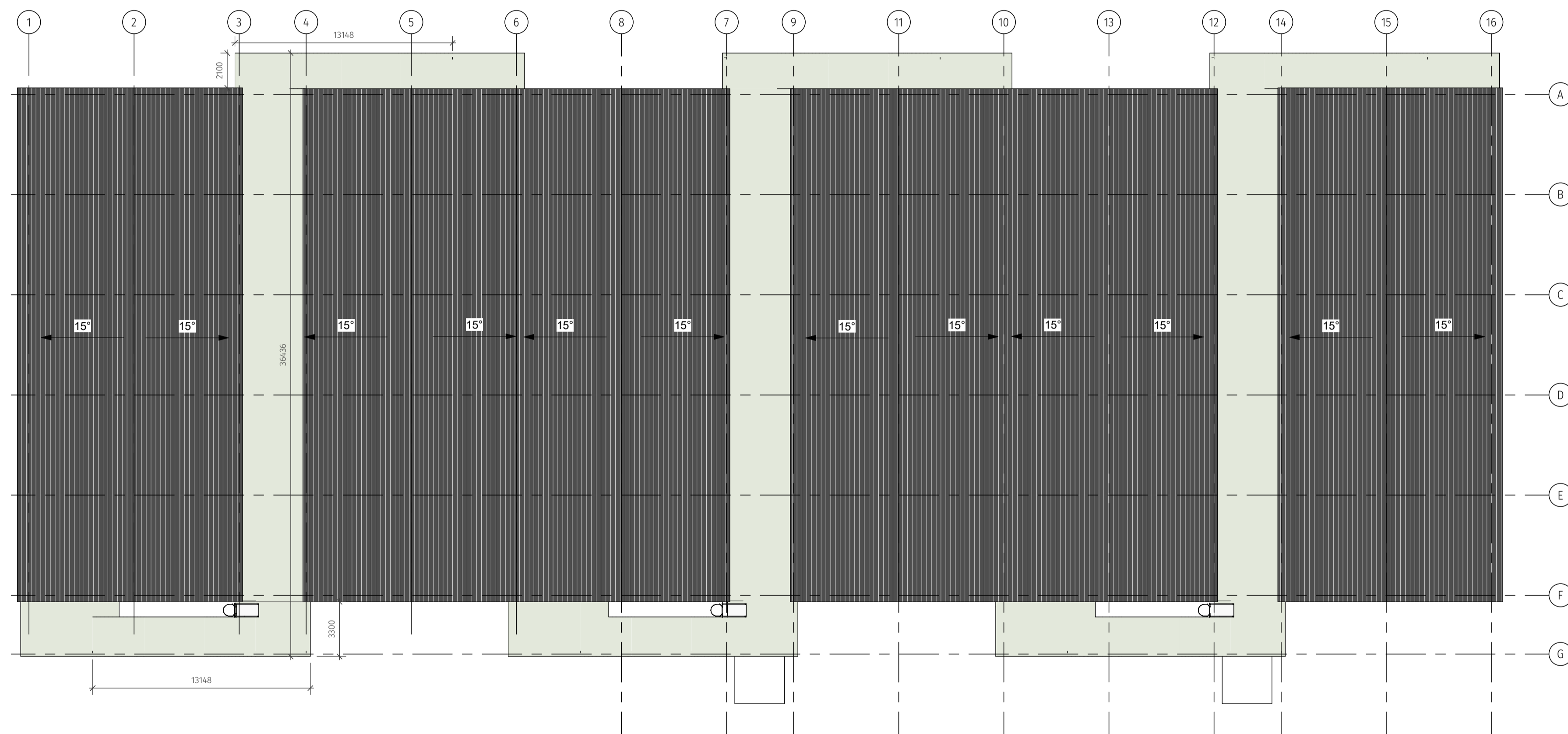
CREATION DATE	SCALE @ A1	DRN	CHK	APP	SUIT
05/16/22	1:500	KC	BR	Approver	

SHEET NO. **17545 - DB3 - 800 - 00 - DR - A - 90002** P10

PROJECT NO (ORIGINATOR/ZONING/LEVELTYPE/ROLE/NUMBER)

© COPYRIGHT: ALL RIGHTS RESERVED.
THIS DOCUMENT IS THE PROPERTY OF DB3 GROUP AND SHOULD NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DB3 GROUP. UNLESS EXPRESSLY ISSUED FOR CONSTRUCTION.
DO NOT SCALE OR DIMENSION. USE DIM LINES DIMENSIONS.
PLOT DATE: 15/02/25 15:04:08

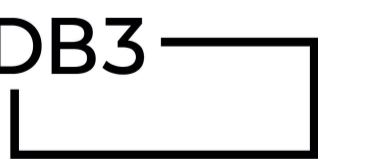
1 | Site Plan
SCALE: 1:500



Rev	Date	Description	By	Chk
P02	04.12.25	Planning Issue	KC	BR
P01	28.03.25	First Issue	KC	BR

Rev	Date	Description	By	Chk

PLANNING



GLASGOW

Unit 2, The Matrix, 114 Cowcaddens Road, Glasgow, G4 0HL
Tel: 0141 353 1187 www.db3group.com

CLIENT
Inver House Distillers Limited

PROJECT
IHD Pulteney Distillery Wick

TITLE
Roof Plan

CREATION DATE	SCALE @ A1	DRN	CHK	APP	SUIT
05/16/22	1:200	KC	BR	Approver	S2

SHEET NO.	REVISION
17545 - DB3 - B00 - RF - DR - A - 27101	P02

PROJECT NO (ORIGINATOR/ZONING/LEVELTYPE/ROLE/NUMBER)

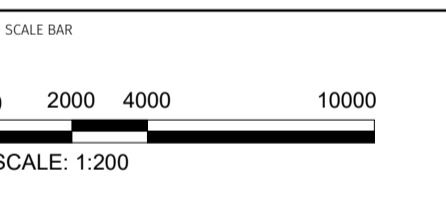
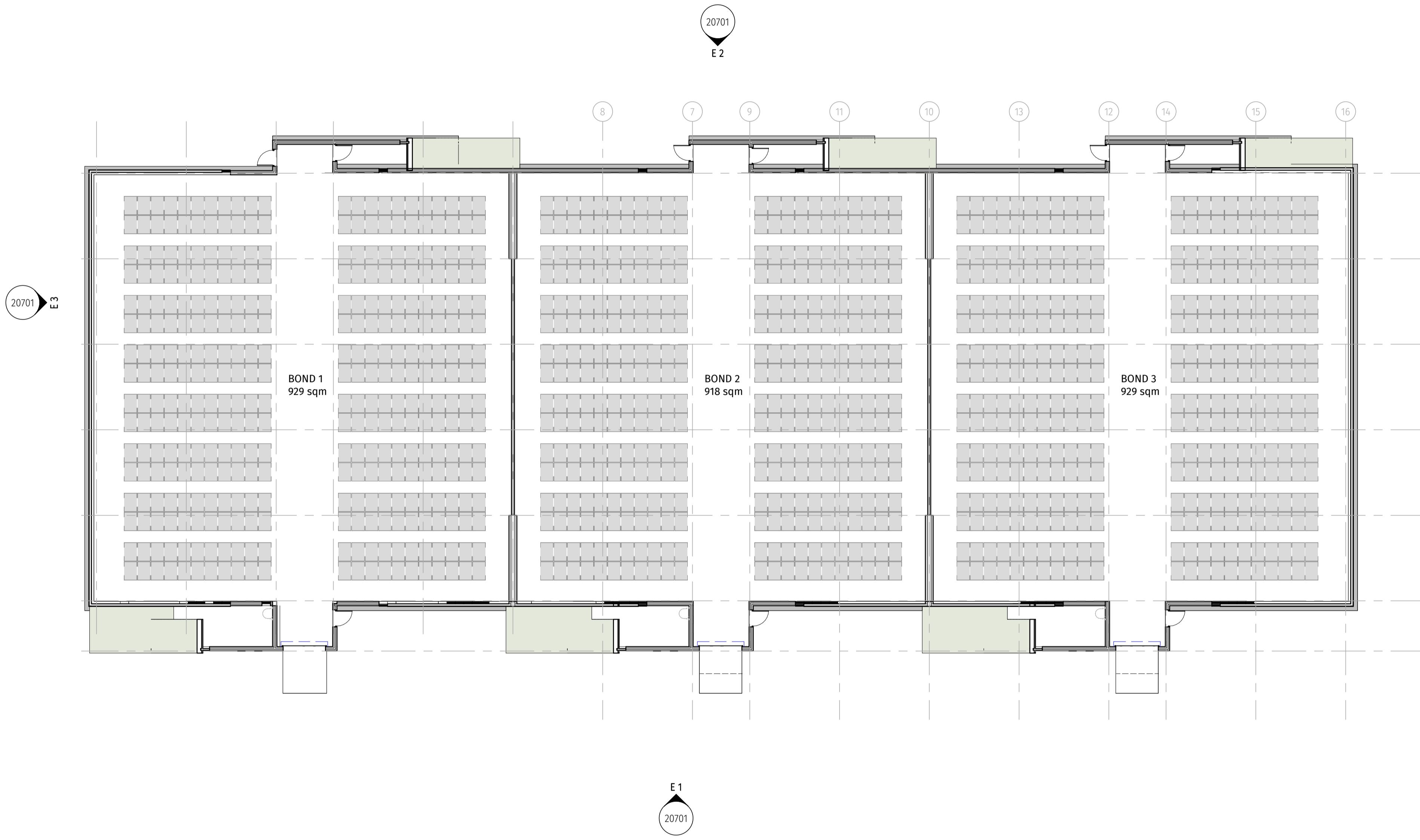
© COPYRIGHT: ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF DB3 GROUP (HONGKONG) LTD. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DB3 GROUP (HONGKONG) LTD.

DO NOT SCALE OFF DRAWINGS. USE DIMENSIONS SHOWN ON DRAWINGS.

PLOT DATE: 05/15/2025 10:02:01

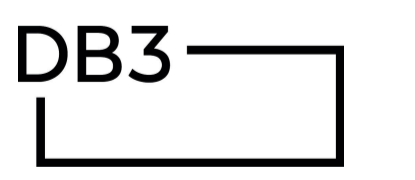
1 | Roof Plan

SCALE: 1:200



Rev	Date	Description	By	Chk
P02	04.12.25	Planning Issue	KC	BR
P01	28.03.25	First Issue	KC	BR

PLANNING



GLASGOW

Unit 2, The Matrix, 114 Cowcaddens Road, Glasgow, G4 0HL
Tel: 0141 353 1187 www.db3group.com

CLIENT
Inver House Distillers Limited

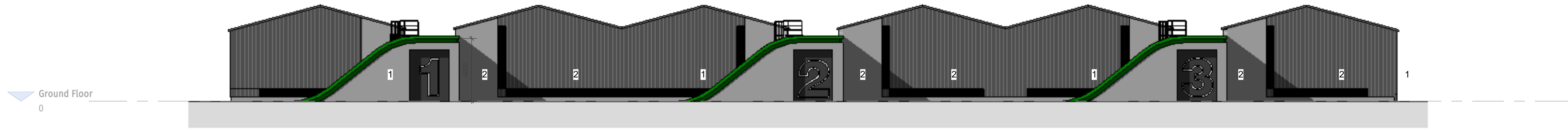
PROJECT
IHD Pulteney Distillery Wick

TITLE
Floor Plan

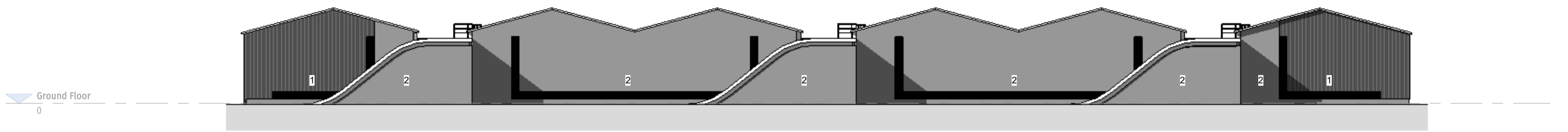
CREATION DATE	SCALE @ A1	DRN	CHK	APP	SUIT
29.01.25	1:200	KC	BR	Approver	SZ

SHEET NO.	REVISION
17545 - DB3 - B00 - 00 - DR - A - 20101	P02

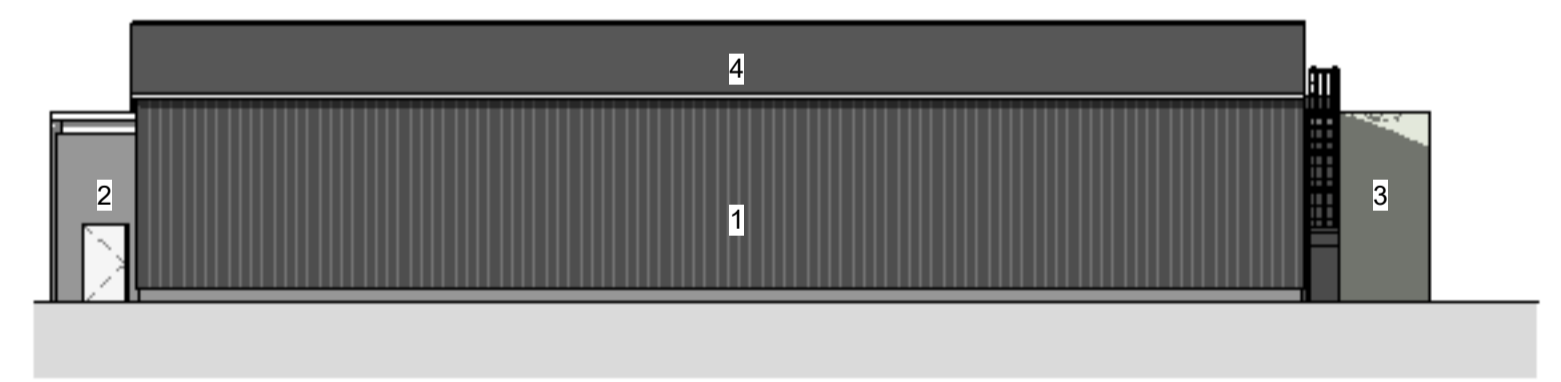
© COPYRIGHT: ALL RIGHTS RESERVED.
THIS DOCUMENT IS THE PROPERTY OF DB3 GROUP LIMITED.
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DB3 GROUP LIMITED.
DO NOT SCALE OR FABRICATE. USE DIMENSIONS SHOWN.



1 | Front Elevation
SCALE: 1:200

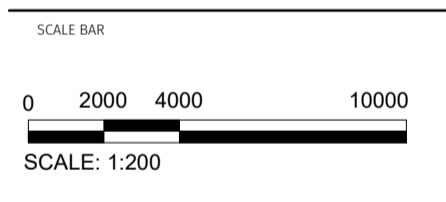


2 | Rear Elevation
SCALE: 1:200



3 | Side Elevation
SCALE: 1:200

- KEY**
- 1. Wall Cladding System (Black ; REF - TBC)
 - 2. Staffordshire Blue Brick (RAL : 5004)
 - 3. Green Roof
 - 4. Roof Cladding System (Black ; REF - TBC)



Rev	Date	Description	By	Chk
P02	04.12.25	Planning Issue	KC	BR
P01	28.03.25	First Issue	KC	BR

PLANNING

GLASGOW
Unit 2, The Matrix, 114 Cowcaddens Road, Glasgow, G4 0HL
Tel: 0141 353 1187 www.db3group.com

CLIENT
Inver House Distillers Limited

PROJECT
IHD Pulteney Distillery Wick

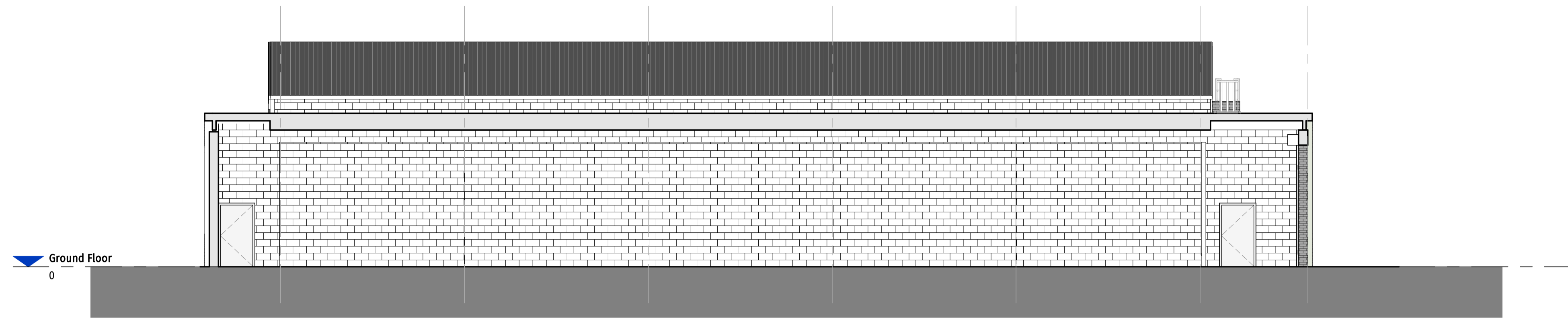
TITLE
Elevations

CREATION DATE	SCALE @ A1	DRN	CHK	APP	SUIT
05/16/22	1:200	KC	BR	Approver	S2

SHEET NO. **17545 - DB3 - B00 - 00 - DR - A - 20701** REVISION **P02**

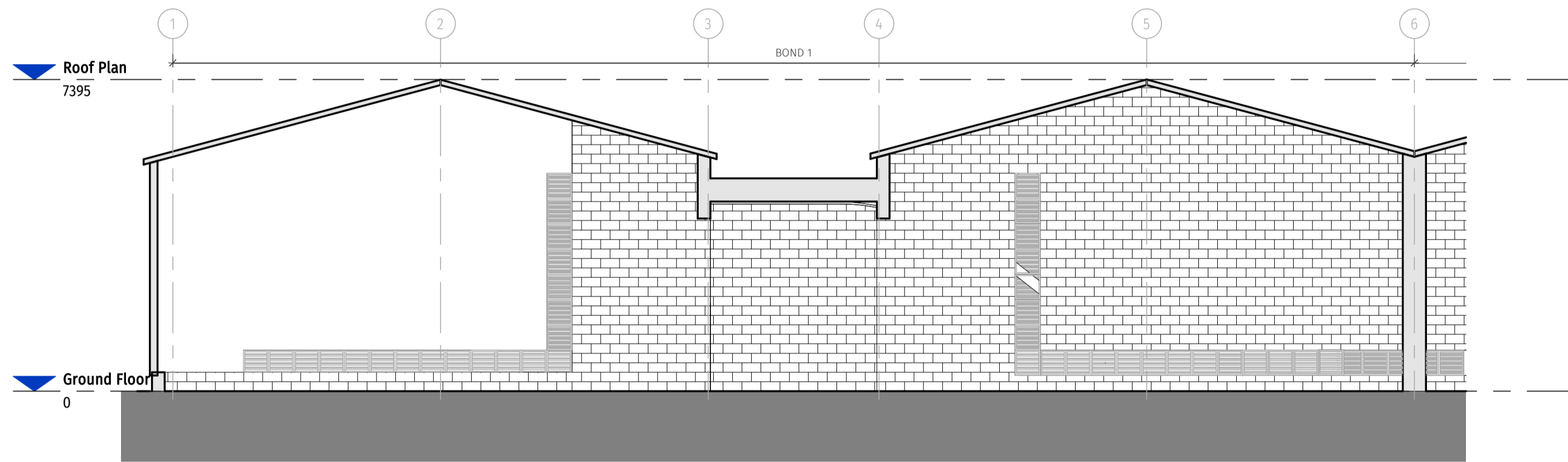
PROJECT NO (ORIGINATOR/ZONE/LEVEL/TYPE/ROLE/NUMBER)

© COPYRIGHT. ALL RIGHTS RESERVED.
THIS DOCUMENT IS THE PROPERTY OF DB3 GROUP (HOLDINGS) LTD.
NO INFORMATION IS TO BE DISCLOSED TO THE PUBLIC OR ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF DB3 GROUP (HOLDINGS) LTD.
THIS DRAWING OR INFORMATION MUST NOT BE USED FOR CONSTRUCTION UNLESS EXPRESSLY ISSUED FOR CONSTRUCTION.
DO NOT SCALE OR DIMENSION. USE DIM LINES DIMENSIONS.
PLOT DATE: 05/12/2025 10:22:49



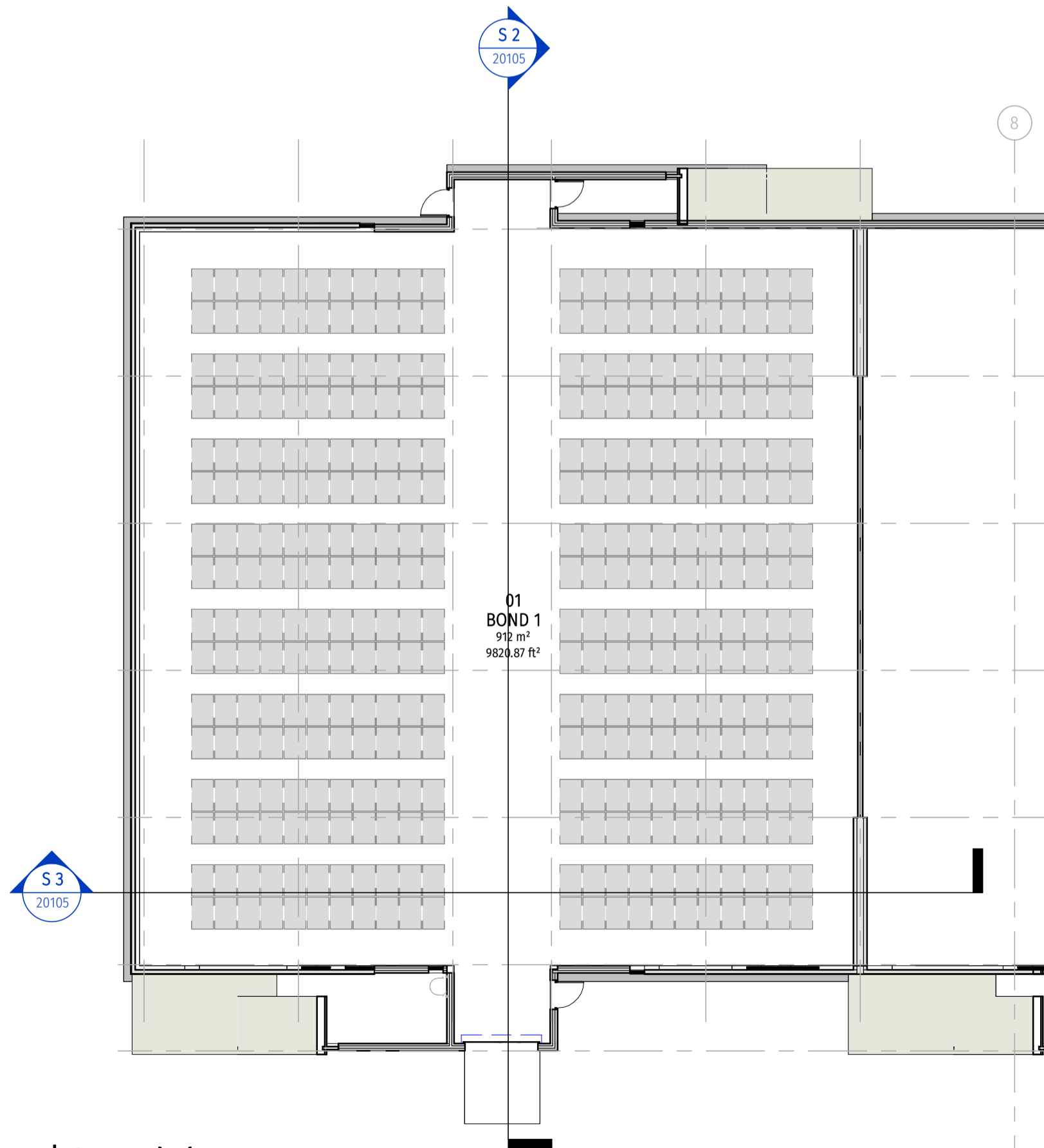
2 | Section - S1

SCALE: 1:100



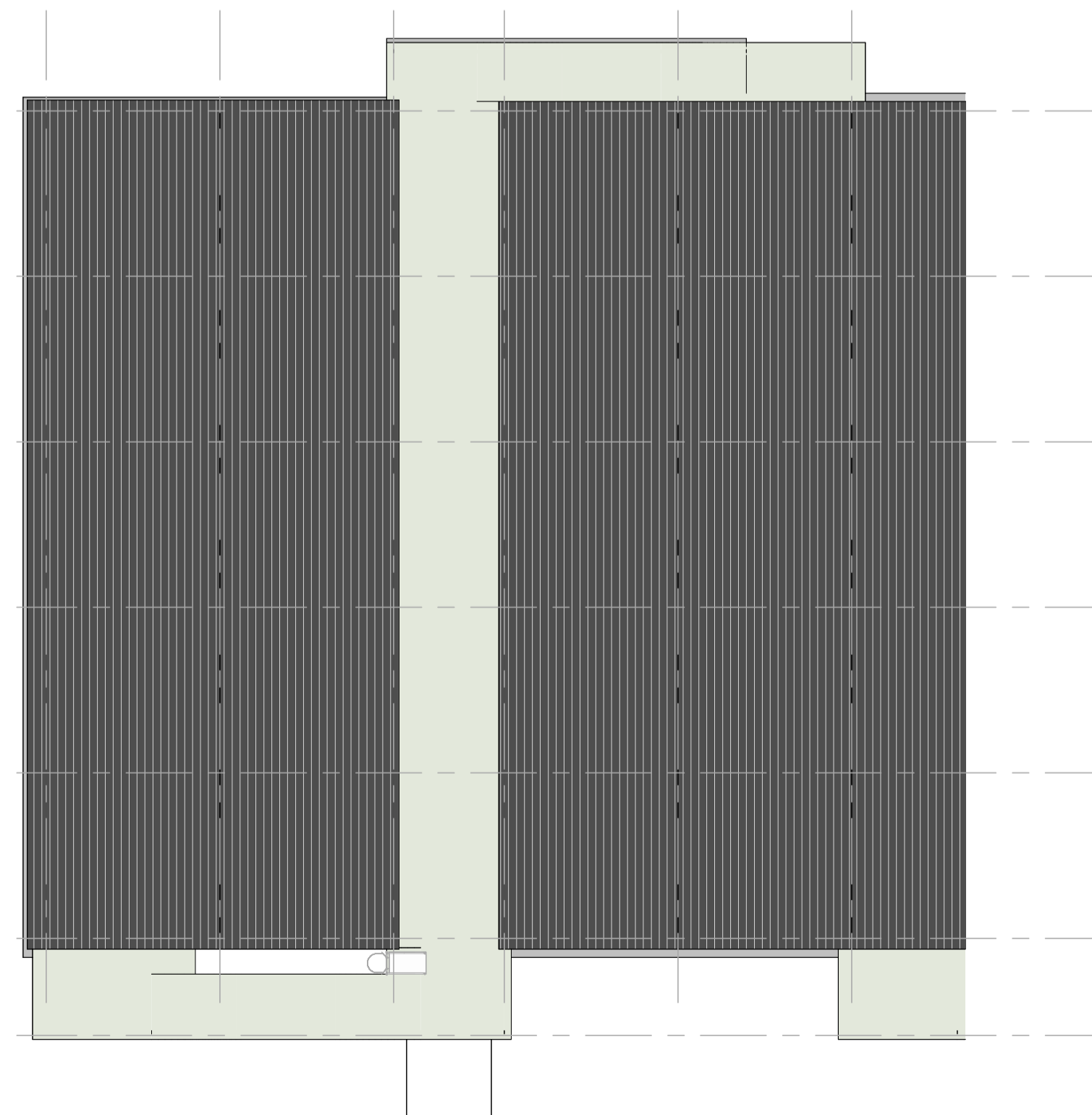
3 | Section - S2

SCALE: 1:100



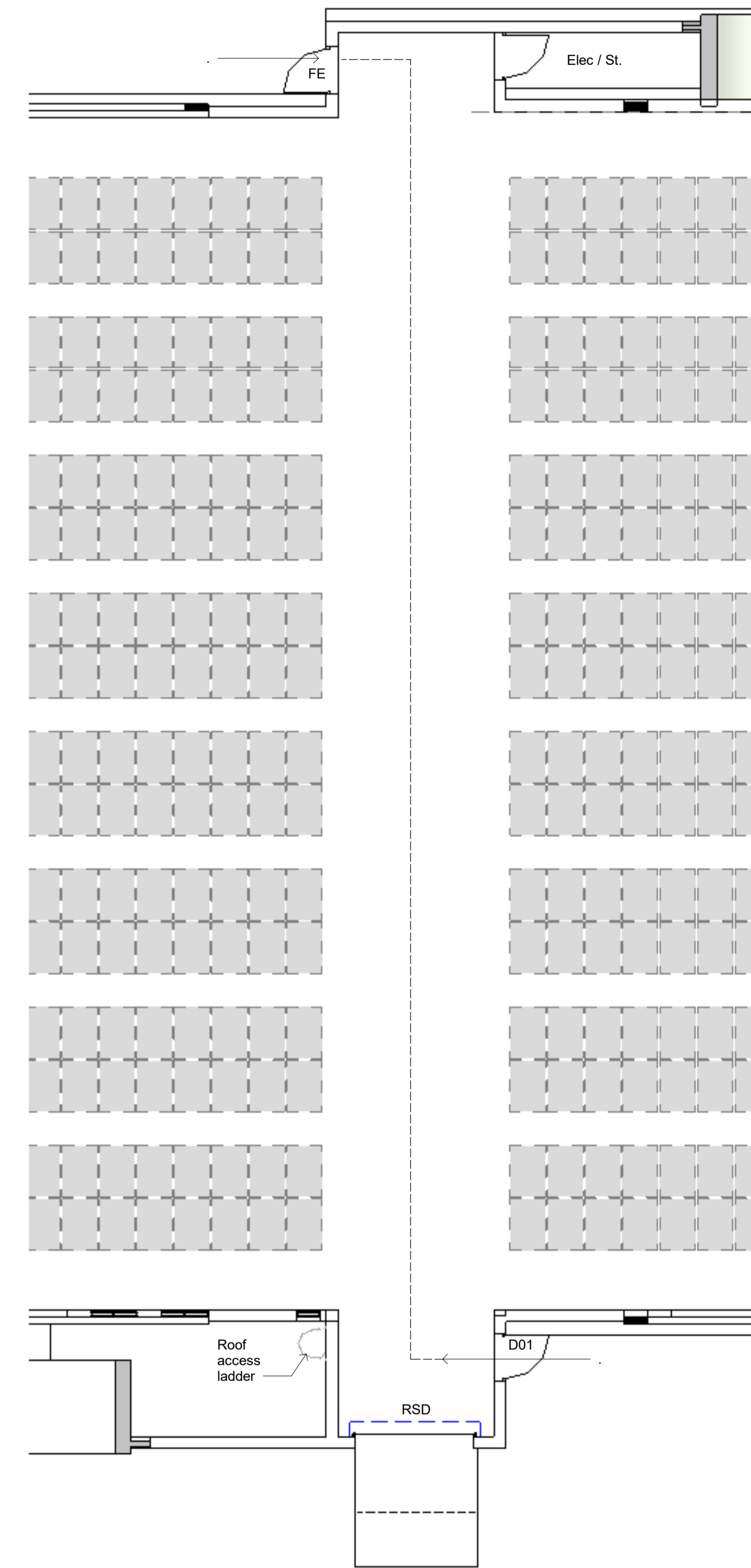
1 | Ground Floor

SCALE: 1:200



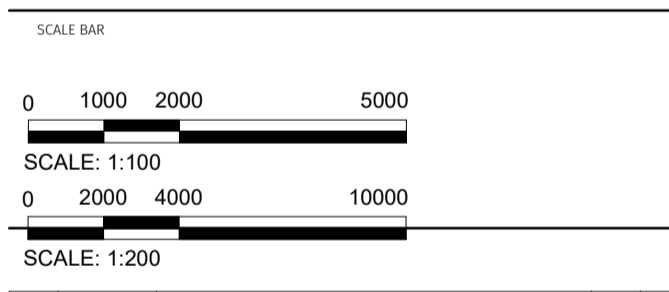
5 | Roof Plan.

SCALE: 1:200



4 | Circulation

SCALE: 1:100



Rev	Date	Description	By	Chk
P03	04.12.25	Planning Issue	KC	BR
P02	06.05.25	Scale Bar Added	KC	BR
P01	28.03.25	First Issue	KC	BR

PLANNING


DB3


GLASGOW

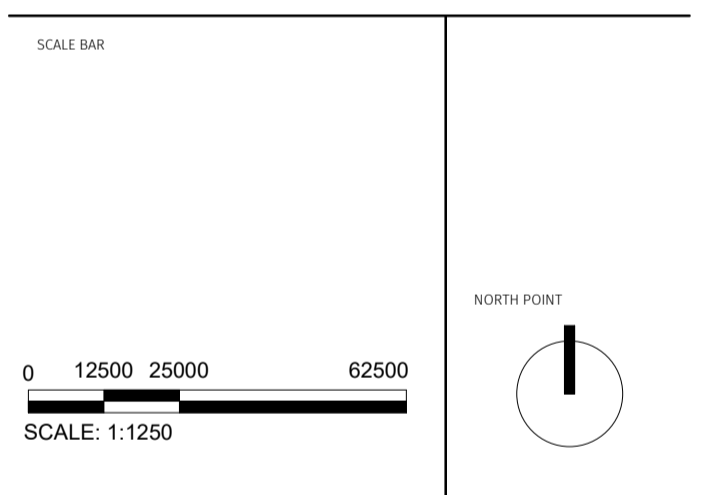
Unit 2, The Matrix, 114 Cowcaddens Road, Glasgow, G4 0HL
Tel: 0141 353 1187 www.db3group.com

CLIENT	Inver House Distillers Limited				
PROJECT	IHD Pulteney Distillery Wick				
TITLE	Bond Details				
CREATION DATE	SCALE @ A1	DRN	CHK	APP	SUIT
29.01.25	As Indicated	KC	BR	Approver	S2
SHEET NO.	REVISION				
17545 - DB3 - B00 - ZZ - DR - A - 20105					P03
PROJECT NO (ORIGINATOR/ZONE/LEVEL/TYPE/ROLE/NUMBER)					
© COPYRIGHT: ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF DB3 GROUP (HOLDINGS) LTD. NO PARTS OF THIS DOCUMENT ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DB3 GROUP (HOLDINGS) LTD.					
DO NOT SCALE OFF DRAWINGS. USE DIMENSIONS SHOWN.					
PLOT DATE: 06/11/2025 10:22:46					

KEY

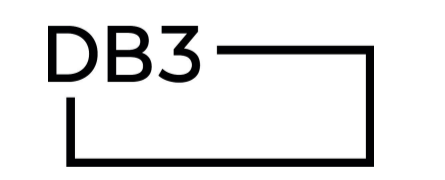
 Site Boundary

 Steel Security Fencing



Rev	Date	Description	By	Chk
P05	04.12.25	Planning Issue	KC	BR
P04	06.05.25	Boundary Line amended.	KC	BR
P03	02.04.25	Maintenance Access to Lade - External Layout revised	KC	BR
P02	01.04.25	External layout revised	KC	BR
P01	28.03.25	First Issue	KC	BR

PLANNING



GLASGOW

Unit 2, The Matrix, 114 Cowcaddens Road, Glasgow, G4 0HL
Tel: 0141 353 1187 www.db3group.com

CLIENT
Inver House Distillers Limited

PROJECT
IHD Pulteney Distillery Wick

TITLE
Location Plan

CREATION DATE	SCALE @ A1	DRN	CHK	APP	SUIT
05/16/22	As indicated	KC	BR	Approver	

SHEET NO.	REVISION
17545 - DB3 - B00 - 00 - DR - A - 90001	P05

PROJECT NO./ORIGINATOR/ZONING/LEVEL/TYPE/ROLE/NUMBER
17545 - DB3 - B00 - 00 - DR - A - 90001

© COPYRIGHT. ALL RIGHTS RESERVED.
THIS DOCUMENT IS THE PROPERTY OF DB3 GROUP LIMITED.
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DB3 GROUP LIMITED.
DO NOT SCALE OR DIMENSION. USE DIMENSIONS SHOWN.

PLOT DATE: 15/02/25 09:41:04

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:

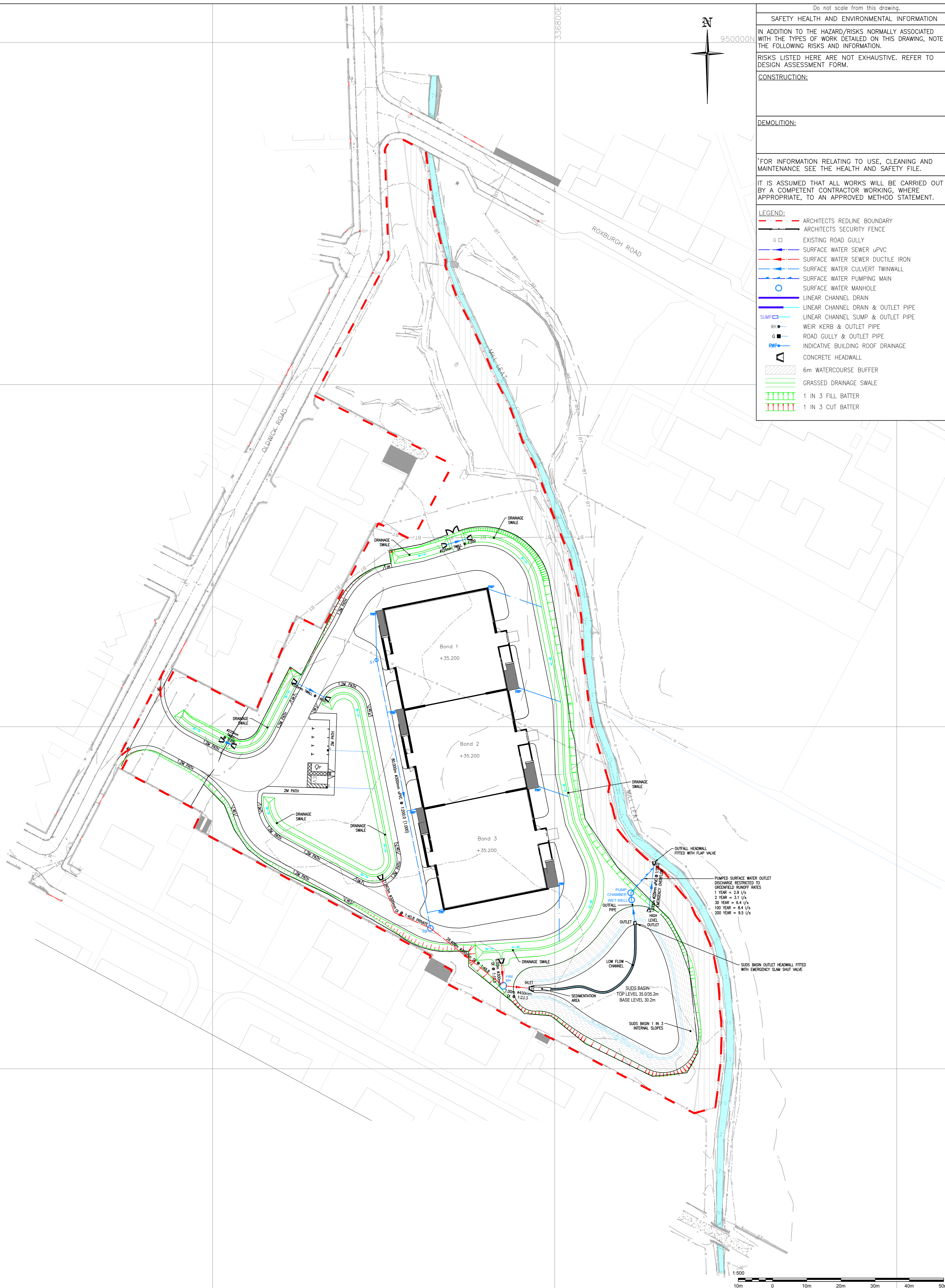
DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

LEGEND:

- - - ARCHITECTS REDLINE BOUNDARY
- ARCHITECTS SECURITY FENCE
- EXISTING ROAD GULLY
- SURFACE WATER SEWER uPVC
- SURFACE WATER SEWER DUCTILE IRON
- SURFACE WATER CULVERT TWINWALL
- SURFACE WATER PUMPING MAIN
- SURFACE WATER MANHOLE
- LINEAR CHANNEL DRAIN
- LINEAR CHANNEL DRAIN & OUTLET PIPE
- LINEAR CHANNEL SUMP & OUTLET PIPE
- WEIR KERB & OUTLET PIPE
- ROAD GULLY & OUTLET PIPE
- INDICATIVE BUILDING ROOF DRAINAGE
- CONCRETE HEADWALL
- 6m WATERCOURSE BUFFER
- GRASSED DRAINAGE SWALE
- 1 IN 3 FILL BATTER
- 1 IN 3 CUT BATTER



PUMPED SURFACE WATER OUTLET
DISCHARGE RESTRICTED TO
GREENFIELD RUNOFF RATES

1 YEAR	= 2.9 l/s
2 YEAR	= 3.1 l/s
30 YEAR	= 6.4 l/s
100 YEAR	= 8.4 l/s
200 YEAR	= 9.3 l/s

LOW FLOW CHANNEL
SUDDS BASIN
TOP LEVEL 35.035.2m
BASE LEVEL 30.2m
SUDDS BASIN 1 IN 3 INTERNAL SLOPES

NOTES:
1. PROPOSED LAYOUT BY DB3 GLASGOW ARCHITECTS.
2. TOPOGRAPHICAL SURVEY BY CAINTCH NOVEMBER 2024.
3. CO-ORDINATES ARE TO NATIONAL GRID AND LEVELS TO ORDNANCE DATUM.
4. ORDNANCE SURVEY LTD LICENCE/CUSTOMER ACCOUNT NO. AC0000805641.
5. SEWER INSTALLATION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH SCOTTISH WATER "SEWERS FOR SCOTLAND, FOURTH EDITION".

Client:
Inver House
Distillers Limited

Project Title:
IHD Pulteney Distillery
Wick

Drawing Title:
Drainage Plan

FAIRHURST		
Borony House Stoneyfield Business Park, INVERNESS, IV2 7PA Tel: 01463 724 544		
Scale at A1: 1:500	Status: PLANNING	
Drawn: MW	Checked: RJD	Approved: RJD
Date: 27/11/2025	Date: 01/12/2025	Date: 01/12/2025
Drawing No.: 169402/2000	Revision: B	

Rev.	Date	Description	Drawn	Checked	Approved
B	10/12/2025	SuDS annotation and fire manhole inlet sewers updated.	MW	RJD	RJD
A	03/12/2025	Architects fence line and drawing status updated.	MW	RJD	RJD

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:

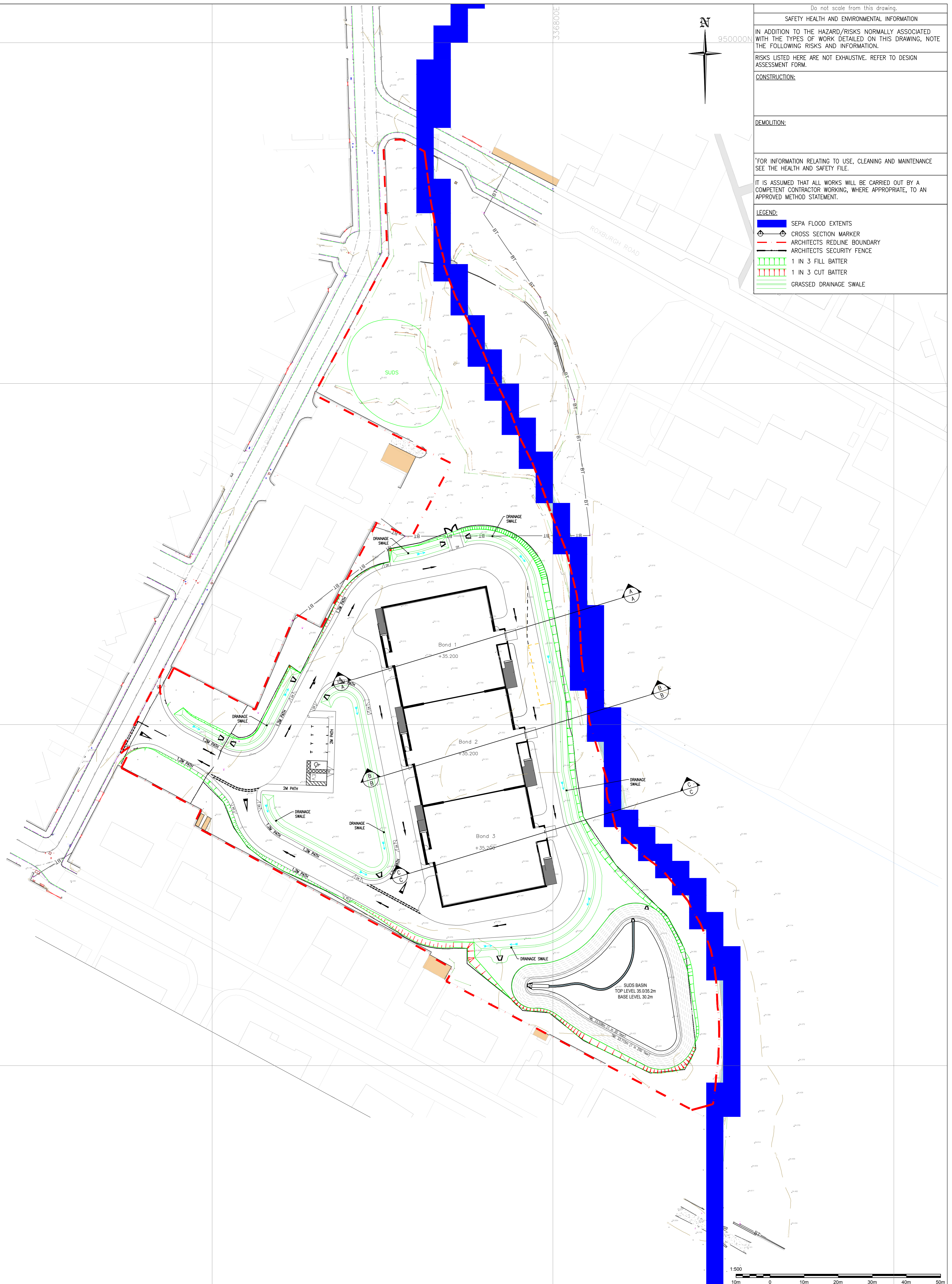
DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

LEGEND:

- SEPA FLOOD EXTENTS
- CROSS SECTION MARKER
- ARCHITECTS REDLINE BOUNDARY
- ARCHITECTS SECURITY FENCE
- 1 IN 3 FILL BATTER
- 1 IN 3 CUT BATTER
- GRASSED DRAINAGE SWALE



NOTES:
 1. PROPOSED LAYOUT BY DB3 GLASGOW ARCHITECTS.
 2. TOPOGRAPHICAL SURVEY BY CAINTECH NOVEMBER 2024.
 3. CO-ORDINATES ARE TO NATIONAL GRID AND LEVELS TO ORDNANCE DATUM.
 4. ORDNANCE SURVEY LTD LICENCE/CUSTOMER ACCOUNT NO. AC0000805641.
 5. SEPA 2025; THIS SEPA PRODUCT IS LICENSED UNDER THE OPEN GOVERNMENT LICENCE 3.0

Client:
 Inver House Distillers Limited

Project Title:
 IHD Pulteney Distillery Wick

Drawing Title:
 Flood Extents Layout

FAIRHURST	
<small>Berony House Stoneyfield Business Park, INVERNESS, IV2 7PA Tel: 01463 724 544</small>	
Scale at A1: 1:500	Status: PLANNING
Drawn: JD	Checked: RL
Date: 30/09/2025	Date: 02/10/2025
Approved: DE	Date: 07/10/2025
Drawing No.: 169402/1000	Revision: B

Rev.	Date	Description	Drawn	Checked	Approved
B	09/12/2025	Cross section markers added.	MW	RJD	RJD
A	08/12/2025	Site layout updated and drawing scale amended from 1:250 to 1:500.	MW	RJD	RJD

Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION:

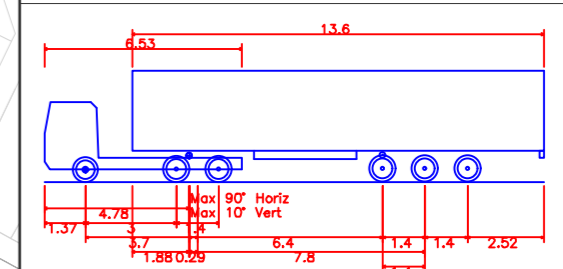
DEMOLITION:

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE.

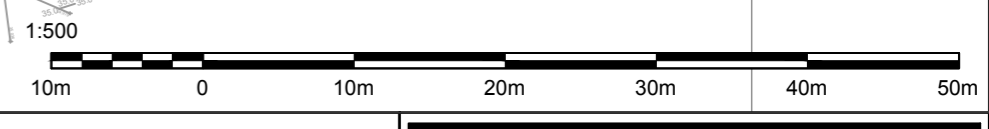
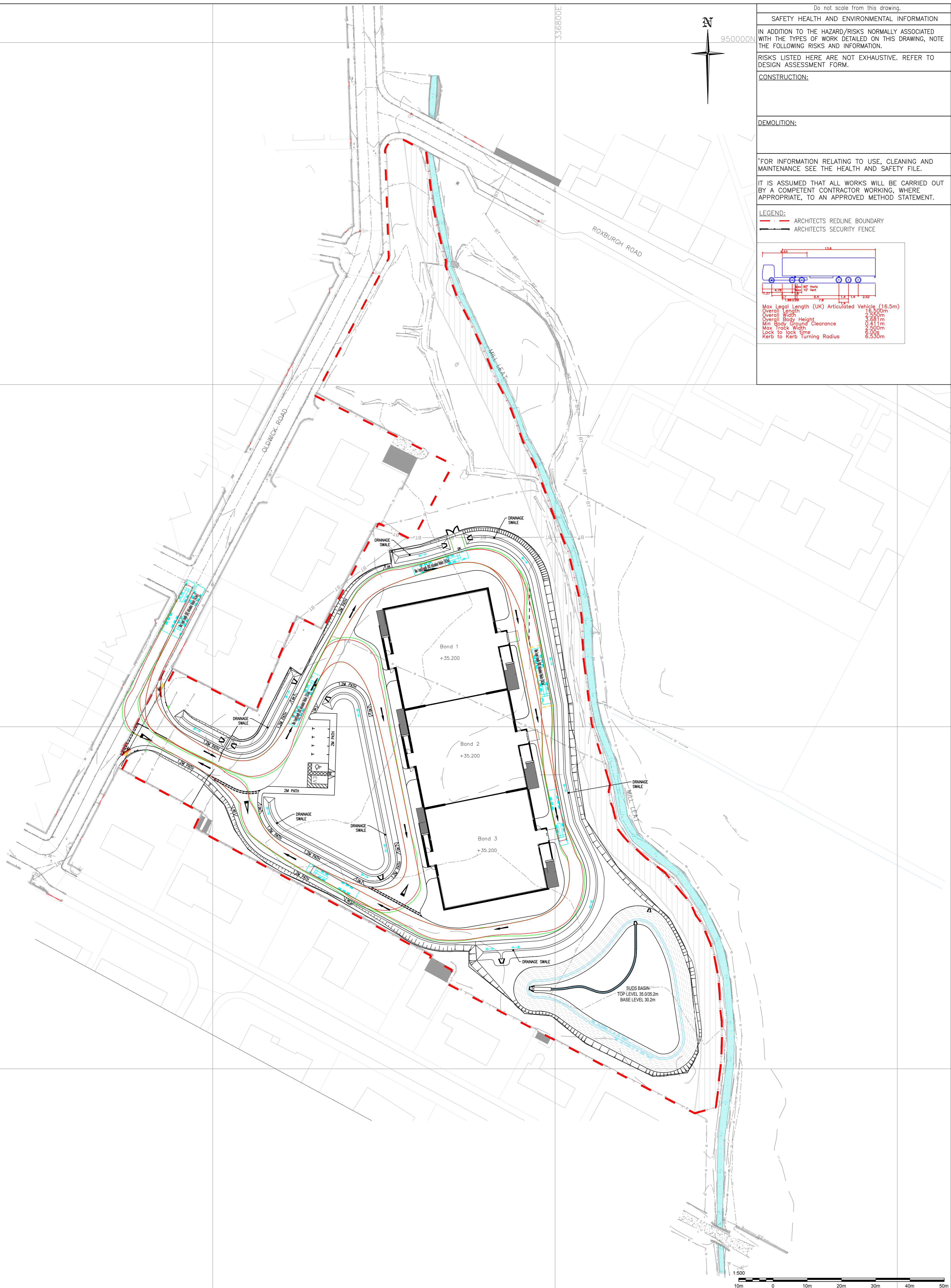
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

LEGEND:

- ARCHITECTS REDLINE BOUNDARY
- ARCHITECTS SECURITY FENCE



Max Legal Length (UK) Articulated Vehicle (16.5m)
 Overall Length 15.500m
 Overall Width 2.550m
 Overall Body Height 3.581m
 Min Body Ground Clearance 0.411m
 Max Track Width 2.500m
 Lock to lock time 6.03s
 Kerb to Kerb Turning Radius 6.530m



NOTES:
 1. PROPOSED LAYOUT BY DB3 GLASGOW ARCHITECTS.
 2. TOPOGRAPHICAL SURVEY BY CAITECH NOVEMBER 2024.
 3. CO-ORDINATES ARE TO NATIONAL GRID AND LEVELS TO ORDNANCE DATUM.
 4. ORDNANCE SURVEY LTD LICENCE/CUSTOMER ACCOUNT NO. AC0000805641.

Client:
 Inver House Distillers Limited

Project Title:
 IHD Pulteney Distillery Wick

Drawing Title:
 Articulated Vehicle Swept Path Plan



Borony House
 Stoneyfield Business Park, INVERNESS, IV2 7PA
 Tel: 01463 724 544

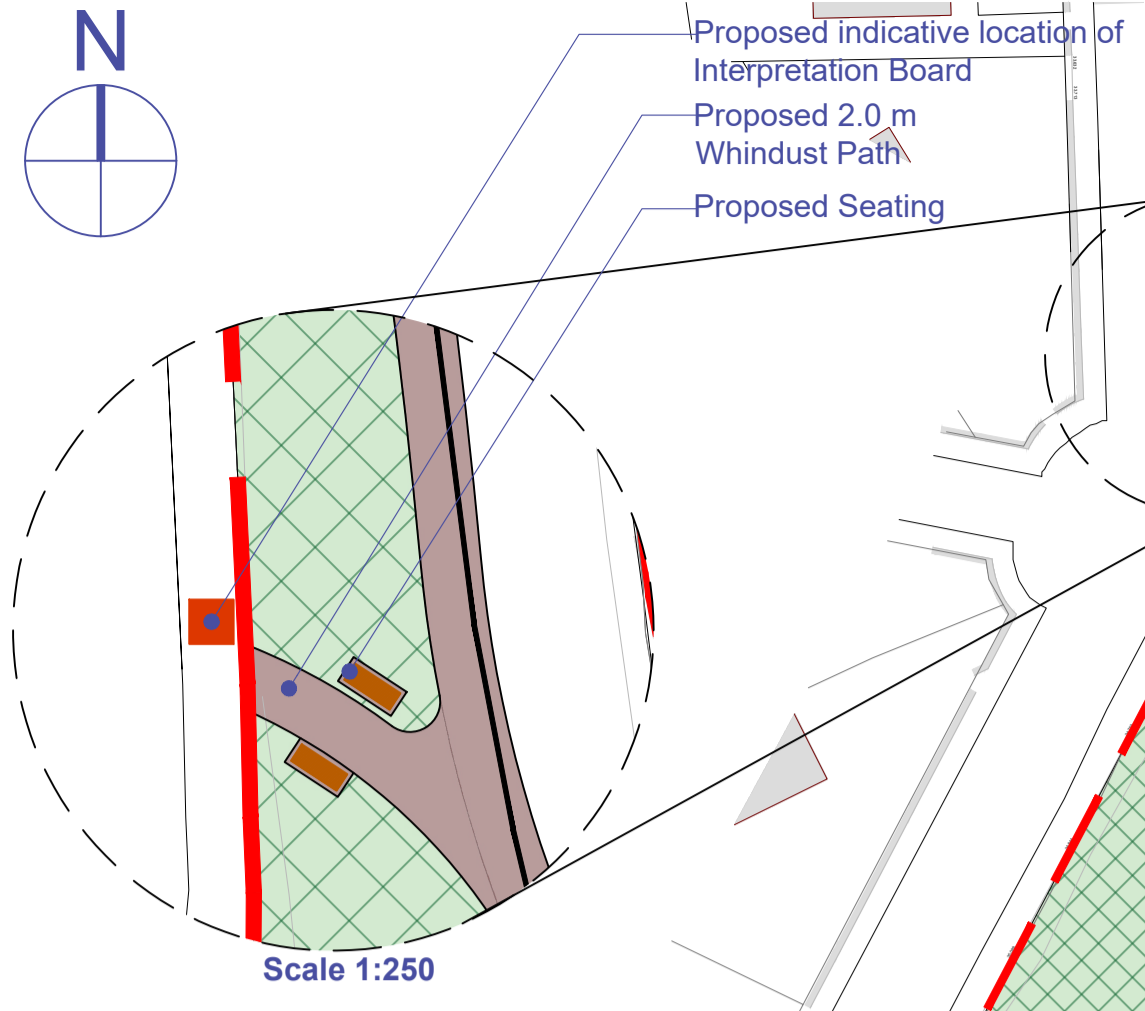
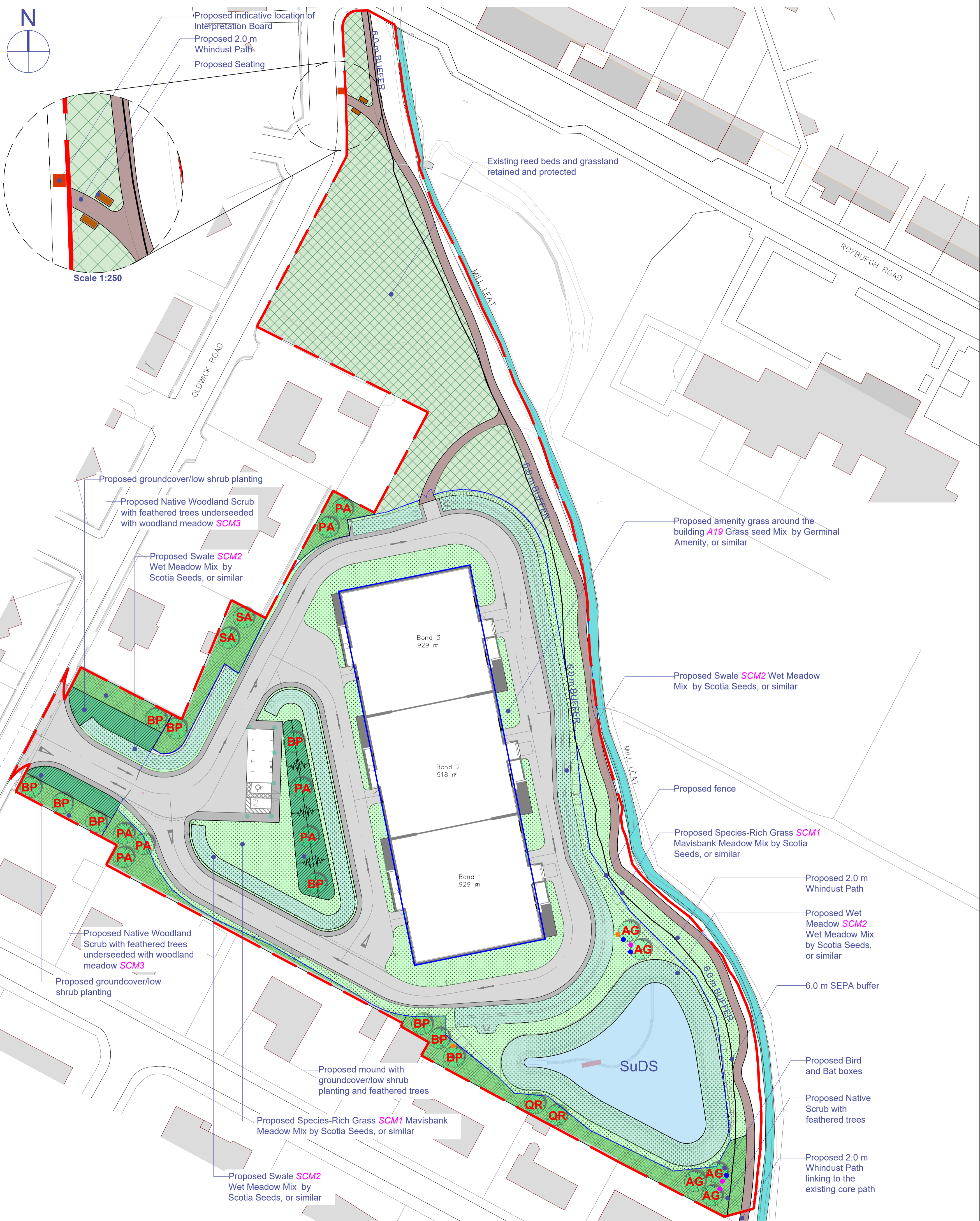
Scale at A1: 1:500
 Status: PLANNING

Drawn: MW
 Checked: RJD
 Approved: RJD

Date: 27/11/2025
 Date: 01/12/2025
 Date: 01/12/2025

Drawing No.: 169402/1003
 Revision: A

Rev.	Date	Description	Drawn	Checked	Approved
A	03/12/2025	Architects fence line and drawing status updated.	MW	RJD	RJD



Proposed Native Specimen Trees - 'Feathered'

Code	Species	Height (cm)	Girth	Clear Stem	Grown
AG	Alnus Glutinosa (Alder)	200-300	-	-	RB
BP	Betula Pendula (Silver Birch)	200-300	-	-	RB
PA	Prunus avium (Wild Cherry)	200-300	-	-	RB
SA	Sorbus aucuparia (Rowan)	200-300	-	-	RB

Proposed Native Scrub Mix (3no per m², groups of 5-7 same species)

% mix	Species	Form	Height	Grown
10	Corylus avellana (Hazel)	Transplant	40-60	B 1+1
10	Crataegus monogyna (Hawthorn)	Transplant	40-60	B 1+1
30	Rosa canina (Dog Rose)	Transplant	40-60	B 1+1
20	Prunus spinosa (Blackthorn)	Transplant	40-60	B 1+1
30	Sambucus nigra (Elder)	Transplant	40-60	B 1+1

Low Shrub planting

Code	Species	Height (cm)	Grown	Habits/breaks	Density
CvA	Calluna vulgaris 'Alexandra'	20-30	C 3L	Bushy	9/m ²
Dc	Deschampsia cespitosa 'Bronzeschleier'	-	C 3L	-	9/m ²
Ec	Erica cinerea	20-30	C 3L	Bushy	9/m ²
Jc	Juniperus communis 'Green Carpet'	30-40	C 3L	Matforming	4/m ²
Sj	Skimmia japonica	30-40	C 3L	Bushy/3	5/m ²
Vd	Viburnum davidii	30-40	C 3L	Bushy	5/m ²
Vm	Vinca minor	20-30	C 3L	Spreading	7/m ²

Species-Rich Grass, Wetland Meadow and Amenity Grass

Seed Mix	Description	Sowing rate
SCM1	Mavisbank Meadow Mix (SCM1) by Scotia Seeds, or similar	3.0g / m ²
SCM2	Wet Meadow Mix (SCM2) by Scotia Seeds, or similar	3.0g / m ²
SCM3	Woodland Meadow Mix (SCM3) by Scotia Seeds, or similar	3.0g / m ²
A19	Grass seed Mix (A19) by Germinal Amenity, or similar	50g / m ²

NOTES: PLANTING APPROACH

Imported topsoil should be in accordance with British Standard (BS 3882:2015). Trees to be removed are to be done outwith the bird breeding season.

AMENITY GRASS
Amenity Grass Mix **A19** All Purpose Landscaping by Germinal Seeds Mix sown at a rate of 50g/m². All areas to be grass seeded to be cultivated to a depth of at least 150mm, all debris and stones to be removed to contractors tip off site. The cultivation of these areas to be undertaken by machine, following the completion of any regrading works immediately prior to grass seeding carry out a final cultivation, allow for topsoil to be 150mm. Apply a pre-seeding granular fertiliser (Germinal Seeds G1) at a rate of 70g/m² prior to sowing. Ensure sharp edge to lawn/shrub bed and line "sweet to the eye". Lawn edge to be 75mm above shrub bed and shrub edge to be graded back from lawn. Grading to take place prior to spreading bark mulch.

NOTES: PLANTING METHOD

Plants should conform to BS 3936-1 (1992) and be in accordance with the National Plant Specification.

TOPSOIL
Imported topsoil should be in accordance with British Standard (BS 3882:2015) for planting beds. Do not compact topsoil. Preserve a friable texture of separate visible crumbs wherever possible. Maximum stone size of 25 mm in any dimension. No cultivation will take place in wet / waterlogged conditions. Soil depth to be 450 mm. Topsoil storage piles are to be no higher than 1.5 m, if required on site.

HERBICIDE
Apply herbicide suitable for suppressing perennial weeds to all shrub bed areas if required. Allow a fallow period according to the manufacturer's recommendations, before planting.

CONTAINER GROWN SHRUBS
All shrubs to be planted in groups of 3, 5, 7 or 9 of the same species, unless otherwise shown on planting plan. Each species evenly distributed throughout the planting bed. Each plant is to be planted in pits of 300mm diameter and depth, backfilled with topsoil to BS3882, incorporating 3 litres of peat free compost into each pit and slow release fertiliser according to manufacturers recommendation. Heather beds to use an ericaceous compost.

MULCHING Following the completion of planting, apply a 75mm layer of well rotted bark chippings to all shrub beds and around proposed trees to a 1m diameter.

FEATHERED TREES (200-300cm min. height)
Feathered Tree planting to be planted in pits to be 450x450x450mm deep with sides and bottom ripped. Allow for backfilling with imported topsoil. Incorporate 15 Litres peat free compost and tree start slow release fertiliser to manufacturers recommendations. Support with one tree stake. Stakes are to be hammered into the ground before the tree is positioned in the pit. The overall length of the stake shall be sufficient to ensure that they are firm when driven into the soil and that the top of the stake extends above ground level to approximately one third of the tree's height. Stakes should be whole sections of softwood timber 50 mm. to 75 mm. top diameter, peeled and pressure treated in accordance with BS 4072. Use ties with a spacer and of a type that can be adjusted as the tree grows. Position one tree tie approximately 50mm from the top of the stake to hold the tree, ensuring that tree and stake do not touch in any place.

WILDLIFE BIODIVERSITY ENHANCEMENT:
Bird boxes, 3 no. Wildcare Eco Small Bird Boxes
Bat boxes, 3 no. Wildcare Eco Kent Bat Boxes
Insect Block 1 no. Wildcare Vivara Pro Woodstone Insect Block

NOTES: FUTURE MANAGEMENT
Management shall be undertaken in a manner which maintains the mix of plant species and prevents any one species from dominating. Weed control shall ensure any pernicious weeds are removed, allowing specified species to develop free of unnecessary competition. Trees shall be periodically inspected to ensure they remain in a healthy and attractive condition. Pruning of trees shall be carried out in accordance with BS 3998:2010. Maintenance works will observe bird nesting seasons (months of March to July inclusive) with management works to trees undertaken outwith this period. Tree supports and rabbit proof guards to be removed once plants are established.

Do not use mechanical tools within 100 mm of tree and plant stems. Do not damage adjacent planting.

NATIVE SCRUB MIX:
All transplants to be planted with spiral tree shelters supported with canes. Height of spiral tree shelters: 60cm, Diameter: 32-42mm, provided by British Hardwood, base dug in 50mm depth. (https://www.britishhardwood.co.uk/rainbow-expandable-eco-spiral) 300 mm diameter, 75mm deep bark mulch around each

- Legend**
- Site Boundary
 - Existing reed beds and grassland retained and protected
 - Proposed Groundcover/Low Shrub planting
 - Proposed mound with Groundcover/Low Shrub planting and feathered trees
 - Proposed Amenity Grass around the building **A19**
 - Proposed Species- Rich Grass **SCM1**
 - Proposed Native Scrub Mix
 - Proposed SuDS
 - Proposed Wet Wildflower Meadow **SCM2**
 - Proposed Feathered Trees
 - Proposed fence around the site
 - Proposed seating
 - Proposed indicative location of Interpretation board
 - Proposed 2.0 m Whindust Path
 - Proposed Bird boxes by Wildcare or similar
1 no. Wildcare Eco Small Bird Box (25mm Hole)
2 no. Wildcare Eco Small Bird Box (32mm Hole Pole or tree mounted 3m above ground level facing North or East
 - Proposed Bat boxes by Wildcare or similar
3 no. Wildcare Eco Kent Bat Box
 - Insect Block - Vivara Pro Woodstone
Insect Block by Wildcare, or similar

Rev. A
09.04.26 Path revised to further north as per clients comments

Project	IHD Pulteney				
Title	Landscape Layout with planting plan Site Wide				
Date	Scale	Drawn	Checked		
23/03/26	1:500@ A1	RPD	GS/SF		
Job	Suitability	No.	Issue	Revision	
2285	-	L01	Planning	A	
LI WORKSTAGE:	0/1	2	3	4	5
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

DISCLAIMER:
Do not scale from this drawing.
All dimensions to be verified on site prior to commencement of works.
Drawing to be read in conjunction with related TGP drawings, consultants drawings and any other relevant information.
This drawing is the copyright of TGP Landscape Architects Ltd. unless otherwise specified.