

Agenda Item	6.2
Report No	PLS/47/26

HIGHLAND COUNCIL

Committee: South Planning Applications Committee

Date: 6 August 2026

Report Title: 24/05246/FUL: Mr Colin Shaw
Land 60m North of Cottage of Ardea, Ballachulish

Report By: Area Planning Manager - South

Purpose/Executive Summary

Description: Erection of distillery building with shop and cafe, erection of warehouses, store & formation of car park

Ward: 21 – Fort William and Ardnamurchan

Development category: Local

Reason referred to Committee: 5 or more timeous objections

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

Recommendation

Members are asked to agree the recommendation to **GRANT** the application as set out in section 11 of the report.

1. PROPOSED DEVELOPMENT

1.1 Planning permission is sought for the erection of a craft whisky distillery and visitor centre. The development is proposed over two phases. The first phase would comprise the erection of the distillery building (production, milling, stillhouse) with a tasting room, shop, maturation warehouse and store with associated access and parking (10 spaces). The second phase is planned to start three years after the completion of phase 1 once whisky production has reached its initial maturation stage. The second phase would comprise a second maturation warehouse, visitor wing (with shop and café), picnic area and expanded parking facilities (additional 18 spaces).

1.2 Phase 1 development includes three structures;

- the production building will have an L-shaped footprint. The main wing will measure 37.4m long, 9.7m wide with a smaller cask filling and bottling wing measuring 7.2m x 6.3m. The main building wing will extend to 7.8m in height and feature two extruded 'chimney' elements rising to 12.3m in height.
- A maturation warehouse measuring 25.8m long, 15.9m wide and 7.7m in height, sited immediately to the rear (west) of the main production hall.
- An external store building to the south of the main production building. This would measure 16.2m x 5.8m and is to be used for storage, waste management and recycling. The store building proposed would be mono-pitched measuring 3.8m - 5.5m in height.

All of the buildings in the first phase are proposed to be finished in metal profile cladding panels with a dark recessive finish.

1.3 An external plant area is proposed to the rear (west) side of the production hall building measuring approximately 118m². This will site a cooling tower, effluent and pot ale tanks, prefabricated boiler house measuring 2.9m x 4.5m a 30T malt silo, 28000L process water tank, draff trailer and 20,000L warm well and hot well.

1.4 Phase 2 development would comprise the addition of a second maturation warehouse and visitor centre wing. The visitor wing would be added to the east side of the production hall measuring 24m long, 9.8m wide and extend to 7.1m in height with an extruded 'chimney' element to match the production hall rising to 10m in height. The visitor wing would be finished in black stained timber to provide a contrast to the production building, while maintaining a dark recessive finish. Metal profile roofing is proposed in keeping with the production wing and the rest of the development. The second maturation warehouse proposed would measure 24.7m long, 16.2m wide and 7.7m high set into the slope to the rear (west) of the distillery building.

1.5 Proposed production is around 400L of spirit per day with storage on site in the bonded warehouses. Each warehouse would hold approximately 1800 casks of spirit (360,000L). Mashing and distilling will use steam produced by an electrical boiler using green electricity, with spent grain (draff) and spent liquid (pot ale and spent lees) to be stored and redistributed for local agricultural use.

- 1.6 The proposed development is anticipated to require 7 (full time equivalent FTE) members of staff - 3 production staff, 3 café/shop staff and 1 staff member to operate tours and the visitor centre. Production is proposed from 9am - 5pm Monday to Friday with the café and shop operating Monday to Saturday 10am - 5pm and Sunday 10am - 2pm. The proposed reception and shop in the visitor wing would measure 40m², the café would measure 67m² and a small kitchen is proposed (13m²) with a 7m² servery area.
- 1.7 Pre Application Consultation: 21/05229/PREAPP (summary of response)
- Principle of micro-distillery, visitor centre and café in accordance with allocation in West Plan, subject to meeting developer requirements set out in local plan.
 - Proposals must demonstrate sympathetic siting and design, minimising the scale of built development on higher ground, which is more prominent in coastal views from A82, to minimise visual impact of development at this sensitive, coastal site.
 - High quality design and finishes sought in response to coastal setting and position within wider National Scenic Area (NSA).
 - Proposal must demonstrate that neighbouring amenity (noise/odour) will be safeguarded.
 - Proposal must demonstrate appropriate access and infrastructure and promote active travel and sustainable modes of transport.
 - Site potentially at risk of coastal flood risk. Proposal must demonstrate that development would not be unduly affected by flood risk and access/egress would not be cut off in severe weather event.
- 1.8 Supporting Information: Arboricultural Impact Assessment and Methodology, Coastal Flood Risk Assessment, Design and Access Statement, Detailed Landscape Design, Landscape and Visual Appraisal, Otter Survey, Otter Camera Trap Survey Updates, Preliminary Ecological Appraisal, Transport Statements, Noise Impact Assessments, Odour Assessment, Industrial/Commercial Use Questionnaire, Response to Objections, Biodiversity Net Gain, Lighting Assessment, Odour Mitigation Plan, Dust Mitigation Plan, Road Safety Audit Brief
- 1.9 Variations: A1.1 revised site layout plan - phase 1, A1.2 revised site layout plan - phase 2 amended site boundary to include access and water connection. Revised access layout drawing 158954/sk1001 Rev B following Transport Scotland recommendations and increasing width of path along A828 to 2.5m narrowing to 2m at the crossing point at the A82/A828 roundabout.

2. SITE DESCRIPTION

- 2.1 The site is located at the southern shore of Loch Leven, approximately 1km southeast from the nearby settlement of North Ballachulish and 2.2km west of Ballachulish. The site is located within the Ben Nevis and Glen Coe National Scenic Area (NSA). The boundaries of the site are defined by a combination of wire and post fencing, open boundary and tree line. Immediately north and east of the site is the private road that runs adjacent to Loch Leven. To the south of the site is a dense

line of trees, domestic residence and telecommunications mast, with wider grassland field immediately west.

- 2.2 The site comprises a parcel of modified grassland (approximately 1ha) used for grazing. The site adjoins an area of higher ground towards the A82 and the landform slopes north-eastwards towards the loch.
- 2.3 An existing private access from the A828 trunk road runs between the fields and loch side, this follows the north and eastern boundaries of the distillery site and serves the adjacent mast site and residential properties, Cottage of Ardea and Craigrannoch House. The road narrows from 6.1m near the junction with the A828 to a minimum of 2.7m on the approach to the distillery site.

3. PLANNING HISTORY

- 3.1 21.01.2022 21/05229/PREAPP: Development of a Craft Whisky Distillery and adjoining Visitor Centre, Shop and Cafe

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour/Schedule 3 Development

Date Advertised: 27.02.2025

Representation deadline: 13.03.2025

Timeous representations: 69 objections (55 Households)
1 letter of representation (1 household)
6 letters of support (6 households)

Late representations: 19 objections (4 households)
19 letters of support (16 households)

- 4.2 Material considerations raised are summarised as follows:

Letters of objection

- a) Inappropriate design, finishes and scale
- b) Adverse impact on landscape and National Scenic Area designation
- c) Impact on neighbouring privacy and amenity through disturbance, odour, noise, littering, lighting (construction and operation)
- d) Concerns regarding fire risk
- e) Traffic congestion, accident risk and increased emissions
- f) Parking provision - some consider insufficient other consider excessive
- g) Insufficient access
- h) Trunk road pedestrian crossing safety concerns
- i) No requirement for more tourist attractions
- j) Little employment generated by development
- k) Insufficient housing to accommodate workers
- l) Proposed borehole may not be feasible given site of existing septic tanks
- m) requirement to connect to mains sewer

- n) private foul drainage may not be feasible. Details lack percolation testing. This would be in close proximity to a watercourse where neighbours have right of abstraction.
- o) Concerns regarding management of distillery wastewater - discharge of foul drainage to loch would impact recreation and wildlife.
- p) Loss of peat
- q) Impact on trees
- r) Impact on archaeology
- s) Potential for contaminated land
- t) Insufficient details on proposed waste management, recycling and reuse of production materials.
- u) Flood risk
- v) Lack of public transport options including access for wheelchair users by public transport.
- w) Impact on wildlife - otter survey findings inconsistent with local knowledge/evidence.
- x) Lack of power to serve development
- y) Some letters raised no objection in principle to the development subject to greater assessment of wildlife impacts.
- z) Development would increase wild camping and campervans.
- aa) Concerns that information submitted by the applicant is inaccurate.

Planning officer Comment: The applicant has responded to these concerns and considers their submissions to be accurate.

- bb) Lack of wider public notification/consultation

Planning Officer Comment: This scale of development does not meet the threshold for formal wider consultation. The developer did undertake public consultation and discussions with neighbours prior to submission.

- cc) Neighbour notification not carried out on all properties within 20m of the application site and neighbour notification should have been carried out beyond the 20m buffer given the nature of the development.

Planning Officer Comment: The neighbour notification process has been checked and has been undertaken in accordance with the statutory process. Neighbour notification letters are not sent to properties beyond 20m of the application site boundary however the application was advertised in the local press. All letters from neighbours have been received, recorded and given appropriate consideration.

- dd) Concerns raised that the time period for lodging representations was extended which allowed for the filing of late letters of support for the development. These should not have been permitted as they were out of time.

Planning Officer Comment: The Council can accept late letters of representation. In this case late objections and late letters of support have been received (see Section 4.1 above). All planning matters raised in representations whether in support, in objection or neutral to the proposal have been recorded and taken into account as part of the planning assessment.

- ee) Critiques have been made following receipt of further information from the developer and responses from consultees on a variety of matters. These

submissions have all been considered. Main points raised are discussed in the planning assessment section below.

Letter of representation

The distillery would be a welcome addition to the area and provide a visitor attraction in due course subject to: -

- a better-quality finish (stone, wood) which would fit more naturally into the landscape.
- Appropriate access to public transport
- Mitigation due to otters present on site.

Letters of Support

- a) This type of tourist facility is currently lacking in the local area.
- b) Support for the contemporary architecture and modern building aesthetic.
- c) External finishes could be revised if required.
- d) Landscaping including planting of new trees will de-emphasize the existing mast nearby.
- e) Investment will bring jobs and opportunities to the local area.
- f) Whisky production is regulated and the environment need not be compromised.
- g) A positive change from developments geared to provide tourist accommodation alone.
- h) A much-needed year-round tourist attraction, supporting off-season hotel/guesthouse trade. Benefit to local businesses and local village economy.
- i) Location and landscape is not pristine and reflects post-industrial environment shaped by quarrying. Ballachulish Bridge is functional rather than aesthetically pleasing.
- j) View from Ballachulish Bridge is currently interrupted by mast on neighbouring ground.
- k) The proposal would contribute to existing businesses which operate without controversy in the area including a fish-farm up the loch and gin distillery across the loch.
- l) Improvements to public access.
- m) The proposal would be an asset for locals and visitors.
- n) Development aligns with allocation for business and tourism use.
- o) Development would introduce an artisanal facility in an area that only recently was associated with heavy industry and quarrying.
- p) The construction phase of the project will benefit the local area.
- q) The project will achieve a biodiversity net gain on site, prioritising native planting to support native birds, insects and mammals.
- r) Ballachulish is well-placed at the Gateway to Glen Coe, but despite a unique industrial heritage and beautiful natural assets does not have the same 'draw' as some of its better-known counterparts. An independent distillery can make Ballachulish not only a point of reference on the map, but a must visit destination.
- s) Misinformation in the media and social media has created unfounded concerns about the project, claiming it will be industrial scale and harm local habitats. These claims are not accurate.

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

5.1 **Ballachulish Community Council:** Letter of support

The site has been zoned as Tourist/Commercial in the WHLDP for several years.

The whole site was used as a gravel/sand quarry for the Bridge construction and was reinstated at the time of realignment of the A82 roadway.

We are broadly in favour of the development of the area to bring employment into the area.

Although low at the start-up, upon full completion there will 7-10 jobs. We need diversity in the employment market in our area relying solely on the Tourist Season is limiting employment.

The industrial history of the village is still relevant, and we should be working with the developer to incorporate it within this new proposed development.

The use of Bore Hole for Water supply needs to be confirmed, or another source of water supply will be required.

The precedent of Commercial Buildings in the area has been set by the Building on the opposite side of the Loch sited below the Road Bridge.

5.2 **Access Officer:** No objection

The proposed development site for the Ballachulish Distillery is located off the A828 trunk road, accessed via an existing private access road, formerly the old A82 main road. This section of old road is used by the public for recreation and for accessing the shore in front of the proposed development. The traditionally used access routes to the shore should not be blocked by development activities and should remain open before, during and after development, unless work is being undertaken on the access road, in which case any closure of the route should be for the minimum time possible.

Access improvements within the plan are welcome.

- A 1.5-metre wide pedestrian footpath constructed along the southern side of the access road, providing safe pedestrian access to the site.
- At the A828 junction, a new 2-metre footway/shared surface connecting to the existing shared-use path along the A828. This will provide a safe and convenient link for pedestrians and cyclists to the wider active travel network.
- An at-grade crossing with dropped kerbs and tactile paving across the A828, allowing pedestrians to safely cross the trunk road.

Before the commencement of construction, a detailed plan which includes the specifications for each of the above elements should be submitted and agreed with the Outdoor Access Officer. This should include details of the materials and surfacing to be used and plans for drainage including cross falls and culverts.

5.3 **Archaeology:** No objection subject to condition

The area lies within an area of archaeological potential. Permission is recommended subject to condition for an archaeological Written Scheme of Investigation (WSI) and Post-Excavation Research Design (PERD) if required.

5.4 Contaminated Land: No objection

Anecdotal information indicates that the site was used for quarrying in the past, which has the potential for land contamination if waste materials were used to infill any pits. Site history should be provided to confirm the former use of the site, and/or site investigation information should be sought through planning condition to confirm the current ground conditions.

5.5 Corporate Address Gazetteer: No objection

Advise that each property should have its own unique property number (UPRN).

5.6 Development Plans: No objection

Proposal in overall conformity with the approved development plan.

Developer contributions are not required.

5.7 Ecology: No objection subject to planning conditions

The proposals comply with the requirements of NPF4 Policy 3.

Recommended conditions include the requirement for: -

- a Habitat Management Plan including measures to enhance the site for species as well as habitats.
- Mapping of compensation and enhancement boundaries.
- Pre-construction protected species survey.
- Timing of works to avoid the main breeding bird season (March-August inclusive)

Informative note recommended on protected species and derogation licences.

5.8 Environmental Health: No objection

Initial response 24.09.2025 -

The proposal is unlikely to result in a breach of legislation enforced by Environmental Health. However, there is the potential for adverse impact on amenity of neighbouring residents. It is therefore recommended that conditions are attached to any consent to secure the following: -

- all recommendations in Section 6 of the Noise Impact Assessment report
- submission and agreement of an odour management plan.
- submission and agreement of a dust mitigation scheme demonstrating how neighbouring properties will be protected from any dust generated by both construction activities and operational activities.

Further responses 09.07.2026 and 10.07.2026 -

Odour Management Plan - submitted plan is insufficient

Noise Impact - request that all recommendations in Section 6 of the Noise Impact Assessment Report are secured via planning condition

An additional noise condition is also requested.

Dust Mitigation Scheme accepted.

Suggest a liaison group be set up between the developer and neighbours prior to the commencement of development.

Planning Officer Comment: These matters will be secured as part of a Construction Environmental Management Plan.

5.9 Flood Risk Management Team: No objection

- **Coastal Flood Risk**

No comment on coastal flood risk as this matter lies within SEPA's remit in this case. FRMT note that SEPA has raised no objection on the grounds of coastal flood risk.

- **Coastal Erosion Risk**

The 'influence' extent line (defined as the year 2100 erosion extent with an additional allowance of 10m for the influence of that erosion) has been taken as defining the area at potential risk from coastal erosion by 2100. Based on this the FRMT recommend that all development avoids ground between the influence line and the coast.

Review of the site plan suggests that some hardstanding access areas and part of the picnic area may lie within the area taken 'at risk of coastal erosion'. No buildings are identified within the area at risk of coastal erosion.

The FRMT do not object to the proposal with regards to the risk of coastal erosion however, the applicant may wish to consider the identified coastal flood risk if further developing the proposals.

5.10 Forestry: No objection subject to planning conditions for tree protection measures and landscape planting

The site is predominantly open agricultural grassland although there is an area of woodland on the south side of the site and a group of trees in the north-western corner of the site.

The Tree Survey and Arboricultural Impact Assessment report contains a tree schedule, constraints plan and protection plan. The Tree Protection Plan does not show the Store which appears on both Phase 1 and Phase 2 Site Plans and there appears to be minor conflict with the RPAs and crown spreads of the mixed conifers and broadleaves in group G43. However, the tree protection proposals could be accepted.

The Detailed Landscape Design drawing also fails to show the Store building on the south side of the site. However, the planting proposals could be accepted.

5.11 Transport Planning Team: No objection

The development is not expected to have a significant impact on any council roads, subject to the following additional information being provided:

- Dimensions of parking bays and turning areas
- Clarification on whether the development will receive visitors by coach or minibus

- Specifications for the proposed cycle parking

5.12 **Disability Access Panel:** No objection

Request the following:

- designated blue badge parking bays to be created as close to the shop/café entrance as possible
- all paths to the shop/café entrance created with a smooth hard bound finish
- shop/café entrance to have a level threshold
- one of the covers to have non-fixed seating. The table height to be set to enable wheelchair use

5.13 **NatureScot:** No objection

14.03.2025 Initial response to original Landscape and Visual Assessment (LVA) submitted 18.12.2024

- Proposal not considered to have an adverse effect on the integrity of the NSA or the objectives of the designation.
- Concerns that the initial LVA was insufficient and lacked assessment of the Special Landscape Qualities

18.07.2025 Response to LVA v2 submitted 25.06.2025

- Concerns that the revised LVA continued to underplay the sensitivity of some of the landscape and visual receptors and effects of night-time lighting had not been considered

21.01.2026 Response to revised LVA v3 submitted 03.01.2026

- The proposal will not have an adverse effect on the integrity of the NSA or the objectives of the designation.
- This proposal is in a prominent and sensitive location, wholly within the Ben Nevis and Glen Coe NSA. Nature Scot consider there are likely to be localised effects on the NSA.
- In their view this will not result in an adverse effect on the integrity of the NSA or the objectives of the designation. This is not to say that the development would not result in some significant adverse landscape or visual effects, rather that NatureScot does not judge these effects to meet their threshold in respect of their national remit for landscapes.
- The updated information includes a Lighting Assessment which provides baseline information. Nature Scot recommend that the LVIA is expanded to assess the effects of the proposed night-time lighting on the receptors considered in the LVA. This would inform any amendments or mitigation to minimise adverse effects.
- It is for the Planning Authority to determine within the context of planning policies, whether further information/mitigation is required to address the potential for night-time effects.

5.14 **SEPA:** No objection on grounds of flood risk, coastal erosion or Control of Major Accident Hazards (COMAH) Regulation

5.15 Scottish Water: No objection

There is currently sufficient capacity in the Camisky Wellfield Water Treatment Works to service development.

There is currently sufficient capacity for a foul only connection in the North Ballachulish Sep Waste Water Treatment Works to service development.

5.16 Sustrans: No objection

Advise that the proposed development has potential to become a popular local visitor attraction, particularly for users of the NCN78 Caledonian Way tourism route and the existing active travel route to Glen Coe (which is proposed to form part of the new NCN193).

The proposal does not meet Cycling by Design standards essential to support and encourage cycle access.

Additional design work is necessary to ensure the roundabout crossing maximises safety, with input from Transport Scotland's Trunk Roads division.

This crossing would result in two active travel crossings within a 230-metre stretch, consideration should be given to reducing the speed limit on the section of road between the proposed crossing and the existing NCN78 crossing, which is currently set at 60mph.

The shared footway between the proposed distillery and A82 roundabout does not meet the Cycling by Design minimum width standard of 2.5 metres. Recommend further consideration is given to achieving compliance with Cycling by Design guidance at this location and across the scheme.

5.17 Transport Scotland: No objection subject to conditions

Transport Scotland reviewed the proposals and information from Sustrans in March 2026 and advised that discussions with the applicant were ongoing in relation to the requirements for the footway/cycleway links and proposed amendments and improvements to the A828 junction. Transport Scotland confirmed at this time that there were no proposals to reduce the speed limit on the section of road between the proposed crossing and the existing NCN78 crossing.

Transport Scotland response June 2026 raised no objection to the provision of access and footway improvements proposed subject to conditions for the delivery in accordance with the revised access layout plan sk1001 Rev B and submission of a Construction Traffic Management Plan.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 National Planning Framework 4 (2023) (NPF4)

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation

Policy 3 - Biodiversity

Policy 4 - Natural Places

Policy 5 - Soils

- Policy 6 - Forestry, Woodland and Trees
- Policy 7 - Historic Assets and Places
- Policy 9 - Brownfield, Vacant and Derelict Land and Empty Buildings
- Policy 10 - Coastal Development
- Policy 12 - Zero Waste
- Policy 13 - Sustainable Transport
- Policy 14 - Design Quality and Place
- Policy 15 - Local Living and 20 Minute Neighbourhoods
- Policy 18 - Infrastructure First
- Policy 19 - Heating and Cooling
- Policy 20 - Blue and Green Infrastructure
- Policy 22 - Flood Risk and Water Management
- Policy 23 - Health and Safety
- Policy 25 - Community Wealth Building
- Policy 26 - Business and Industry
- Policy 29 - Rural Development
- Policy 30 - Tourism

6.2 **Highland Wide Local Development Plan 2012 (HwLDP)**

- 28 - Sustainable Design
- 29 - Design Quality and Place-making
- 30 - Physical Constraints
- 31 - Developer Contributions
- 36 - Development in the Wider Countryside
- 40 - Retail Development
- 41 - Business and Industrial Land
- 42 - Previously Used Land
- 43 - Tourism
- 49 - Coastal Development
- 51 - Trees and Development
- 55 - Peat and Soils
- 56 - Travel
- 57 - Natural, Built and Cultural Heritage
- 58 - Protected Species
- 59 - Other important Species
- 60 - Other Important Habitats
- 61 - Landscape
- 63 - Water Environment
- 64 - Flood Risk
- 65 - Waste Water Treatment
- 66 - Surface Water Drainage
- 72 - Pollution
- 73 - Air Quality
- 77 - Public Access

6.3 **West Highland and Islands Local Development Plan (2019) (WestPlan)**

Site within Settlement Development Area

Allocated Site BH05: Business/Tourism 2.1 ha

Summary of key developer requirements:

- Non-Statutory Development Brief
- Landscape/Visual Assessment
- High quality siting and design
- Development in the southwestern area (fronting onto the A82) to be small scale and located next to existing woodland
- Development in eastern area to have this woodland as a backdrop
- Flood Risk and Drainage Impact Assessment
- Feasibility for public sewer connection
- Transport Statement including improvements to access onto A828
- Active travel connections
- Potential A828 trunk road crossing and bus stop provision
- Protect trees and woodland
- Enhance green network
- Protected species survey
- Landscaping scheme
- Pre-application discussions with the Council and SNH

6.4 Highland Council Supplementary Planning Policy Guidance

Developer Contributions (March 2018)
 Flood Risk and Drainage Impact Assessment (Jan 2013)
 Highland Historic Environment Strategy (Jan 2013)
 Highland's Statutorily Protected Species (March 2013)
 Managing Waste in New Developments (March 2013)
 Physical Constraints (March 2013)
 Public Art Strategy (March 2013)
 Standards for Archaeological Work (March 2012)
 Sustainable Design Guide (Jan 2013)
 Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Scottish Government Planning Policy and Guidance

Scottish Government Planning Guidance: Biodiversity
 Creating Places

8. PLANNING APPRAISAL

- 8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

- 8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

- 8.3 The key considerations in this case are:
- a) compliance with the development plan and other planning policy
 - b) siting, design and amenity
 - c) landscape and visual impact
 - d) lighting
 - e) ecology and biodiversity
 - f) trees
 - g) amenity and pollution prevention
 - h) servicing and infrastructure
 - i) soils
 - j) archaeology
 - k) flood risk and coastal erosion
 - l) any other material considerations

Development plan/other planning policy

- 8.4 The site lies within the Settlement Development Area for Glenachulish (West Highland and Islands Local Development Plan, WestPlan). The site is part of wider 2.1ha site (BH05) allocated for Business/Tourism Use. The allocation extends from the existing private access by the loch side which serves Cottage of Ardea, Craigrannoch House and a mast site up to the edge of the A82 trunk road. The southwestern part of the site sits level with the A82 road. The land falls to the northeast down towards the loch.
- 8.5 The proposed development would be set within the lower eastern part of the wider allocation. Developer requirements for BH05 note that development in the western area of the allocation fronting onto the A82 is required to be small scale and located next to existing woodland. Development in the eastern area should also have this woodland as a backdrop.
- 8.6 BH05 is the easternmost site of three allocated sites at the junction of the A82 and A828 trunk roads. The adjoining parcel of land to the northwest 2.6ha, BH04 is allocated for community, business and tourism use (with no scope for significant built development). A 2.3ha parcel of land (BH03) to the north, at the opposite side of the A828 is allocated for housing development.
- 8.7 NPF4 Policy 26 (Business and Industry) and Policy 30 (Tourism) support development proposals for business and industry uses and new tourist facilities on allocated sites. NPF4 Policy 29 (Rural Development) supports development proposals that would contribute to the viability, sustainability and diversity of rural communities and local rural economy including production and processing

facilities for local produce. Development must be suitably scaled, sited and designed to be in keeping with the character of the area.

- 8.8 Some objections to the proposal suggest that there is no requirement for more tourist attractions in the area and little employment will be generated by the development. The site is however allocated for business and tourism use in the local plan, and the principle of development would comply with this allocation.
- 8.9 The acceptability of the proposal will depend on its siting, design, scale and operational impacts, including effects on residential amenity, landscape character and the National Scenic Area, being acceptable and compliant with the wider policies of the Development Plan.
- 8.10 NPF4 Policies 1-3 (Tackling the Climate and Nature Crises; Climate Mitigation and Adaptation; and Biodiversity) apply to all development proposals nationwide. The extent to which the proposal contributes towards climate mitigation, biodiversity enhancement and nature-based solutions is assessed later in this report.
- 8.11 NPF4 Policy 4c) (Natural Places) considers development proposals which would affect a National Scenic Area and offers support where i.) the objectives of the designation and the overall integrity of the area will not be compromised or ii.) where any significant effects on the qualities for the area has been designated are clearly outweighed by social, environmental or economic benefits of national importance. The proposed craft distillery is not of sufficient scale to deliver social, environmental or economic benefits of national importance. As the proposal is not considered to be development of national importance, the key issue for assessment is whether the proposal would compromise the objectives or overall integrity of the National Scenic Area. This matter is considered in detail below.
- 8.12 Other key NPF4 policies relevant to the determination of this application include 6 (Forestry, Woodland and Trees), 13 (Sustainable transport), 14 (Design, Quality and Place), 22 (Flood Risk and Water Management) and Policy 23 (Health and Safety). These matters are considered in detail below.

Siting, Design and Amenity

- 8.13 The proposals have been developed to site the distillery buildings within the lower eastern part of the site and avoid siting on the higher platform of ground which sits level with the A82. This accords with the development plan developer requirement, to avoid detracting from views across Loch Leven and the wider area. The development would be delivered in two phases with the main production building, a maturation warehouse and external store forming the initial phase. A visitor wing would be added to the production hall and a second maturation warehouse delivered within the second phase.
- 8.14 The main distillery building and visitor centre wing and external store would be sited on generally level ground towards the centre of the site at this lower level. The level platform would be extended westwards to accommodate the maturation warehouses and parking set into the slope. The clustering and siting of development concentrated in this lower part of the site and cut into the slope will minimise the visual impact of development. While the bulk of the development will

be screened in views from the A828 and A82 south of the roundabout, the production hall roof, chimney features and tips of the maturation warehouses will extend above the upper platform to the west which adjoins the A82 trunk road. These elements will sit well below the neighbouring mast and residential property (Cottage of Ardea) between the development site and the A82 trunk road (Viewpoint 2 year 1 and Viewpoint 2 year 15 - LVA).

- 8.15 The design statement advises that the proposals have been developed in response to both the local landscape setting and industrial heritage in Ballachulish. Features include the Ballachulish Bridge, neighbouring mast site and slate quarry. The mass of the building is reduced through the introduction of a series of rectangular forms with simple detailing and a dark recessive finish. Three feature 'chimney' details are proposed, two on the main production building and one on the lower visitor wing. These 'chimney' details have been proposed for practical and aesthetic reasons; to provide necessary ventilation for the craft distillery and to echo the Three Sisters of Glencoe range and three internal copper stills, which will be displayed through windows on the northern elevation.
- 8.16 The distillery building, maturation warehouses and external store are all to be finished in a metal profile cladding with the visitor centre wing finished in vertical timber cladding to differentiate between distillery processing and visitor areas. These finishes are considered appropriate in terms of sustainability. Metal cladding is durable and can be recycled and timber cladding is a sustainable material. Both finishes offer lower embodied energy and good thermal performance. The limited colour palette in dark recessive tones will assist in reducing visual prominence when viewed from the surrounding landscape and the A82/A828. A planning condition is proposed to secure dark recessive external cladding with a matt finish.
- 8.17 The siting and design broadly aligns with the developer requirements set out in the local plan allocation. While the production building and maturation warehouses are substantial structures, their scale is comparable with other modern craft distilleries. The buildings are broken into a series of simple forms, are partially set into the landform and will be viewed against rising ground. As a result, the overall massing is considered proportionate to the site and would not appear excessive or incongruous within the wider landscape.
- 8.18 An external plant area is proposed to the rear of the production building. This area will be contained between the maturation warehouse and rising ground to the west and the rear of the production hall. The external plant area will measure 6.3m x 19.5m. The area will house a cooling tower, effluent tank, pot ale tank, prefabricated boiler house, malt silo, process water tank, warm well and hot well tanks, and draff trailer. A chiller is no longer proposed. The applicant has confirmed that all plant, including the cooling tower will be set at a height below the production building eaves. The sizes of the plant in this area are not finalised at this stage and details of all external plant and machinery, including heights and any necessary screening and/or enclosure will be agreed through planning condition prior to the commencement of phase 1.
- 8.19 There is a small cluster of development between the application site and A82 trunk road which includes two residential properties (Cottage of Ardea and

Craigrannoch House) and a telecommunications mast. Cottage of Ardea is the closest neighbouring property set approximately 54m south of the production hall and 44.5m south of the external store. The mast site is located between the proposed development site and the Cottage of Ardea. The house and mast are both set on higher ground approximately level with the trunk road. Craigrannoch House is set on lower ground approximately 103m south of the proposed visitor wing.

- 8.20 Residential properties at Carness are sited on the opposite (northern) banks of the Loch overlooking the site. These properties are located approximately 630m to the northeast of the proposed craft distillery site.
- 8.21 Objections highlight concerns regarding loss of neighbouring residential amenity as a result of disturbance, noise, littering, odour and dust given the processes associated with a distillery. Some have raised concerns that consumption of alcohol will lead to antisocial behaviour. Others are concerned that development would lead to an increase in wild camping and campervans. Objectors also note that site is allocated for business and tourism use and do not feel that a distillery, with industrial processes would accord with the use agreed under the local plan allocation.
- 8.22 Development in itself is not considered likely to significantly attract wild camping and campervans. The operators of the site will be responsible for its management. Operation of the craft distillery and visitor centre will also be subject to licensing legislation, which imposes requirements on the operator to prevent crime, disorder and public nuisance.
- 8.23 Distilleries may fall into either General Industrial (Class 5) or Business Use (Class 4). Class 4 Business Use can include light industrial processes, however the activity on site would need to be carried out in a residential area with causing a nuisance due to noise, vibration, odour and dust.
- 8.24 In this case the proposal is for a small-scale distillery and visitor centre with shop and café. The small scale is demonstrated by:-
- warehousing capacity 3,600 casks / 720,000 litres
 - reception shop area 40m²
 - kitchen 13m² / servery 7m²
 - café 67m² (typically 1.5m² - 2m² per cover, 35 - 45 covers)
 - 10 parking spaces (phase 1), 28 parking spaces (phase 2)
 - Hours of operation - production 9am - 5pm Monday to Friday
café and shop Monday to Saturday 10am - 5pm and Sunday 10am - 2pm.
- 8.25 Given the separation distance between the operational areas and neighbouring dwellings, the presence of intervening landform and development, the modest scale of the distillery operation and the proposed operating hours, it is considered that noise, odour, lighting and general disturbance can be satisfactorily managed through planning conditions. The proposal would therefore not result in an unacceptable loss of residential amenity.

Landscape and Visual Appraisal

- 8.26 The submission includes a Landscape and Visual Appraisal (LVA) which has considered the effects of the proposal on the landscape character of the site, on the Landscape Character Type - LCT234 Lochs with Settled Edges and on the Special Landscape Qualities of the National Scenic Area. The appraisal also considers the impact on visual amenity including immediate residential neighbours, residential properties at Carness, key local viewpoints and Core Paths. The appraisal has been revisited and updated in response to concerns from NatureScot that the initial appraisals underplayed the landscape sensitivity and visual assessment sensitivity.

Landscape Effects

- 8.27 The proposal lies within the Lochs and Settled Edges Landscape Character Type (LCT), as set out in the Scottish Landscape Character Assessment (NatureScot, 2019). This Landscape Character Type includes inland sections of Loch Linnhe, Loch Leven and Loch Eil. Ribbon lochs created by flooding of ice-scoured fault lines are common in Lochaber, they are distinguished by their relatively high density of settlement, including farms and crofts, towns (including Fort William) and villages, and main road links.
- 8.28 Key Characteristics comprise:
- Flat landscape contained between steep loch sides and open water.
 - Extensive agriculture and settlement confined within a narrow lochside fringe, whose foreshore is subject to tidal influence.
 - Loch heads and river mouths that permit more extensive farming and built development, including housing and small industrial estates.
 - Communications confined to narrow loch edges where shingly beaches, rocky headlands, wooded banks and marshy platforms form a diverse water's edge.
 - Extensive tracts of oak-birch woodland climbing from the lochside up into the foothills, often engulfing the settled edge and providing an enclosed micro landscape.
 - Dense commercial forests descend to loch shore in some locations.
 - Occasional policy grounds of big houses along the loch edge give rise to a proliferation of rhododendron and other ornamentals in some places, providing a lush and sheltered character.
 - Linearly arranged crofting communities with vivid green croft fields contrast with the more subdued duller colours of surrounding hills.
- 8.29 The Landscape Character Description comprises 4 elements -
- 8.30 **Landform** - The Lochs with Settled Edges Landscape Character Type occupies a narrow fringe, squeezed between the loch edge and the steep hillsides, which prevailed after sea levels fell after the last Ice Age. It is usually enclosed by the Smooth Moorland Ridges landscape.
- 8.31 **Landcover** - Broadleaf woodland proliferates along some sections of loch edge and provides a sense of enclosure which contrasts with the expansive views across the loch. The Ballachulish slate quarries, once the most important in

Scotland, remain prominent features in the landscape. Grazing land forms the context for much of the settlement of the area.

- 8.32 **Settlement** - These areas encompass along their edges some of the principal settlements in Lochaber including Fort William and its suburbs of Caol, Corpach and Banavie; North Ballachulish and surrounding villages; and Kinlochleven, at the head of Loch Leven. The type also includes the major industrial areas in Fort William and Kinlochleven as well as core industrial estates. Remnants of the industrial planned villages of Ballachulish and Glen Coe are still visible amidst later housing. Between these centres, houses and crofts are scattered along the edge often set within grazing land. The spatial pattern of these pastures and crofts is distinctive along undeveloped sections of shoreline. The longevity of settlement in the area is evidenced by occasional prehistoric sites such as the fort of Cnocan Dubh and the archaeological features and artefacts discovered under the peat in North Ballachulish. Historic houses sit in prominent lochside landmark positions. Roads circumnavigate the loch edges along the settled strips or cut through rocky headlands where these penetrate to the water's edge. These often main roads are particularly busy in the summer months due to the high volume of tourist traffic.
- 8.33 **Perception** - The character of the loch edge is generally small-scale and diverse. The loch heads are sensitive in visual terms where views are channelled down lochs and their glens to them. Given its narrow spatial extent within the glen, the settled edge has a strong influence both on landscape character and on one's experience of it. Buildings are often whitewashed, sometimes suburban in character, and stand out prominently against the hills and lochs and at night a string of lights seems to hang over dark loch waters. This landscape is frequently experienced amidst settlement when the detail and variety of built development along the loch edge is apparent and contrasts with the scale and homogeneity of the hillside and loch waters that enclose it. Views across the lochs to the opposite settled edges and hillsides above provide attractive visual detail.
- 8.34 The Landscape Visual Assessment considers the sensitivity of a landscape or visual receptor to change (this includes the value of the landscape receptor and susceptibility to change), and the magnitude of the proposed change (scale and extent of impact when compared with the wider landscape character area or wider view, the size of the proposed development, duration of impact and whether the effect is permanent or reversible). Once sensitivity and magnitude have been established the overall importance of the effect is assessed.
- 8.35 The LVA concludes that there will be effects on the landscape character of the site and the Lochs and Settled Edges Landscape Character Type. Effects on the landscape character of the site are expected to be of major adverse importance at construction stage reducing to substantial adverse at year 1 - year 15. The effects are expected to remain high given the permanent addition of buildings, access road and car parking. Effects on the wider Lochs and Settled Edges Landscape Character Type (LCT) are appraised as being of moderate adverse importance at construction reducing to negligible adverse. This assessment takes into account the limited area within the LCT which will be affected.
- 8.36 It is acknowledged that development will result in an adverse impact on the landscape character of the site and landscape character type; however, this is

proposed at a site allocated for development in the local plan. The proposals avoid higher ground within the allocation and development will be concentrated over a smaller area in the lower part of the site. Over time it is considered that the development will be perceived as part of the settled edges character which includes a variety of built development along the loch edge and impacts on landscape character will be contained to a relatively small area.

Impact on National Scenic Area

- 8.37 The site lies within the Ben Nevis and Glen Coe National Scenic Area (NSA). The designation notes “south of the Mamore Forest lies the fjord-like trench of Loch Leven. The soaring mountain walls rising from the deciduous wooded shores of the deep and narrow waters of the inner loch give it a character not replicated elsewhere in Scotland. Its beauty is further enhanced by the islands at the mouth of Glen Coe, and by the swift tidal race which flows through the narrows at Ballachulish below the sharp cones of Beinn a’Bheithir”.
- 8.38 There are a range of special qualities within the Ben Nevis and Glen Coe NSA. Within Loch Leven; these are as follows:
- 8.39 **A land of mountain grandeur** - this is described as a landscape of massive proportions, breathtaking grandeur and great variety. It offers the highest altitude and greatest vertical relief in Britain.
- 8.40 **A land of classic highland vistas** - With each crossing of a glen or watershed, the scenery dramatically changes, from open moor to mountain pass, from smooth hillside to towering crags, from enclosed glen to long sea loch. The journey by road northwards across the open Moor of Rannoch Moor, past the sentinel of Buachaille Etive, and down through spectacular Glen Coe to the sea at Loch Leven, is a journey of great contrasts – one of the classic Highland journeys. The mountains, moors and glens are visited by many of those in search of the outstanding scenic experience, or outdoor exhilaration and challenge. It is not remote by distance or time from major settlement, particularly Fort William, and a sense of true remoteness must be searched for, with human contact in the upper glens and moors to be expected.
- 8.41 **Human settlement dwarfed by the mountain and moorland** - Although in places humans have left a marked impression on the landscape, particularly around Loch Leven, overall, this is a landscape where human endeavour and activity is dwarfed by the mountain grandeur. Where houses and settlements are present, they appear small amongst the large-scale surrounds of mountain, moor, glen and sea loch. Scenic quality and drama prevail.
- 8.42 **The narrow and enclosed Loch Leven** - Loch Leven is a fjord-like sea loch which strikes deep into the upland of the NSA’s core. The wooded slopes of the north shore, the peak of the Pap of Glencoe and the forested southern valley sides provide a sense of enclosure, which the bridge contributes to by affording a visual barrier to the openness of the outer loch. The abandoned slate quarries above are an impressive reminder of human endeavour. The expanse of calm waters affords a far brighter light to pervade than across the moor or within the Glen, and this glistening reflection, particularly in early or evening hours adds a magical air to the

place. The hills of Ardgour with their distinctive, irregular profile often stand out across the water.

- 8.43 Due to the theoretical visibility of the development being almost entirely restricted to within Loch Leven, the LVA has focussed on the “human settlement dwarfed by the mountain and moorland” and “the narrow and enclosed Loch Leven” qualities.
- 8.44 The assessment concludes that there would be negligible to minor effects on the two relevant special landscape qualities (human settlement and narrow enclosed loch). Having reviewed the submitted LVA, site characteristics, visualisations and consultation responses this conclusion is accepted. The loch and enclosing wooded valley would remain the dominant elements of the landscape and the craft distillery buildings would be viewed alongside existing built development. Accordingly, the effects are considered to be minor and would not compromise the overall integrity of the NSA designation. In the long term, the proposed development will be further screened by landscape mitigation planting which seeks to enhance the existing shoreline character and filter and soften the architecture of the building.
- 8.45 The LVA demonstrates that the objectives and overall integrity of the NSA designation will not be compromised by the proposed development. NatureScot have raised no objection to the proposal and advise that the proposal will not have an adverse effect on the integrity of the NSA or the objectives of the designation.

Visual Effects

- 8.46 This section on visual impact considers potential changes to available views in the landscape as a result of the development and the resultant effects on visual amenity and people’s responses to the changes. In a planning context amenity is a positive element(s) that contributes to the overall character or enjoyment of an area.
- 8.47 The site is located to the southwestern shore of Loch Leven, between the settlements of North Ballachulish and Ballachulish. The site is at the edge of a small cluster of development including a mast and two residential properties. The wider landscape features the loch, mountains, hills, trunk road and Ballachulish Bridge together with the nearby settlements at North and South Ballachulish. The area is very scenic and attracts visitors for recreation including walking, cycling, kayaking and tourism.
- 8.48 Objectors raised significant concerns at the outset regarding the robustness of the initial LVA and critiqued NatureScot’s approach to advice, finding this to be vague. The revisited and increased visual impact ratings have since been acknowledged and welcomed by objectors. They maintain concerns that the impacts from Ballachulish Bridge remain inadequate, as this view features in social media posts and calendars and query why a viewpoint from the pier at Bishop’s Bay has been omitted from the visual appraisal.
- 8.49 Viewpoints were agreed by the Planning Authority following consultation with NatureScot, in advance of submission to include viewpoints representing key receptors including immediate neighbours, recreational users and users of the

highway/national cycle network. Eleven viewpoints were selected including the view looking south from the Old Ferry Slipway - Bishop's Bay Core Path L019.01 which looks towards the site. Of the eleven initial viewpoints selected, three have been screened out due to intervening landform which obstructs views. The assessment includes the view looking south towards the site from the adjacent track and the view looking east from the A828 towards the site. Photomontages have not been provided for every viewpoint but have been provided for key views from the opposite side of the loch, from the A828 and from the Ballachulish Bridge.

- 8.50 A summary of the effects on visual receptors drawn from the LVA is provided below. Residents at neighbouring houses (Cottage of Ardea and Craigrannoch House) will experience views of the proposed development on their approach to and from their homes (viewpoint 1); views from the neighbouring properties themselves are likely to be significantly screened due to intervening vegetation. Recreational users of the loch, pedestrians on the Ballachulish Bridge, cyclists using the National Cycle Network and properties across the loch will experience more visual disturbance particularly at construction stage, however these effects will decrease once the site becomes operational and landscape planting establishes.

	Adverse Effects		
Viewpoint/Location	Construction	Year 1	Year 15
1 - Private Access	Major	Major	Substantial
2 - A828	Moderate	Moderate	Moderate
4 - Core Path Old Ferry Slipway - Bishop's Bay	Winter - Substantial Summer - Moderate	Winter - Substantial Summer - Moderate	Winter - Moderate Summer - Minor
5 and 6 - Loch Leven Viewpoints	Substantial	Substantial	Winter - Moderate Summer - Minor
7 - Core Path Ballachulish Quarry - Brecklet	Moderate	Minor	Minor
8 - Ballachulish Bridge	Substantial	Substantial	Moderate
11 - Carness	Substantial	Substantial	Winter - Substantial Summer - Moderate

- 8.51 Mitigation integrated into the design includes landscape planting to provide partial screening of views from the northern shoreline and Ballachulish. The buildings have been sited in a cluster avoiding built form on higher ground, and the maturation warehouses and car parking facilities will be cut into and set against rising ground. Tree planting is proposed along the eastern and northern boundary.
- 8.52 Development will result in a permanent change of use of land which will have adverse impacts on visual receptors; however, this is within a site allocated for development in the local plan. Effects will be greatest in the immediate vicinity and landscaping and planting will help to partially screen the development from

visual receptors and soften the appearance of the development in the wider landscape. Permission is recommended subject to condition to secure implementation of the landscaping scheme in the first planting season following the completion of phase 1.

- 8.53 Development will affect a relatively small area, and the impact of development will diminish over time as the development and landscaping scheme become more established. The applicant has made the application in its entirety in order for the proposals and potential impacts to be considered as a whole. They anticipate that the second phase will commence in year 3, timed to coincide with whisky maturation; although delivery may be brought forward if funding streams become available beforehand. Objectors are concerned that the phasing of development may result in longer adverse effects of development. A planning condition is recommended to secure the phasing of development in line with the timescale indicated in order to provide certainty and for any longer-term impacts to be considered as necessary.

Lighting

- 8.54 A lighting assessment has been provided in support of the proposals. This considers the impact of lighting on the landscape and special quality of the NSA, ecology and residential receptors.
- 8.55 The assessment indicates that site lighting will only be used during operation and otherwise shall be switched off. Lighting would only therefore be required during hours of darkness (3pm - 5:30pm) during winter months. Service Yard security lighting would be controlled by PIR sensors designed to detect large moving objects only, ensuring that lighting is not triggered by wildlife. Service Yard security lighting would be operational only when the yard is in use with automatic switch-off after a short, pre-set duration of inactivity. Recommendations for the final lighting scheme include use of high quality low-intensity LED luminaires with zero upward light, all luminaires to be warm white colour temperature <2700K, adoption of an effective lighting control strategy and coordination of ecology enhancement with bat boxes installed away from proposed lighting.
- 8.56 The development is located within an area where existing lighting associated with nearby settlement, the trunk road, bridge infrastructure and existing development is already present. The proposed lighting would be limited in extent, directed downward and operational only when required, thereby reducing its visibility within the wider landscape. Given the separation distances to neighbouring dwellings, the proposed use of low-level directional lighting and the restriction of lighting to operational periods only, unacceptable impacts arising from glare, light trespass or over-illumination are not anticipated.
- 8.57 Subject to the final lighting design incorporating the mitigation measures and recommendations contained within the lighting assessment, effects on residential amenity, ecology, dark skies, landscape character and the special landscape qualities of the NSA can be minimised. Planning permission is recommended subject to condition for the submission and agreement of the final lighting scheme,

prior to the commencement of development and the use of automatically controlled lighting to be switched off outside of business hours.

Ecology and Biodiversity

- 8.58 The development will result in the loss of areas of modified grassland and scrub; however, the submitted biodiversity metric demonstrates that this loss will be more than compensated for through habitat creation and enhancement measures within the site. Proposed habitat creation within the application site boundary includes tree planting, creation of other neutral grassland and scrub as well as planting of a hedge. A DEFRA metric has been used to demonstrate that a minimum 10% biodiversity net gain will be achieved on site.
- 8.59 The broad extent and location of areas of enhancement have been identified and are sufficient to demonstrate deliverability of the biodiversity gains. Final planting specifications and management can appropriately be secured through a Habitat Management Plan. Species enhancement will also be required and will be secured via planning condition, in accordance with the Highland Council's Ecology Officer's advice. Subject to these planning conditions the proposals are considered to comply with the requirements of NPF4, Policy 3 (Biodiversity).
- 8.60 A Preliminary Ecological Assessment (PEA) was conducted in May 2024 which identified no confirmed 'ecological' constraints, but noted the potential for nesting birds, badgers and otters. The site was surveyed for otter in June 2024 with a walkover survey and camera trapping sites deployed along the shoreline. The methodology states that habitats within 200m were searched for signs of otter, however the area did not cover the entire area of potential otter disturbance and the applicant was asked to provide a further survey including the access route to be included within the assessment, given the change in proposed traffic, especially during construction.
- 8.61 No otter resting sites or otter were identified during the applicants' survey, with an occurrence of a pine marten being noted on one of the cameras. The cameras were deployed covering a short section of the shoreline for only 4 weeks. Given the number of records for otter within 2km and local knowledge, the conclusion that 'otter are absent' was not accepted. Given the strong likelihood of otter being present along the shoreline, and the findings of an independent otter survey conducted in December 2024 (commissioned by a neighbour of the site) which identified several potential resting sites and otter signs along the shorefront adjacent to the proposed development site, an expanded and updated survey was required.
- 8.62 A second survey was undertaken in October 2025 which extended the survey area to include the access route and foreshore from Craigrannoch House to a point close to the Ballachulish Bridge. No evidence of otter was observed during the site walkover or on any of the camera traps. No field signs of pine marten were recorded however a single pine marten was captured on camera moving west towards the bridge. Fox activity was recorded across all three cameras. The updated survey concludes that "the species (otter) remains absent from the site and adjacent shoreline."

- 8.63 While no evidence of otter was recorded during either survey, otter are a highly mobile species and records exist within the wider area. As a precautionary approach, further pre-commencement surveys are considered necessary to ensure that no holts, couches or resting sites become established prior to works commencing. An exclusion zone of 100m-200m is required around natal dens, and an exclusion zone of 30m required around other otter holts. A derogation licence from NatureScot would be required for works and disturbance within an exclusion area, if subsequently found.
- 8.64 Whilst pine marten activity was recorded within the wider area, no dens, resting sites or evidence of regular use were identified within the development footprint and significant impacts are not anticipated. The presence of pine marten will be reassessed as part of the recommended pre-construction protected species surveys.
- 8.65 Construction works have the potential to disturb nesting birds or damage nest sites. A planning condition is recommended in line with the Council's Ecology Officer's recommendations for vegetation clearance and construction to be timed to avoid the main breeding bird season (March - August inclusive).
- 8.66 An objector to the proposal has critiqued the Highland Council's Ecology Officer's advice on the proposals. They query how construction vehicles will gain access to the site if the access road is an exclusion zone. As discussed above, if otters are found during the pre-commencement surveys the developer will need to obtain a derogation licence from NatureScot to undertake works within an exclusion area. This may limit the construction at certain times. This is something the developer will need to account for.
- 8.67 Subject to the planning conditions outlined above, the proposal will not adversely impact protected species or biodiversity interests. The proposed habitat creation and enhancement measures are capable of delivering a measurable biodiversity net gain in excess of 10%, and the proposal is therefore considered to comply with NPF4 Policy 3 and the relevant environmental policies of the Development Plan.

Trees

- 8.68 A Tree Survey and Arboricultural Impact Assessment report including a tree schedule, constraints plan and protection plan have been provided in support of these proposals. No trees are proposed to be removed to facilitate development. There is a minor overlap between the proposed external store and the root protection area/crown spread of boundary trees. The Forestry Officer is satisfied this can be accommodated without significant harm to the trees.
- 8.69 The existing boundary trees provide an important landscape setting, visual screening and ecological benefit. Their retention will assist in integrating the development into its surroundings and reducing its visual impact. To this end, planning permission is recommended subject to conditions for the employment of an Arboricultural Consultant to oversee implementation of the tree protection measures and a Landscape Consultant to oversee implementation of the proposed Landscape Design Plan.

Amenity and Pollution Prevention

- 8.70 A Noise Impact assessment was submitted in support of the proposal. Levels in the original report assessed predicted industrial and commercial sound and included noise from HGVs, cars and motorbikes on site. The outcome of the Noise Impact Assessment predicted that noise from the proposed distillery would have a low impact.
- 8.71 In response to Environmental Health recommendations, the assessment has been revised to include noise breakout from potential forklift activity to cover the entire rear courtyard area. Following assessment of forklift activity within the rear service yard, the predicted noise levels remain within acceptable limits at nearby residential receptors. The report sets out mitigation measures to further reduce noise impacts including a restriction on hours of operation of forklifts, operational noise assessment, site wide speed limit for HGVs, production hall construction measures to improve the acoustic performance of the building, submission and agreement of a noise management plan, locating equipment as far away as possible from noise-sensitive areas (residential and external amenity areas) and for the use of low noise rating equipment models, fitting and maintenance to reduce noise. The Environmental Health Officer has reviewed the revised Noise Impact Assessment and has raised no objection to the grant of planning permission, subject to planning conditions to secure the mitigation measures proposed and set a minimum operational noise level.
- 8.72 The submitted assessment demonstrates that operational noise impacts are capable of being maintained within acceptable limits. Planning conditions are recommended to ensure that the mitigation measures identified in the assessment are implemented throughout the lifetime of the development. These matters will be secured by condition as part of an operational management plan.
- 8.73 The nearest residential property, Cottage of Ardea, is located approximately 54 metres from the production building and is separated from the main operational areas by existing landform, vegetation and intervening development. Taking account of these separation distances and the proposed mitigation measures, significant adverse effects on residential amenity are not anticipated.
- 8.74 Construction activities will generate temporary noise disturbance. These effects will be limited in duration and are separately controlled under the Control of Pollution Act 1974. An informative note is proposed to advise the developer of the requirements to manage construction noise under this separate legislation.
- 8.75 Given the proximity of the development site to residential properties there is potential for the construction works and grain handling operations to generate dust emissions which could adversely impact neighbouring residents. A Dust Mitigation Scheme including a Dust Management Plan has been submitted. This indicates that the closest dwelling is sited downwind of prevailing wind conditions and the proposed operation has been assessed to be 'not significant' in line with Institute of Air Quality Management (IAQM) guidance.
- 8.76 The Dust Management Plan includes measures to mitigate air quality and dust nuisance through communication with neighbours, a route for reporting and

addressing any issues and ongoing monitoring during operation. Practical measures proposed to reduce dust emissions include dust suppression fitted to equipment, water supply on site for dust suppression, use of enclosed chutes and conveyors, and the provision of equipment readily available on site to clean and dry spillages using wet cleaning methods. The proposal measures are considered appropriate to mitigate negative impacts on neighbouring properties. The dust management plan has been reviewed and accepted by Environmental Health and will be secured as part of an Operational Management Plan

- 8.77 An Odour Impact Assessment has been submitted in support of the proposal. The assessment includes dispersion modelling which indicates that odour effects are predicted to be not significant when assessed against Institute of IAQM guidance criteria. Notwithstanding these findings, the proximity of neighbouring residential properties means that appropriate operational controls are required to ensure that odour emissions do not adversely affect residential amenity.
- 8.78 The initial Odour Management Plan submitted in support of the application does not provide sufficient detail regarding potential odour sources, emission points, routine operational controls, monitoring arrangements and the management of abnormal events. However, the submitted odour assessment demonstrates that odour impacts are capable of being maintained within acceptable limits subject to the implementation of appropriate management measures. An odour management plan will be secured as part of the Operational Management Plan.
- 8.79 The Noise Impact Assessment, Dust Management Plan, and Odour Impact Assessment have been reviewed in consultation with Environmental Health. Having regard to the findings of these assessments and the recommended mitigation measures, it is considered that potential impacts arising from noise, dust, odour and site operations have been appropriately assessed and can be satisfactorily controlled. Subject to compliance with the recommended planning conditions, the development is not expected to result in unacceptable impacts on neighbouring properties or other sensitive receptors and is considered to comply with the amenity and environmental protection requirements of the Development Plan.
- 8.80 Anecdotal information suggests that the site may have been used for quarrying in the past, which raises the potential for land contamination if waste materials were used to infill any pits. A planning condition is recommended requiring site investigation and remediation, where necessary to ensure the proposal complies with NPF4 Policy 9 (Brownfield, Vacant and Derelict Land and Empty Buildings).

Servicing and Infrastructure

- 8.81 Phase 1 of development is focussed on production with a small visitor area/shop in the main distillery building to accommodate small private tours. The site will not be open to the general public until the Phase 2 visitor centre has been completed. Access to the site will be taken from the existing access which serves two neighbouring residential properties and mast site. The suitability of the access has been assessed and a speed survey undertaken to inform improvements to the junction with the A828 trunk road.

- 8.82 A Transport Statement has been provided in support of the proposals. This outlines the anticipated collection and delivery schedule, number and types of vehicles to access the site.

Distillery		
Delivery / Collection	Vehicle	Frequency
Draff, pot ale & casks	Articulated HGV	2 per month
Local farm collection	Tractor & trailer	4 per month
Bottles, casks & cardboard	Small truck	2 per month
General small good deliveries and collections	Van	15 per month

Delivery and collection vehicle trips are to be scheduled to take place outwith network peak hours, and no significant impact is expected on the surrounding road network.

- 8.83 The existing private access will be improved as part of Phase 1 development. The improvements proposed include the clearance of visibility splays 4.5m x 160m to the northwest and 4.5m x 90m to the southeast and the introduction of road marking and kerbing. The existing private access road is approximately 5.5 metres wide for the first 120 metres before narrowing to a track of approximately 3 metres in width for a further 300 metres leading to the site. A 20m long passing place will be provided as part of phase 1 development. Although the access is shared with neighbouring properties, the proposed improvements, together with the relatively modest traffic generation associated with the development, are considered sufficient to accommodate the anticipated increase in vehicle movements without giving rise to unacceptable conflict or road safety concerns.
- 8.84 Phase 2 works include the provision of a 1.5m wide pedestrian footpath on the southern side of the private site access road. The applicant has confirmed that they own the land necessary to deliver this. The access road and pedestrian footpath will not be presented for adoption and will remain private. The pedestrian footpath will link to a new 2.5m footway/shared surface adjacent to the A828 trunk road junction. A crossing point will be formed with dropped kerbs and tactile paving provided. A new 2.5m wide footway/cycleway will be formed within the western verge of the A828 continuing south to connect with the existing 2m wide footway cycle via a crossing just west of the A82/A828 roundabout. The shared surface and verge will be presented to Transport Scotland for adoption.
- 8.85 Sustrans reviewed the initial proposals and recommended additional design work was undertaken to maximise the safety of the roundabout crossing with input from Transport Scotland. They also recommended Transport Scotland consider reducing the speed limit on the section of road between the proposed crossing and the existing NCN78 crossing, which is currently set at 60mph. In addition, they recommended that the width of the shared footway linking the distillery to A82 roundabout be increased to 2.5m to meet Cycling by Design Guidance. The access plan has been updated following discussion of these recommendations with Transport Scotland. The shared use path has been widened in accordance with Sustrans recommendations. Transport Scotland have advised that they have no plans to reduce the speed limit in this area.

- 8.86 Objectors to the proposal have raised concerns that maximum vehicle speeds near the junction are alarmingly high at over 70mph, the survey only considers visibility of vehicles but there would be a pedestrian crossing east of the junction on a bend in the road. Pedestrians and cyclists would be at risk using the crossing. The second crossing on the A82 at the roundabout will impede free flow on the trunk road and this crossing should be controlled by traffic lights.
- 8.87 The Transport Statement, Speed Survey and proposed improvements to the junction, trunk road crossings and the shared use path within the trunk road verge have been reviewed and accepted by Transport Scotland. The Trunk Roads Authority have raised no objection to the proposal on road safety grounds.
- 8.88 Swept path analysis has been provided to demonstrate that HGVs and farm tractors with trailers will be able to manoeuvre within the site and leave in forward gear. The Transport Planning Team note that smaller emergency or refuse collection vehicles will also be able to manoeuvre safely.
- 8.89 Car parking for 10 cars, including 2 disabled spaces will be provided as part of phase 1. For Phase 2 this will be increased to 28 spaces, including 2 disabled spaces. The expansion of car parking spaces in phase 2 will include the provision of EV charging spaces. Cycle parking is proposed with 10 spaces to be located close to the main entrance. The inclusion of infrastructure to encourage visitors and staff to reach the development by walking and cycling is welcome and will reduce car parking requirements. The number of parking bays is considered acceptable however the Transport Planning Team recommend that a final parking layout plan is submitted for approval including dimensions of the car parking bays, accessible bays and turning aisles/reversing areas.
- 8.90 The proposed parking and turning arrangements do not cater for visitors by coach and the applicant has confirmed that there is no intention for coach trips to access the site. The size of the distillery and visitor centre would not readily lend itself to visitors arriving in this manner. Planning permission is recommended subject to condition for a plan to show how parking management will be controlled on site.
- 8.91 The Transport Planning Team are satisfied that the level of car and cycle parking proposed is sufficient to serve the proposed development. It is recommended that long term staff cycle parking is provided in a secure and covered area and a planning condition will be imposed to seek details and specifications for a covered cycle area.
- 8.92 The provision of a pedestrian path and shared use path linking to existing active travel routes is welcome. These measures are considered appropriate to the scale of development and will enable visitors and staff to access the site using sustainable modes of transport. Connection to the existing active travel routes will also facilitate onward travel by public transport. The Transport Planning Team have reviewed and welcome the proposed upgrades to active travel infrastructure. The Council's Access Officer has reviewed the proposals and raised no objection subject to planning condition for the submission and agreement of specifications for the footpath, shared-use path and crossings prior to the commencement of phase 2 development.

- 8.93 The Transport Planning Team advise that the nearest bus stop to the site is located to the west on the A82, roughly 130m south of the Ballachulish Bridge and 1.2km from the proposed development. Additional bus stops are also located to the west of the bridge, on the A828. The connection of the site with the existing pedestrian/cyclist track on the A82 will create a safe route for pedestrians to access the development.
- 8.94 An objector has raised concerns regarding the Transport Planning Team's response as it suggests there are bus stops at the south end of the Ballachulish Bridge, 1.2km from the site. However, there is only a northbound bus stop towards Fort William. The nearest southbound stop is in North Ballachulish at the Kinlochleven Road end. These points are noted and accepted. The objector suggests that a new bus stop would have to be constructed and stops scheduled. Another objector raised concerns that disabled persons access via public transport would be difficult given the distance from the nearest bus stop. While a new bus stop would be a desirable addition, the proposed delivery of a pedestrian/cycle link to existing services is considered appropriate and acceptable given the relatively small scale of development proposed. Car parking for disabled persons will be provided on site.
- 8.95 Another objector has raised concerns that the Transport Planning Team's response indicates that the proposed parking allocation is insufficient and this may lead to vehicles being parked on the shared access. By way of clarification, the Transport Planning Team's response notes that there is no specific category for distilleries with visitor centre included in the Council's Roads and Transport Guidelines for New Developments. The assessment undertaken was based on maximum parking requirements for a number of different classes at full operation. The Transport Planning Team considered infrastructure for pedestrians and cyclists and is satisfied that the proposed 28 car parking bays are sufficient to serve the development.
- 8.96 The proposals do not include on-site staff accommodation however the proposed active travel links will enable staff and visitors to access the site from Ballachulish and the surrounding area by sustainable modes of transport. Concerns regarding the absence of lighting on sections of the existing path and cycle network are acknowledged. However, these routes lie outwith the application site and the Council's Access Officer, Transport Planning Team, and Transport Scotland are satisfied that the proposed access arrangements are acceptable. The proposal is therefore considered to provide suitable opportunities for walking and cycling.
- 8.97 A condition is also proposed for the submission of a Construction Traffic Management Plan (CTMP) to be agreed following consultation with Transport Scotland.
- 8.98 Overall, it is considered that the proposed access arrangements, parking provision, servicing arrangements and active travel infrastructure are appropriate to the scale and nature of the development. The submitted Transport Statement, swept path analysis and supporting plans, demonstrate that the development can be appropriately accessed and serviced, whilst the proposed footway, shared-use path and crossing improvements will enhance opportunities for walking and

cycling. Transport Scotland, the Council's Transport Planning Team, and Access Officer have raised no objection subject to conditions. Accordingly, the proposal is not expected to result in an unacceptable impact on road safety, the capacity of the transport network or the amenity of existing road users and is considered to accord with the relevant transport and accessibility policies of the Development Plan and National Planning Framework 4.

- 8.99 Connection to Scottish Water mains supply is proposed and the applicant has confirmed they have control over the land needed for connection. Original plans for a dedicated borehole are not being pursued. The matter raised by a neighbour regarding an existing neighbouring septic tank within 50m of the proposed borehole is no longer relevant.
- 8.100 Private foul drainage treatment plant is proposed to serve staff and visitor welfare facilities and café. The treatment plant will be sized for staff and visitor numbers. No distillery process effluent will discharge to the treatment plant. Spent lees, washings and other co-products will be stored in sealed tanks and tankered off-site under SEPA arrangements. The applicant has confirmed that the plant will be sited at least 50m from any private water supply abstraction point and the stream from which neighbouring properties draw their water supply is set at a higher elevation, above the proposed plant location.
- 8.101 Percolation test results have not been provided in support of the proposed private foul drainage treatment. Should a land-based soakaway not prove feasible, discharge to a watercourse may be acceptable, subject to SEPA Environmental Authorisation Regulations. The technical sufficiency of a private foul drainage scheme would also be subject to review at Building Warrant stage.
- 8.102 Policy 65 (Waste Water Treatment), Highland wide Local Development Plan, requires all new development proposals to connect to the public sewer unless the applicant can demonstrate that the development is unable to connect to the public sewer for technical and economic reasons.
- 8.103 The applicant has advised that private foul drainage is proposed due to the elevation requirements to connect to the sewer and land ownership issues. Their engineers have advised that the Scottish Water sewer along the A82 sits approximately 7m above the site and a gravity connection is not possible. Pumped connection is considered disproportionate in terms of cost and maintenance for development of this scale. The applicant has also advised they have engaged with the landowners of the neighbouring site to explore joint connection to the sewer; however, development of this land is not planned for at least five years and a joint approach is not feasible at present. The applicant has advised that they will endeavour to connect to the mains sewer if an opportunity arises in the future.
- 8.104 While the circumstances in this case are acknowledged, it will be necessary for additional information to be provided to robustly demonstrate that connection to the sewer cannot be achieved at this time. A condition is proposed to require connection to the Scottish Water foul drainage sewer, in advance of receipt of more detailed information.

- 8.105 The proposals include an external store for the sorting of recycling and waste management from the café and visitor centre. Trade wastes from the distilling process include spent grain (draff) and spent liquid (pot ale and spent lees). These waste products are to be collected and stored in tanks on site, which will be transported for use in agriculture (animal feed and fertiliser), supporting circular economy objectives and reducing reliance on waste disposal.
- 8.106 The proposals indicate that energy consumption will be approximately 1770 kwh per production day. Spirit production will be powered by green electricity using a closed loop system, meaning no heat will be wasted to the atmosphere. Currently there is a three-phase electricity supply to the transmission tower that neighbours the site and a step-down transformer approximately 100m from the site. The developer will work with the District Network Operator to determine if the transformer will need to be upgraded to serve the development.
- 8.107 The Technical Distilling Statement advises that rainwater will be collected from the roofs and used as process water within the building. Residual surface water is to be conveyed to a SuDS pond to the northeast of the production hall building. Final details of the proposals for rainwater harvesting and surface water drainage will be secured via planning condition. The technical sufficiency of the scheme will be subject to review at Building Warrant stage.
- 8.108 The proposal incorporates measures to minimise waste generation and promote resource efficiency. Waste arising from the visitor centre and café will be subject to on-site segregation and recycling measures, with detailed arrangements secured through an Operational Management Plan.
- 8.109 The proposal is considered to support the principles of sustainable resource use, waste reduction and the circular economy consistent with the aims of National Planning Framework 4 relating to Zero Waste and sustainable development.

Soils

- 8.110 The National Soil Map of Scotland identifies the site as comprising mineral soils, with no areas of carbon-rich soils, deep peat or priority peatland habitats present within the development footprint. The site is allocated for development in the Development Plan, and the proposal has been designed to utilise the existing access infrastructure and concentrate development within the lower eastern part of the site. The clustering of buildings and associated infrastructure will minimise the extent of ground disturbance and permanent soil loss across the wider site. The proposal is considered to accord with the objectives of NPF4 Policy 5 (Soils).

Archaeology

- 8.111 The site is located within an area of archaeological potential. Any archaeological interests can be appropriately safeguarded through a programme of archaeological investigation and recording secured by planning condition. Subject to these measures, the proposal is not expected to result in unacceptable impacts on archaeological interests and complies with NPF4 Policy 7 (Historic Assets and Places).

Flood Risk and Coastal Erosion

- 8.112 The submitted Coastal Flood Risk Assessment demonstrates that the proposed buildings can be accommodated on land above the predicted coastal flood level, with finished floor levels incorporating an appropriate freeboard allowance. SEPA has raised no objection to the proposed development platform levels and is satisfied that the limited land raising proposed will not increase flood risk elsewhere. Safe access and egress to higher ground would also be available in the event of an extreme flood event.
- 8.113 In respect of coastal erosion, the Council's Flood Risk Management Team advises that the principal distillery buildings lie outwith the area identified as being potentially vulnerable to coastal erosion by 2100 under a high-emissions climate change scenario. Whilst some ancillary elements, including areas of hardstanding, access and the picnic area, may be subject to a degree of long-term risk, these are not critical to the operation or permanence of the development and do not undermine its overall resilience. The proposal is therefore considered capable of being supported in the long term, taking account of projected climate change, and complies with NPF4 Policies 22 (Flood Risk and Water Management) and 10 (Coastal Development).

Other material considerations

- 8.114 Direct provision of transport improvements agreed with Transport Planning and Transport Scotland are considered sufficient for site specific transport contributions. Direct provision of green infrastructure to support green networks will be secured through the delivery of biodiversity and habitat management. Public art contribution will similarly be provided on site, through the use of high-quality materials, signage and public seating area.
- 8.115 Based on the information provided the proposal appears to fall below the Control of Major Accident Hazards (COMAH) qualifying threshold for flammable liquids. The proposal also appears to fall below the threshold for Hazardous Substances Consent. An informative note is proposed to highlight the developer's responsibilities to obtain any necessary consents should the circumstances or regulations change in the future.
- 8.116 Letters of objection have raised concern regarding potential fire risk on site. This risk is managed through separate Health and Safety legislation and the implementation of good ventilation as part of the design together with adequate fire detection and suppression systems. The proposals will be subject to compliance with relevant Building Standards requirements at building warrant stage.
- 8.117 A letter of objection notes that reference is made to gin distilling. The application has been made for a distillery, and the planning assessment considers this proposed use. The assessment is focussed on whisky as this is the primary spirit which will be produced.

Non-material considerations

8.118 The following matters raised by objectors and supporters are not material to the consideration of this application.

- More appropriate sites for development

Planning Officer Comment: The Planning Authority must consider the proposals as submitted

- Design and access statement references a landing stage not shown on plans. The site is not suitable as a launching point for paddle sports

Planning Officer Comment: This is shown as a future aspiration and is not part of the current proposal or planning assessment

- Damage to neighbouring property/shared access during construction

Planning Officer Comment: Should this occur, it would be a civil matter beyond the Planning Authority's remit.

- Inappropriate to phase development which would prevent the Planning Authority from controlling breach of conditions in phase 1 before phase 2

Planning Officer Comment: There is no planning reason to preclude consideration of phased development, and this will not limit the Planning Authority's enforcement powers.

- If phase 2 not delivered there would be no café or tourism benefit

Planning Officer Comment: The Planning Authority must consider the proposed development as submitted including the benefits or otherwise of phased development.

- Landownership issues

Planning Officer Comment: This is a civil matter beyond the Planning Authority's remit.

- Private rights of access

Planning Officer Comment: This is predominantly a civil matter beyond the Planning Authority's remit.

- Impact on National Nature Reserve designation

Planning Officer Comment: Not applicable. There is no NNR designation at this site.

- Impact on Loch Leven SSSI and Nature 2000 site status

Planning Officer Comment: Not applicable. There is no SSSI or Nature 2000 designation at this site - the comments from Councillors and press quoted relate to Loch Leven in Perthshire.

- Development would facilitate public access which has been restricted in recent times

Planning Officer Comment: Existing rights of public access are controlled through separate legislation and cannot be considered as part of this assessment.

- If this development is not supported the site should be re-zoned as a better scheme will not be forthcoming

Planning Officer Comment: A review of the allocation is beyond the remit of this planning assessment. If such a change were sought this would be through the local development plan review process.

- Investment is by an applicant with long standing ties to the area and not a large faceless corporation

Planning Officer Comment: The planning assessment is limited to considering land use. The type of applicant is not relevant to this assessment.

Matters to be secured by Legal Agreement / Upfront Payment

8.119 None

9. CONCLUSION

- 9.1 This proposal is for the erection of a small-scale craft distillery, visitor centre, café and shop on land allocated for business and tourism development within the Development Plan. The proposal is considered to be compatible with the purpose of allocation BH05 and would support economic activity through the creation of employment opportunities and the provision of an additional visitor attraction operating throughout the year.
- 9.2 The siting, scale and design of the development have been informed by the characteristics of the site and its landscape setting. While the proposals will result in localised landscape and visual effects, it is not considered that the development would have a significant adverse effect on landscape character, or the special landscape qualities or overall integrity of the Ben Nevis and Glen Coe National Scenic Area. The development is considered capable of being satisfactorily integrated into its surroundings through its siting, design, landscaping and mitigation measures.
- 9.3 The impacts of the proposal on residential amenity, traffic and access, ecology, flood risk, drainage and other environmental interests have been carefully assessed. Having regard to the scale of the operation, proposed hours of operation, separation distances to neighbouring properties and the mitigation measures proposed, it is considered that noise, dust, odour, lighting and other operational impacts can be satisfactorily managed and would not result in an unacceptable impact on neighbouring land uses. The proposal will also deliver active travel improvements and biodiversity enhancement, including a minimum 10% biodiversity net gain.
- 9.4 Subject to the recommended planning conditions, including those relating to protected species, landscaping, tree protection, archaeology, drainage, servicing, construction and operational management, the proposal is considered to accord with the Development Plan and National Planning Framework 4.
- 9.5 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained

within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable
- 10.3 Community (Equality, Poverty and Rural): Not applicable
- 10.4 Climate Change/Carbon Clever: Not applicable
- 10.5 Risk: Not applicable
- 10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued	N
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Notification to Scottish Ministers	N
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Conclusion of Section 75 Obligation	N
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Revocation of previous permission	N
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Recommended to **GRANT** the application subject to the following conditions and reasons

1. The development to which Phase 1 of this planning permission relates must commence within three years of the date of this permission. If development to which Phase 1 of the planning permission relates has not commenced by this date, then this planning permission, as it relates to Phase 1 and 2 shall lapse.

No development shall commence on Phase 2 of this development until Phase 1 has been completed; unless otherwise first agreed in writing by the Planning Authority.

The development to which Phase 2 of this planning permission relates must commence within 10 years of the date of this permission. If development to which Phase 2 of this planning permission relates has not commenced by this date, then this planning permission, as it relates to Phase 2, shall lapse.

For the avoidance of doubt Phase 1 comprises the distillery production hall, maturation warehouse 1 and external store shown on the approved site plan A1.1. Phase 2 comprises the addition of a visitor centre wing and maturation warehouse 2, as shown on the approved site plan A1.2.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development shall commence until specifications for the building external finishes and colours, and external plant structures, shall have been submitted to and approved in writing by the Planning Authority. For the avoidance of doubt, the external finishes shall be a dark recessive colour with a matt finish. The details shall include the heights of any plant and machinery, colours and finishes and means of screening and/or enclosure proposed. Thereafter each phase of development shall progress in accordance with the agreed details; unless otherwise first agreed in writing by the Planning Authority.

Reason: To ensure suitable integration of development into the landscape setting of the site and to safeguard the special qualities of the National Scenic Area designation.

3. No development shall commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Planning Authority. The development shall thereafter be carried out in accordance with the approved Plan unless otherwise agreed in writing by the Planning Authority.

The CEMP shall include, but not be limited to, the following:

- a) details of site establishment, construction compounds, storage areas and welfare facilities;
- b) measures to control and mitigate noise, vibration, dust and emissions arising from construction activities;
- c) details of construction traffic management, including proposed access routes, vehicle parking, loading/unloading arrangements and wheel-washing facilities where required;
- d) measures for the protection of watercourses, groundwater, private water supplies and the wider water environment;
- e) pollution prevention measures, including the storage of fuels, oils and chemicals and procedures for responding to spillages;
- f) details of waste management, including minimisation, recycling and disposal arrangements;
- g) measures for the protection of habitats, protected species and existing vegetation during construction; including the employment of a qualified Arboricultural consultant to ensure that the approved Tree Protection Plan and Arboricultural Method Statements are implemented to the agreed standard, with stages requiring supervision to be set out in a detailed Supervision Statement and certificates of compliance for each stage to be submitted for approval;

- h) details of any site drainage and surface water management measures required during the construction phase;
- i) procedures for incident reporting and emergency response;
- j) details of community liaison arrangements, including a named site contact for construction-related enquiries and complaints; and
- k) a programme for monitoring compliance with the approved CEMP.

Reason: To ensure that construction activities are undertaken in a manner which safeguards residential amenity, road safety, ecological interests and the water environment, and minimises environmental impacts during the construction phase of the development.

4. No works in connection with the development hereby approved shall commence unless an archaeological Written Scheme of Investigation (WSI) has been submitted to and approved in writing by the Planning Authority and a programme of archaeological works has been carried out in accordance with the approved WSI. The WSI shall include details of how the recording and recovery of archaeological resources found within the application site shall be undertaken, and how any updates, if required, to the written scheme of investigation will be provided throughout the implementation of the programme of archaeological works. Should the archaeological works reveal the need for post excavation analysis, the development hereby approved shall not be occupied or brought into use unless a Post-Excavation Research Design (PERD) for the analysis, publication and dissemination of results and archive deposition has been submitted to and approved in writing by the Planning Authority. The PERD shall be carried out in complete accordance with the approved details.

Reason: In order to protect the archaeological and historic interest of the site.

5. No development shall commence until a scheme to deal with potential contamination on site has been submitted to and agreed in writing by the Planning Authority. The scheme shall include:
 - a) the nature, extent and type of contamination on site and identification of pollutant linkages and assessment of risk (i.e. a land contamination investigation and risk assessment), the scope and method of which shall be submitted to and agreed in writing by with the Planning Authority, and undertaken in accordance with PAN 33 (2000) and British Standard BS 10175:2011+A2:2017 Investigation of Potentially Contaminated Sites - Code of Practice;
 - b) the measures required to treat/remove contamination (remedial strategy) including a method statement, programme of works, and proposed verification plan to ensure that the site is fit for the uses proposed;

- c) measures to deal with contamination during construction works;
- d) in the event that remedial action be required, a validation report that will validate and verify the completion of the agreed decontamination measures;
- e) in the event that monitoring is required, monitoring statements shall be submitted at agreed intervals for such time period as is considered appropriate by the Planning Authority.

No development shall commence until written confirmation has been received that the scheme has been implemented, completed and, if required, monitoring measurements are in place, all to the satisfaction of the Planning Authority.

Reason: In order to ensure that the site is suitable for redevelopment, given the nature of previous uses/processes on the site.

6. No development shall commence until a Habitat Management Plan has been submitted to, and approved in writing by, the Planning Authority. The plan shall include the following:
 - Habitat management of the site including all mitigation, compensation and enhancement measures, during the period of construction and operation, and shall detail the long-term management regimes of the compensation and enhancement measures required of the site.
 - Provision for regular monitoring and review to be undertaken against the Habitat Management Plan (HMP) objectives and measures for securing amendments or additions to the HMP in the event that the HMP objectives are not being met.
 - The submission to the Planning Authority shall include GIS shape files of the compensation and enhancement boundaries.

Thereafter the approved Habitat Management Plan shall be implemented in full in accordance with the agreed details; unless otherwise first agreed in writing by the Planning Authority.

Reason: In the interests of protecting ecological features and to ensure that the development secures positive effects for biodiversity.

7. A pre-construction protected species survey is required to be undertaken not more than 3 months prior to works commencing and a report of the survey has been submitted to, and approved in writing by, the Planning Authority. The survey shall cover both the application site and an appropriate buffer (up to 200m for otter) from the boundary of application site and the report of survey shall include mitigation measures where any impact, or potential impact, on protected species or their habitat has been identified. Development and work shall progress in accordance with any mitigation measures contained within the approved report of survey and the

timescales contain therein. Any Derogation licences must be obtained from NatureScot.

Reason: To safeguard protected species and their habitats.

8. No development or vegetation clearance shall be undertaken during the main breeding bird season (March-August) inclusive, unless otherwise first agreed in writing by the Planning Authority

Reason: To safeguard protected species and their habitats.

9. No development shall commence until a detailed plan including the specification for pedestrian and shared-use paths and crossings have been submitted to and agreed in writing by the Planning Authority. For the avoidance of doubt these details shall include the proposed materials and surfacing and plans for drainage including cross falls and culverts.

Reason: To ensure suitable and timely provision of links to active travel and public transport.

10. No other development shall commence until the shared access has been upgraded in accordance with the details shown on the approved drawing 158954/SK1001 Rev B.

Prior to the first occupation of Phase 2 of the development the footpath, trunk road crossing points and shared use path shall be completed in full, in accordance with the details shown on the approved access layout drawing 158954/SK1001 Rev B and thereafter maintained in perpetuity.

Reason: To ensure the safety and free flow of vehicles on the trunk road carriageway and to ensure facilities are provided for the pedestrians that are generated by the development and that they may access the existing footpath system without interfering with the safety and free flow of traffic on the trunk road.

11. No development shall commence until a Construction Traffic Management Plan (CTMP) has been submitted to, and approved in writing by, the Planning Authority, following consultation with Transport Scotland. For the avoidance of doubt, the CTMP shall identify measures to control the use of any direct access onto the trunk road. Thereafter, all construction traffic associated with the development shall conform to the requirements of the agreed Plan. (For clarification, the CTMP shall be incorporated as part of the CEMP Condition 3 above).

Reason: To mitigate the adverse impact of construction traffic on the safe and efficient operation of the trunk road network.

12. No development shall commence until a fully dimensioned car parking layout plan has been submitted to and approved in writing by the Planning Authority.

Reason: In the interests of road safety and to ensure the development complies with current standards.

13. No development shall commence until full details of proposed cycle parking have been submitted to, and approved in writing by, the Planning Authority. Thereafter the cycle parking shall be fully installed in accordance with the agreed details prior to the first occupation of the development. For the avoidance of doubt the details shall include provision for secure and covered cycle parking for staff.

Reason: In order to facilitate the use of a variety of modes of transport.

14. No development shall commence until full details of the foul drainage arrangements for the site have been submitted to, and approved in writing by, the Planning Authority. Such details shall show a connection to the public sewer unless the developer can, following consultation with Scottish Water, demonstrate that the development is unable to connect to a public sewer for technical or economic reasons, in which case, private on-site foul drainage arrangements can be submitted for approval. Thereafter, foul drainage shall be provided in accordance with the approved details, prior to the first occupation of phase 1 of the development.

Reason: To ensure connection to the public sewer where possible, in the interests of public health and environmental protection.

15. Prior to initial operation of each phase, an Operational Management Plan (OMP) for the distillery shall be submitted to and approved in writing by the Planning Authority. Thereafter, the approved Operational Management Plan shall be implemented in full and retained for the lifetime of the development unless otherwise agreed in writing by the Planning Authority.

The Operational Management Plan shall include, but shall not be limited to:

- a) hours of operation of the distillery and visitor facilities;
- b) arrangements for deliveries, collections and servicing, including the frequency and routing of HGV movements;
- c) visitor management arrangements, including parking provision and management where applicable;
- d) measures to minimise odour, dust, light and disturbance to neighbouring properties;
- e) noise management plan that ensures that the rating level of operations carried out on site, does not exceed the existing background sound level (LA90) during the hours of operation. This shall apply to the nearest residential homes, as determined using the methodology contained within BS4142 (2014+A1:2019) Methods for rating and assessing industrial and commercial sound;
- f) waste management and recycling procedures;

- g) details of any site drainage and surface water management measures;
- h) arrangements for the storage and handling of raw materials, by-products and hazardous substances;
- i) measures for the prevention of pollution and protection of the water environment;
- j) procedures for responding to complaints and maintaining community liaison; and
- k) arrangements for periodic review and updating of the Plan.

Reason: To ensure that the distillery operates in a manner which protects residential amenity, road safety, environmental quality and the wider public interest.

16. The landscape planting shown on the Detailed Landscape Design drawing Design BG24.209-BRGR-ZZ-ZZ-DR-L-00001 P02 shall be implemented in full during the first planting season following commencement of development or as otherwise agreed in writing by the Planning Authority.

Reason: In the interests of amenity.

17. A suitably qualified landscape consultant shall be employed by the applicant to ensure that the approved Detailed Landscape Design drawings are implemented to the agreed standard. Stages requiring supervision shall be agreed with the Planning Authority and certificates of compliance for each stage shall be submitted for approval.

Reason: In the interests of amenity.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.
2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Archaeological Work

Planning condition 4 above requires that the development area is the subject of an evaluation in the first instance in order to establish the archaeological content and potential. Dependent on the results of this work, further study may be required in advance of, and during, construction works to record any identified remains. The evaluation will be backed up by desk-based research to produce a report setting out the results and any required mitigation strategy. You will need to engage the services of a professional archaeological contractor, to undertake this work.

Accessibility

The Disability Access panel recommend consideration is given to the following matters:

- designated blue badge parking bays to be created as close to the shop/café entrance as possible
- all paths to the shop/café entrance created with a smooth hard bound finish
- shop/café entrance to have a level threshold
- one of the covers to have non-fixed seating. The table height to be set to enable wheelchair use.

Public Access

The site is served via an existing private access road, formerly the old A82 main road. This section of old road is used by the public for recreation and for accessing the shore. The traditionally used access routes to the shore should not be blocked by development activities, and should remain open before, during and after development, unless work is being undertaken on the access road, in which case any closure of the route should be for the minimum time possible.

SEPA COMAH Regulation

The proposal appears to fall below the COMAH qualifying threshold for flammable liquids. Please be advised however, that it is the responsibility of the site operator to check the site against the qualifying thresholds for COMAH and that COMAH notification is not required.

SEPA has recommend you review the information online at:
<https://www.sepa.org.uk/regulations/chemicals/control-of-major-accident->

[hazards-comah/](#) and, if additional advice is required, contact SEPA's waste and industry team at wasteandindustry@sepa.org.uk.

Hazardous Substances Consent

The proposal appears to fall below the threshold for Hazardous Substances Consent (HSC). Please be advised however, that it is the responsibility of the developer to check whether ethanol-water mixtures used in distilling and stored spirit exceed the defined controlled quantity thresholds for each specific hazard category and that HSC consent is not required.

Corporate Address Gazetteer

Please notify CAGRequests@highland.gov.uk when the proposed distillery building, warehouses and store are erected for the necessary changes to be made to the Council's Corporate Address Gazetteer.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. The granting of planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Scottish Water - Asset Impact Assessment

Scottish Water records indicate that there is live infrastructure in the proximity of the development area that may impact on existing Scottish Water assets.

You must identify any potential conflicts with Scottish Water assets and contact their Asset Impact Team via their Customer Portal for an appraisal of the proposals.

Please note that any conflict with assets identified will be subject to restrictions on proximity of construction.

Private Foul Drainage

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Trunk Roads Authority Consent

The granting of consent does not carry with it the right to carry out works within the trunk road boundary and permission must be granted by Transport Scotland Roads Directorate.

Trunk road modification works shall, in all respects, comply with the Design Manual for Roads and Bridges and the Specification for Highway Works published by HMSO. The developer shall issue a certificate to that effect, signed by the design organisation.

Trunk Road modifications shall, in all respects, be designed and constructed to arrangements that comply with the Disability Discrimination Act: Good Practice Guide for Roads published by Transport Scotland. The developer shall provide written confirmation of this, signed by the design organisation.

The road works which are required due to the above Conditions will require a Road Safety Audit as specified by the Design Manual for Roads and Bridges.

Any trunk road works will necessitate a Minute of Agreement with the Trunk Roads Authority prior to commencement.

Transport Scotland Contact: George Smith

Transport Scotland Contact Details:

Roads Delivery and Operations Directorate - Development

Transport Scotland, 5th Floor, 177 Bothwell Street, Glasgow, G2 7ER

Telephone Number: 0141 272 7100

Email: development_management@transport.gov.scot

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974

Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

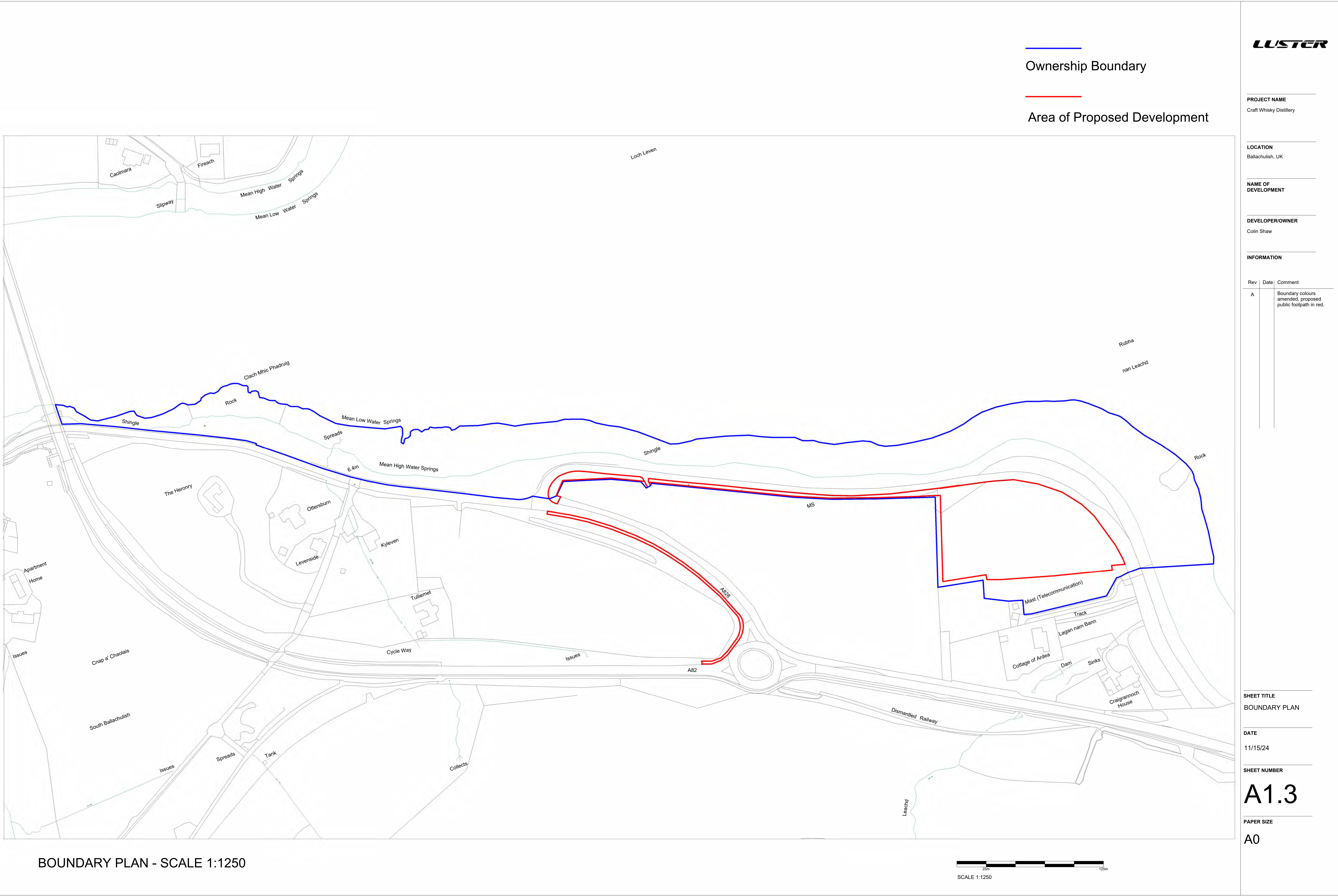
Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Signature:	Bob Robertson
Designation:	(Acting) Planning Manager - South
Author:	Christine Millard
Background Papers:	Documents referred to in report and in case file.
Relevant Plans:	Plan 1 - A1.3 Location Plan
	Plan 2 - A1.1 Rev A Site Layout Plan - Phase 1
	Plan 3 - A1.2 Rev A Site Layout Plan - Phase 2
	Plan 4 - A2.0 Ground Floor Plan - Phase 1
	Plan 5 - A2.1 Ground Floor Plan - Phase 2
	Plan 6 - A2.2 First Floor Plan - Phase 1
	Plan 7 - A2.3 First Floor Plan - Phase 2
	Plan 8 - A2.4 Roof Plan - Phase 1
	Plan 9 - A2.5 Roof Plan - Phase 2
	Plan 10 - A3.0 Elevation Plan - Phase 1
	Plan 11 - A3.1 Rev A Elevation Plan - Phase 2
	Plan 12 - A4.0 Section Plan - Phase 1
	Plan 13 - A4.1 Section Plan - Phase 2
	Plan 14 - A3.4 General Plan - Warehouse 1
	Plan 15 - A3.5 General Plan - Warehouse 2
	Plan 16 - A3.6 General Plan - External Store
	Plan 17 - A1.5 Water Connection
	Plan 18 - SK1001 Rev A Access Layout Plan

Plan 19 - SK004 Drainage Plan

Plan 20 - BG24.209-BRGR-ZZ-ZZ-DR-L-00001 P02 Landscaping Plan





① Site - Phase 1
1 : 500

PROJECT NAME

Craft Whisky Distillery

LOCATION

Ballachulish, UK

NAME OF DEVELOPMENT

Craft Whisky Distillery

DEVELOPER/OWNER

Colin Shaw

ENGINEER

INFORMATION

Rev A: Red Line Boundary
Amended to take into account
water route

SHEET TITLE

ARCHITECTURAL SITE
PLAN - Phase 1

DATE

11/15/24

SHEET NUMBER

A1.1



① Site - Phase 2
1 : 500



PROJECT NAME
Craft Whisky Distillery

LOCATION
Ballachulish, UK

NAME OF DEVELOPMENT
Craft Whisky Distillery

DEVELOPER/OWNER
Colin Shaw

ENGINEER

INFORMATION

Rev A: Red Line Boundary
Amended to take into account
water route

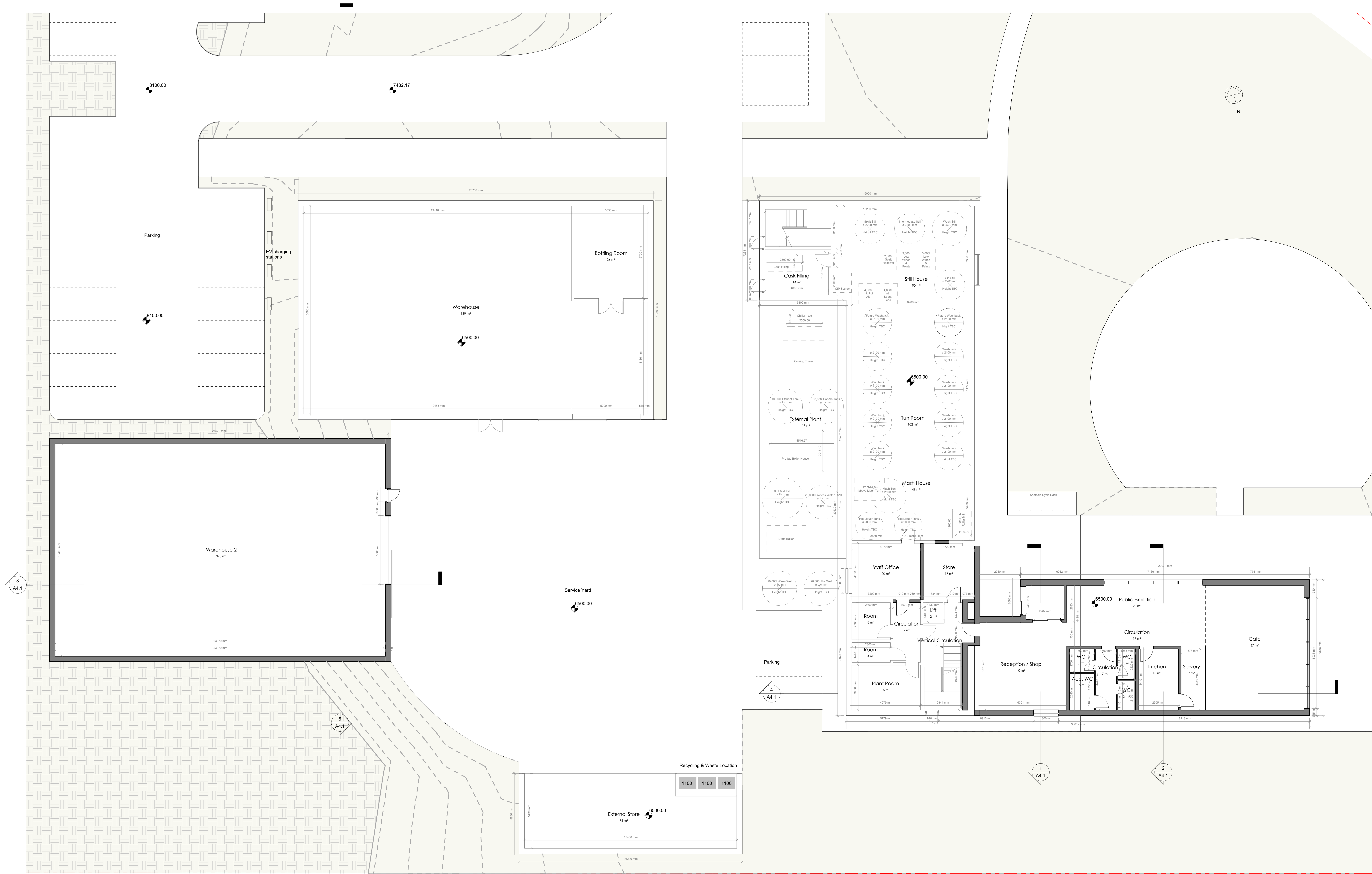
SHEET TITLE
ARCHITECTURAL SITE
PLAN - Phase 2

DATE
11/15/24

SHEET NUMBER

A1.2

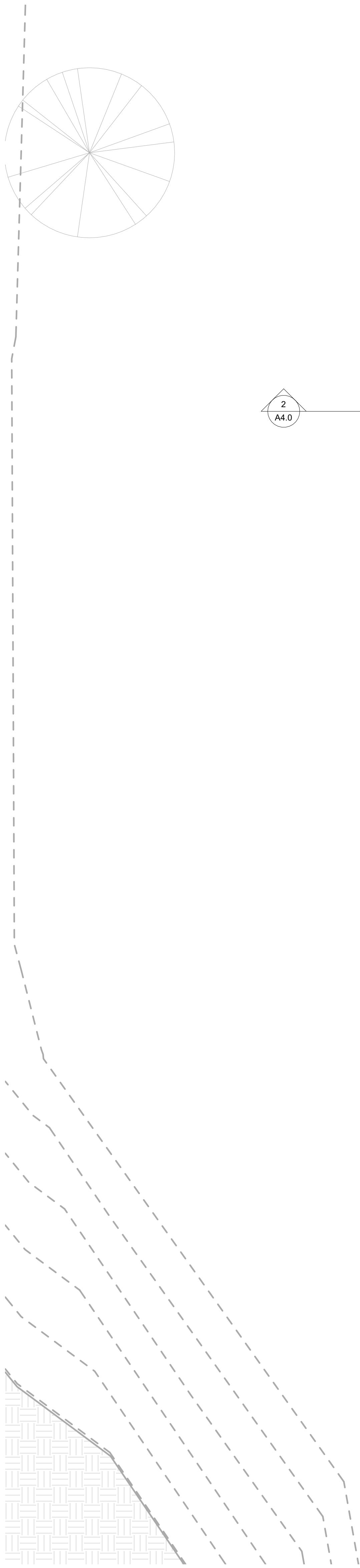




NOTES

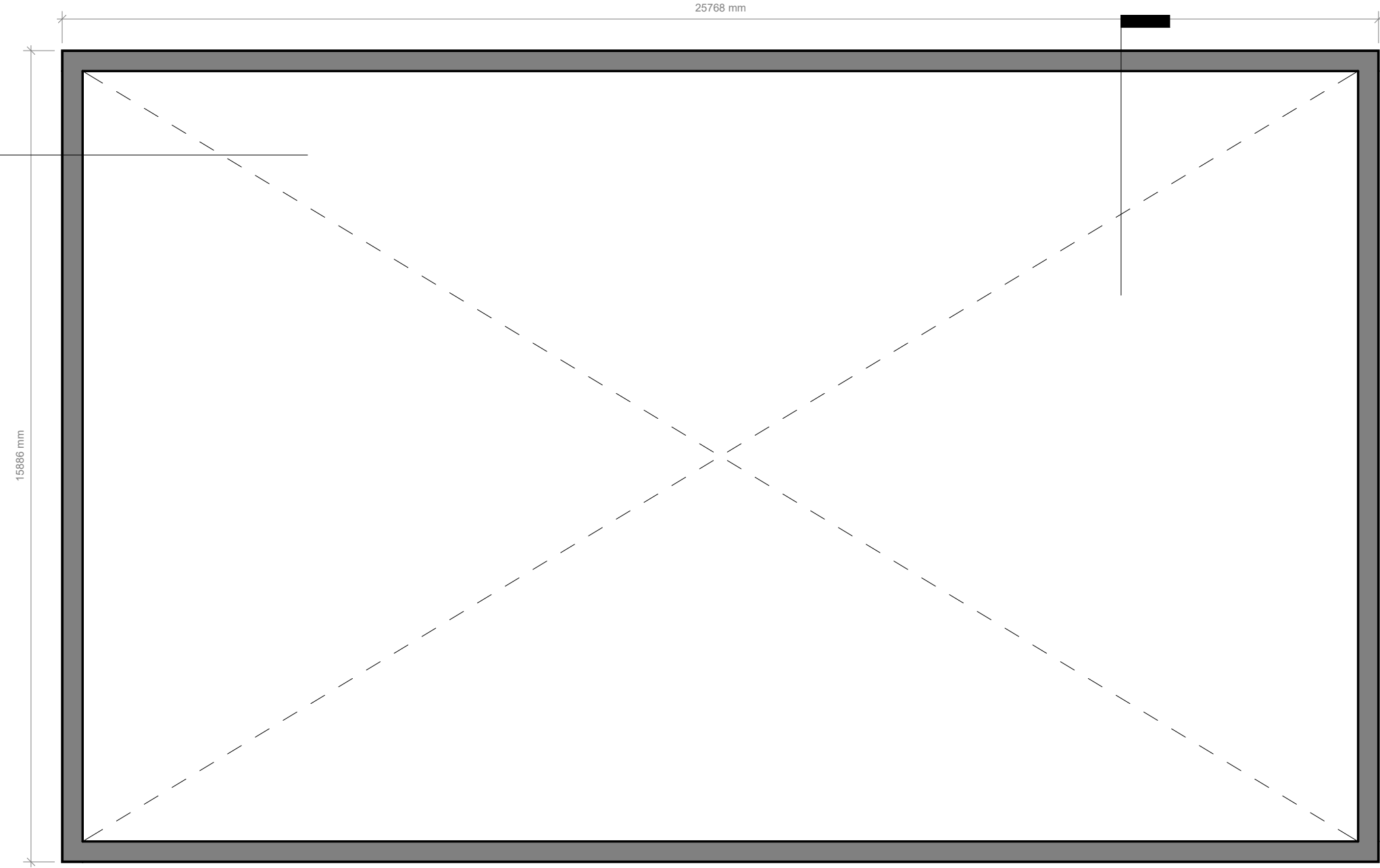
PHASE 1 (MADE)

PHASE 2 (NEW)

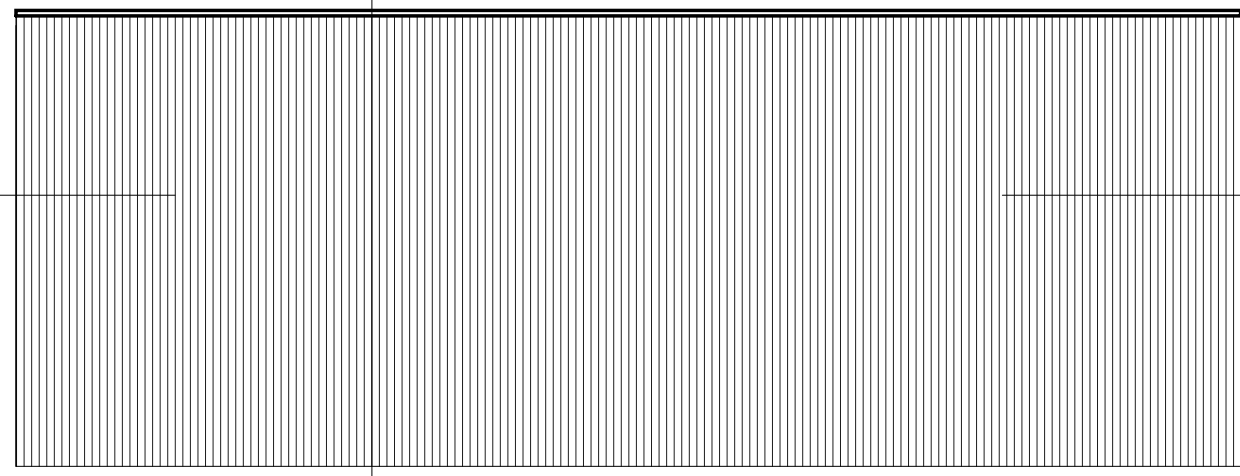


01 First Floor Level - Phase 1
1: 100

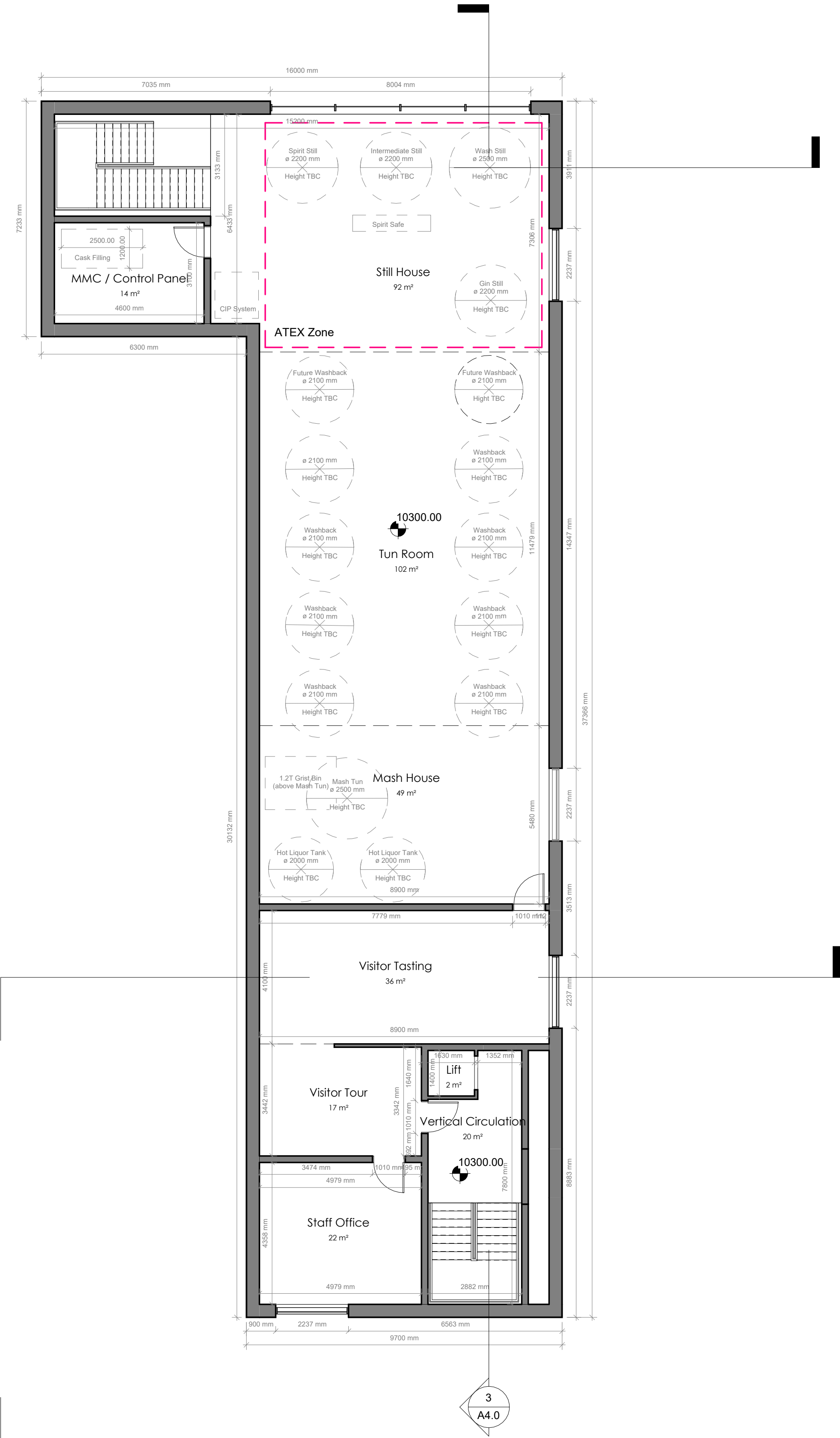
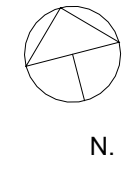
2
A4.0



4
A4.0



1
A4.0



PROJECT NAME
Craft Whisky Distillery

LOCATION
Ballachulish, UK

NAME OF
DEVELOPMENT

DEVELOPER/OWNER
Colin Shaw

INFORMATION

SHEET TITLE
FLOOR PLAN - First
Floor Level - Phase 1

DATE
11/15/24

SHEET NUMBER

A2.2

PAPER SIZE

A0

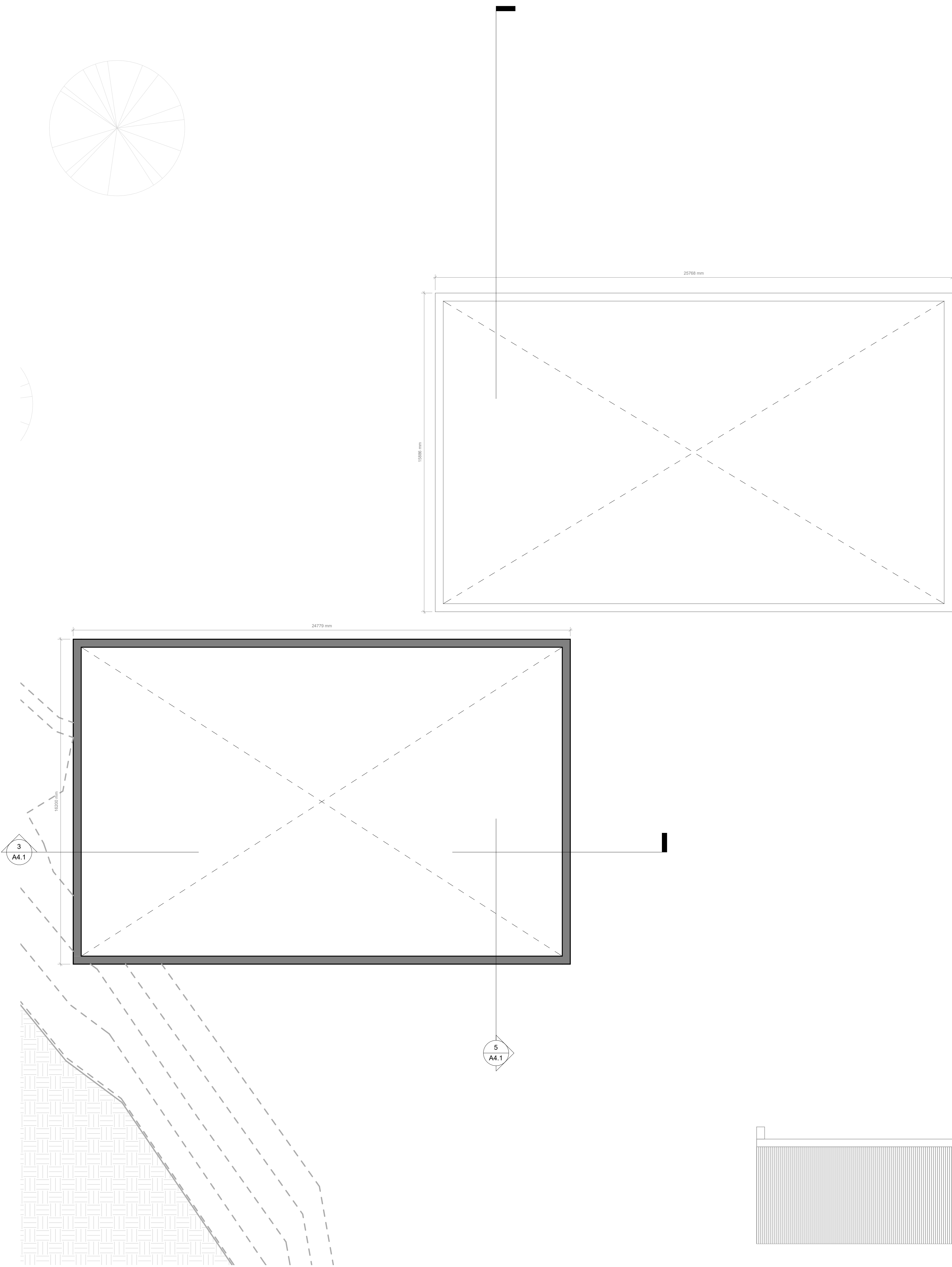
PROJECT NAME
Craft Whisky Distillery

LOCATION
Ballachulish, UK

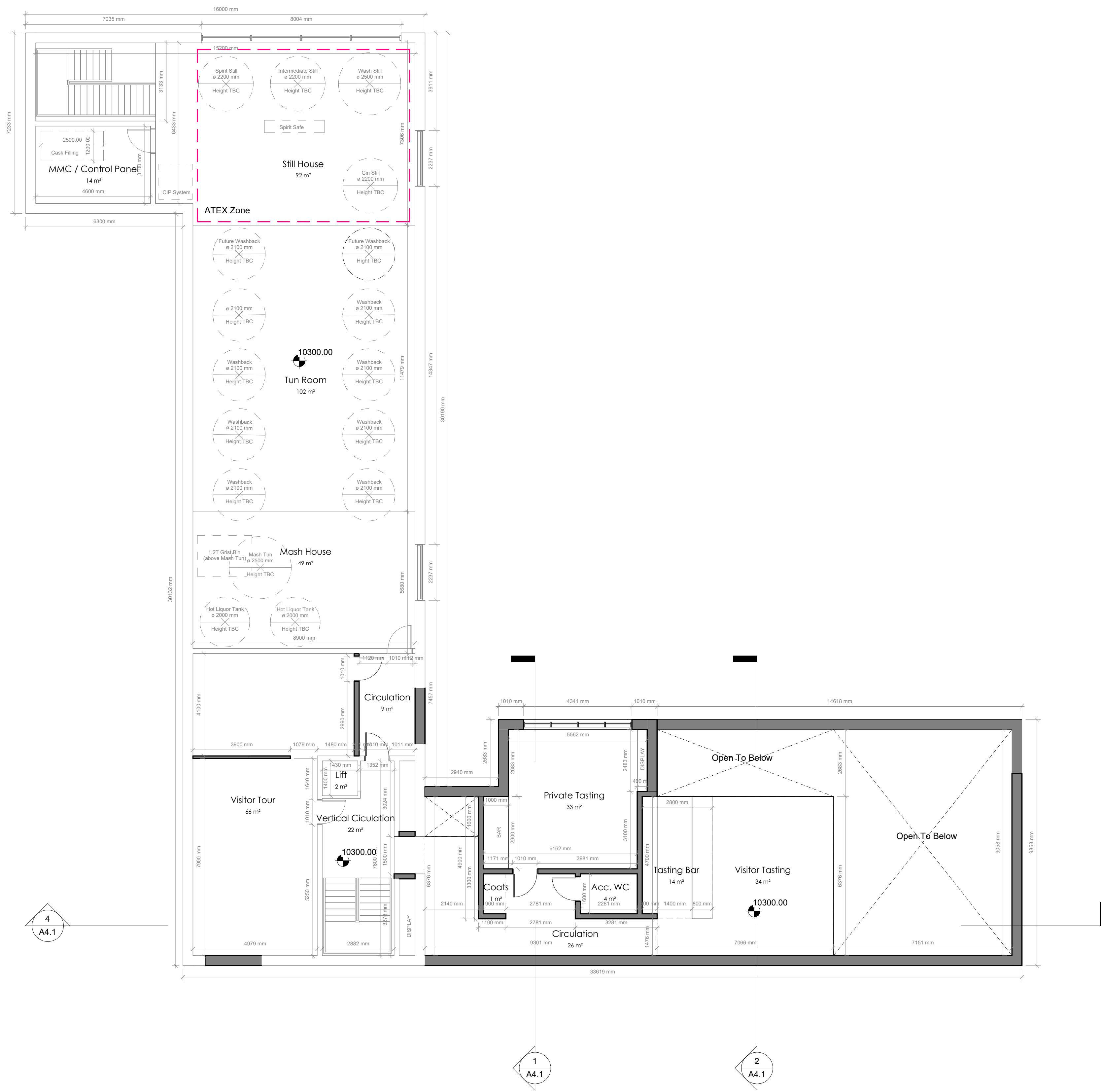
NAME OF
DEVELOPMENT

DEVELOPER/OWNER
Colin Shaw

INFORMATION



01 First Floor Level - Phase 2
1 : 100



NOTES

PHASE 1 (MADE) ☐

PHASE 2 (NEW) ☐

SHEET TITLE
FLOOR PLAN - First
Floor Level - Phase 2

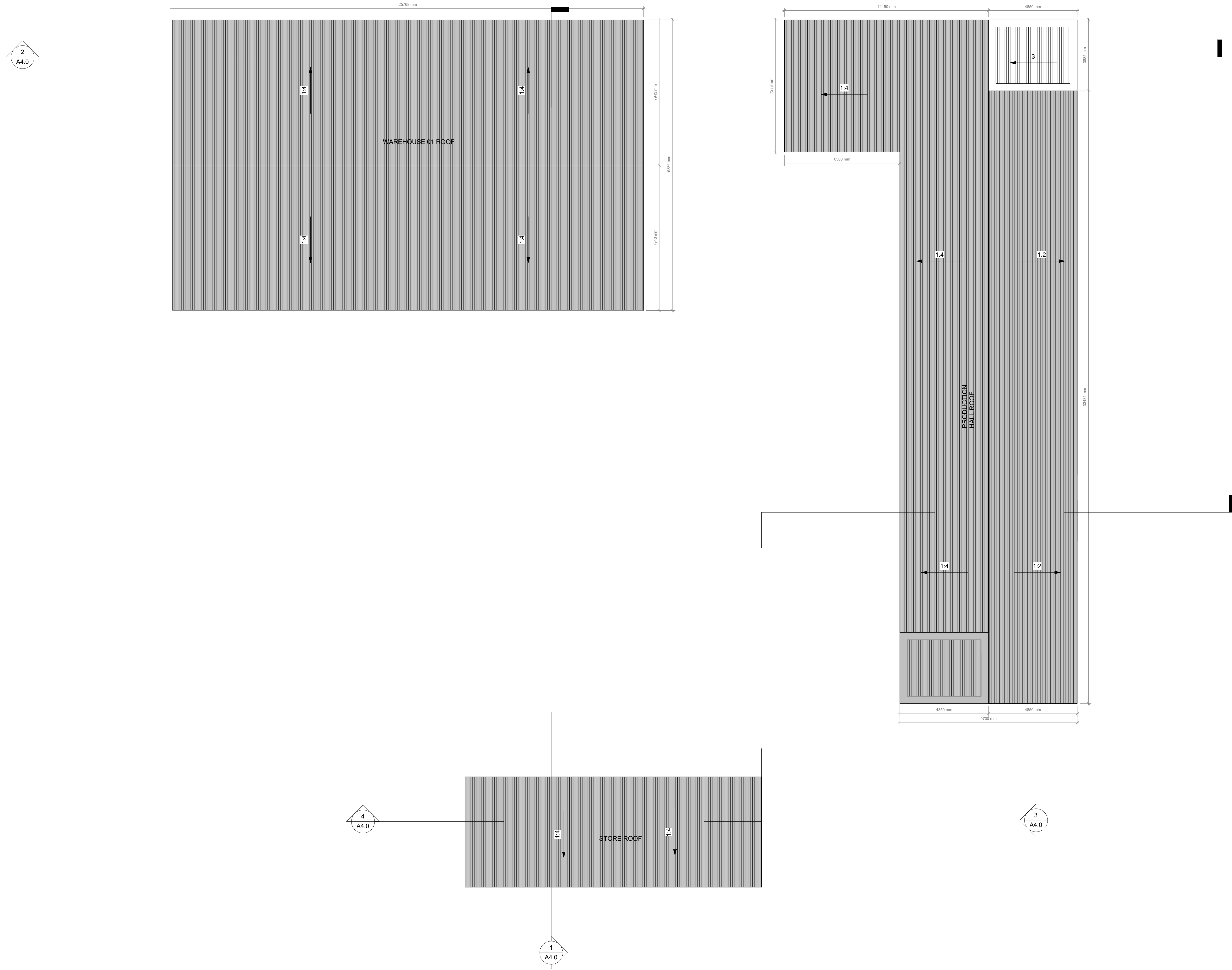
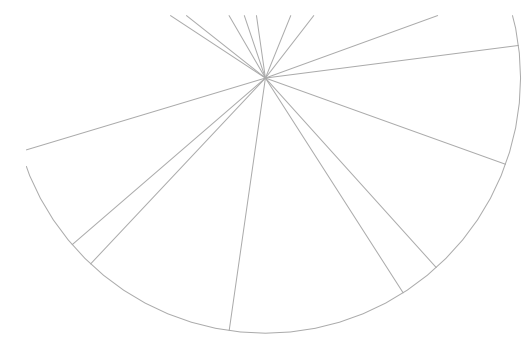
DATE
11/15/24

SHEET NUMBER

A2.3

PAPER SIZE

A0



① 02 Roof Floor Level - Phase 1
1 : 100



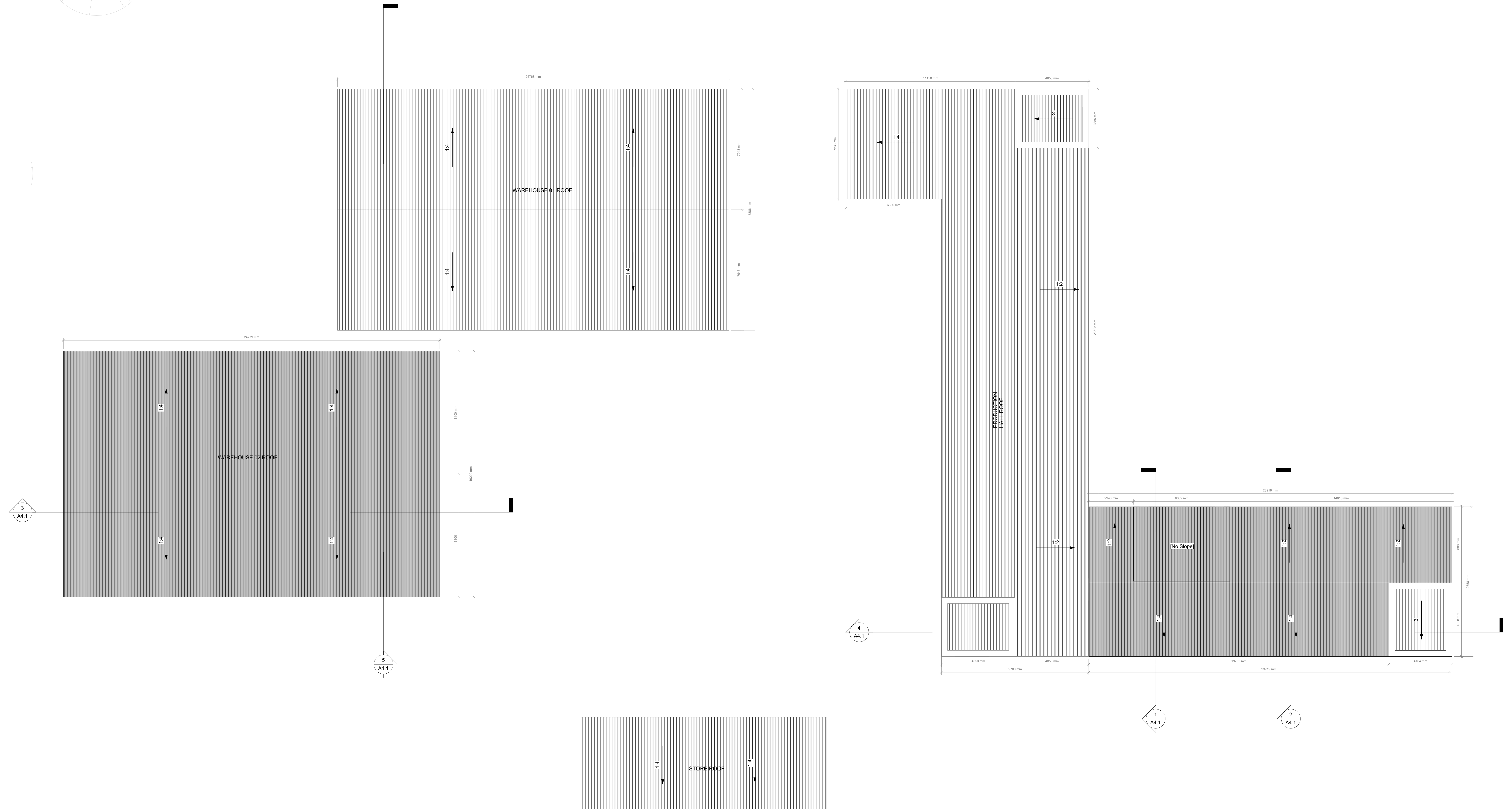
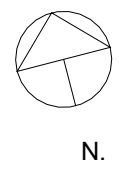


Whisky Distillery

achulish, UK

DEVELOPMENT

Shaw



① 02 Roof Floor Level - Phase 2
1 : 100

NOTES



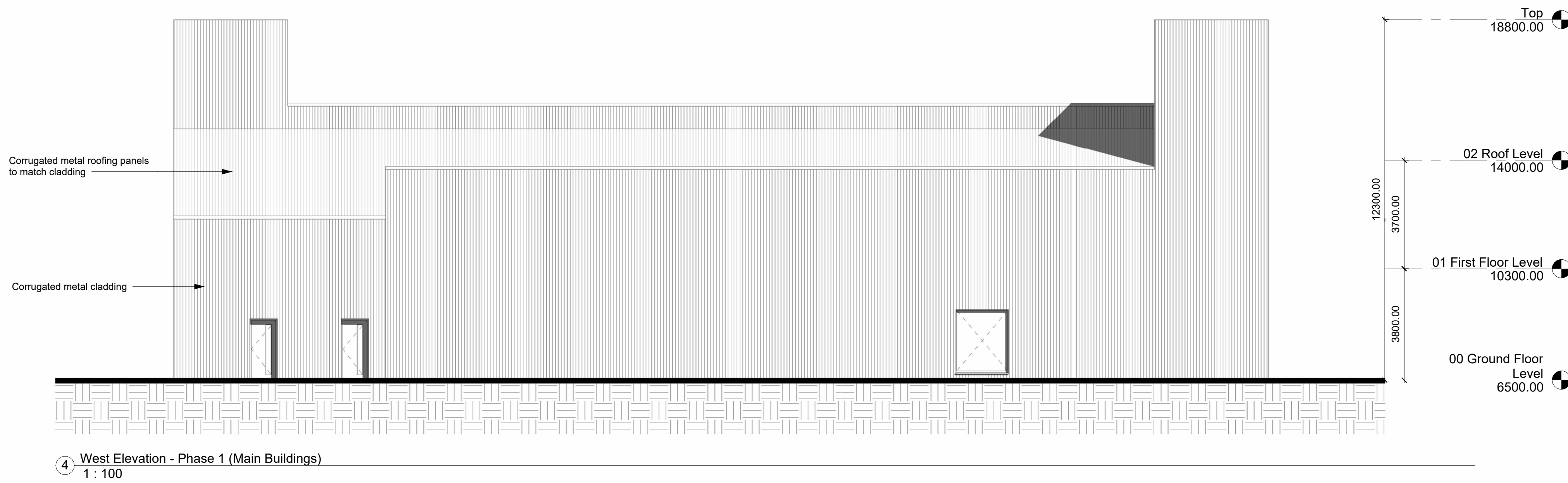
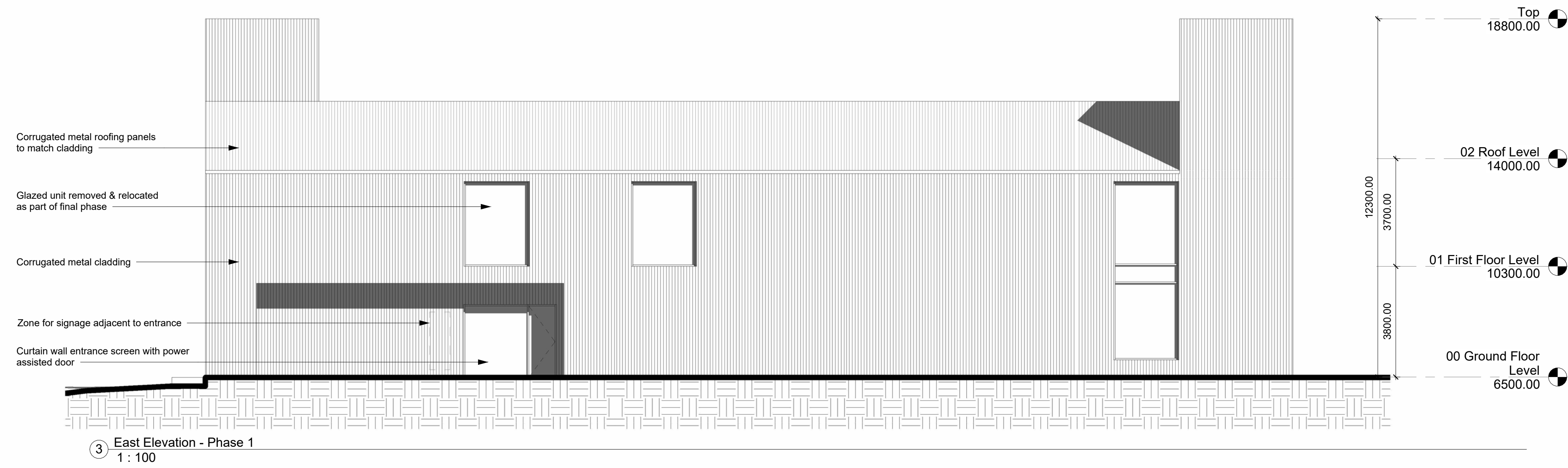
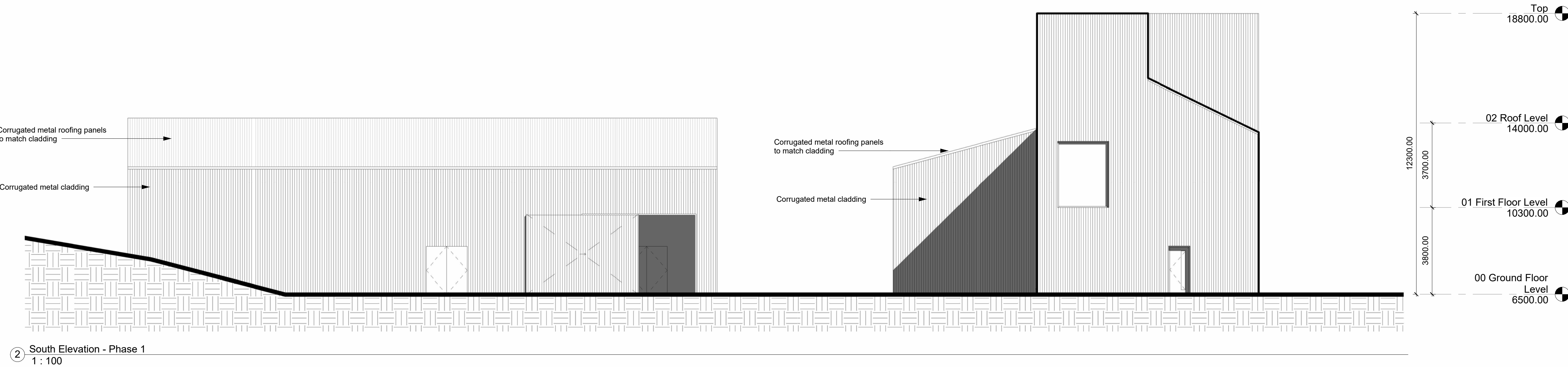
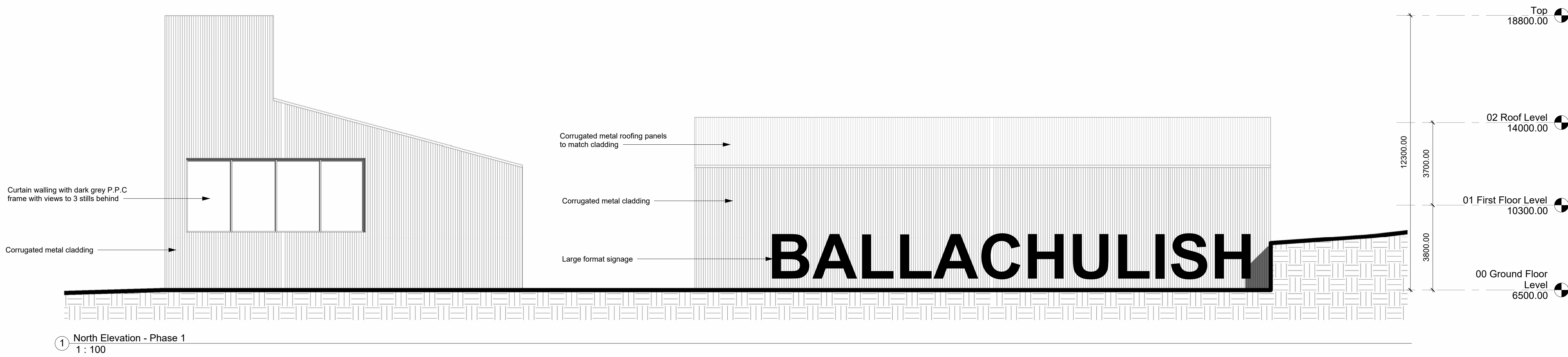
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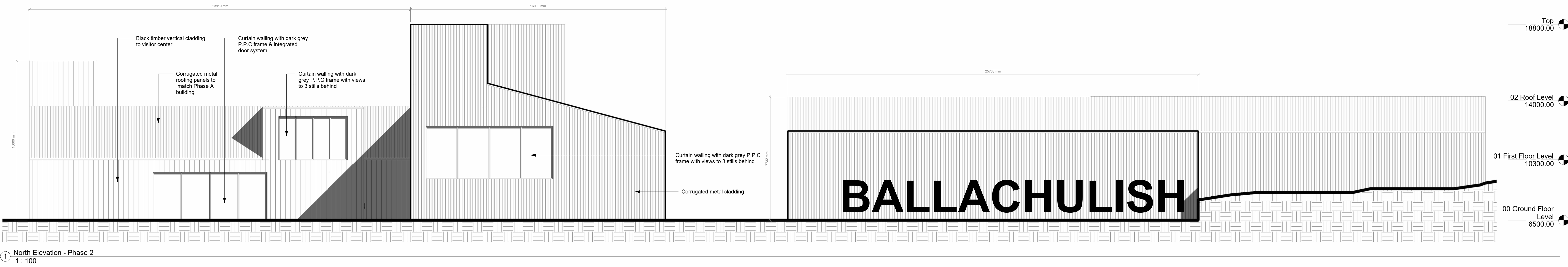
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15/24

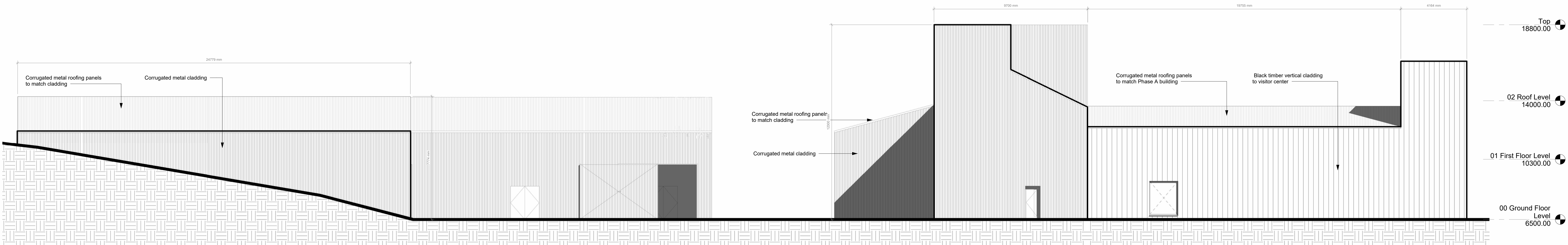
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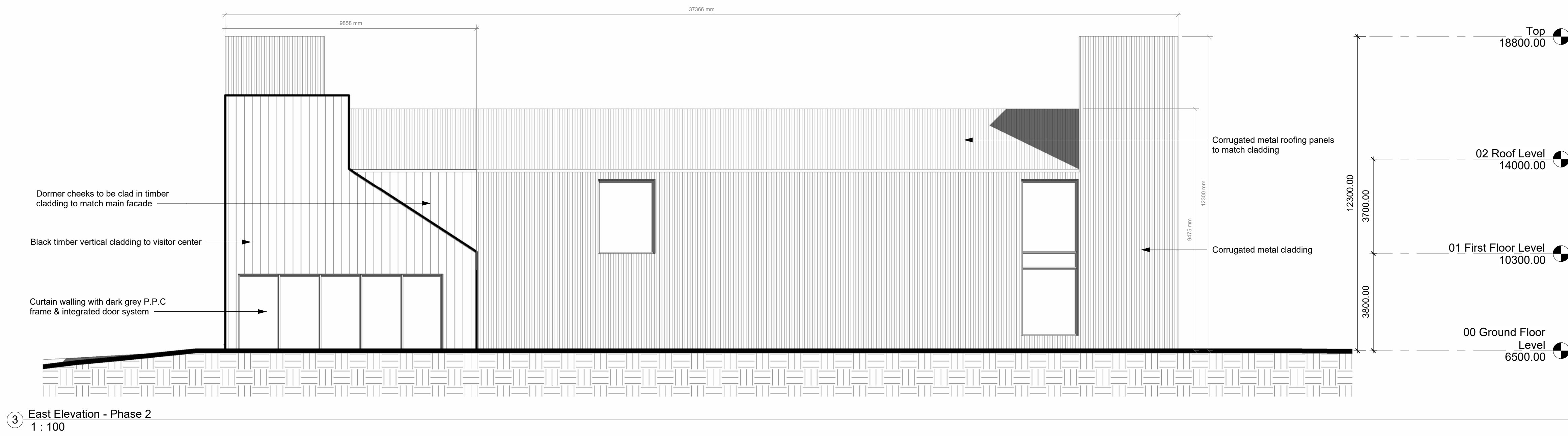




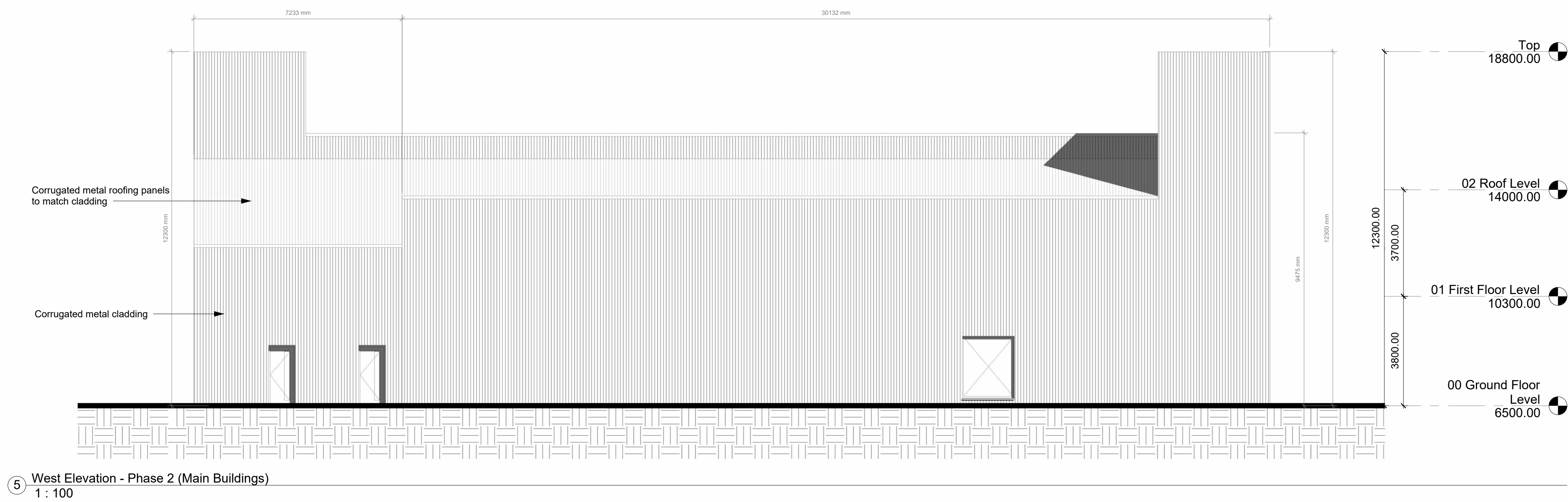
1 North Elevation - Phase 2
1 : 100



2 South Elevation - Phase 2
1 : 100



3 East Elevation - Phase 2
1 : 100



5 West Elevation - Phase 2 (Main Buildings)
1 : 100

NOTES

PHASE 1 (MADE)

PHASE 2 (NEW)



LUSTER

PROJECT NAME
Craft Whisky Distillery

LOCATION
Ballachulish, UK

NAME OF
DEVELOPMENT

DEVELOPER/OWNER
Colin Shaw

INFORMATION

Rev	Date	Comment
A		West Elevation Amended to show the main building only

SHEET TITLE
EXTERIOR
ELEVATIONS - Phase
2_Rev A

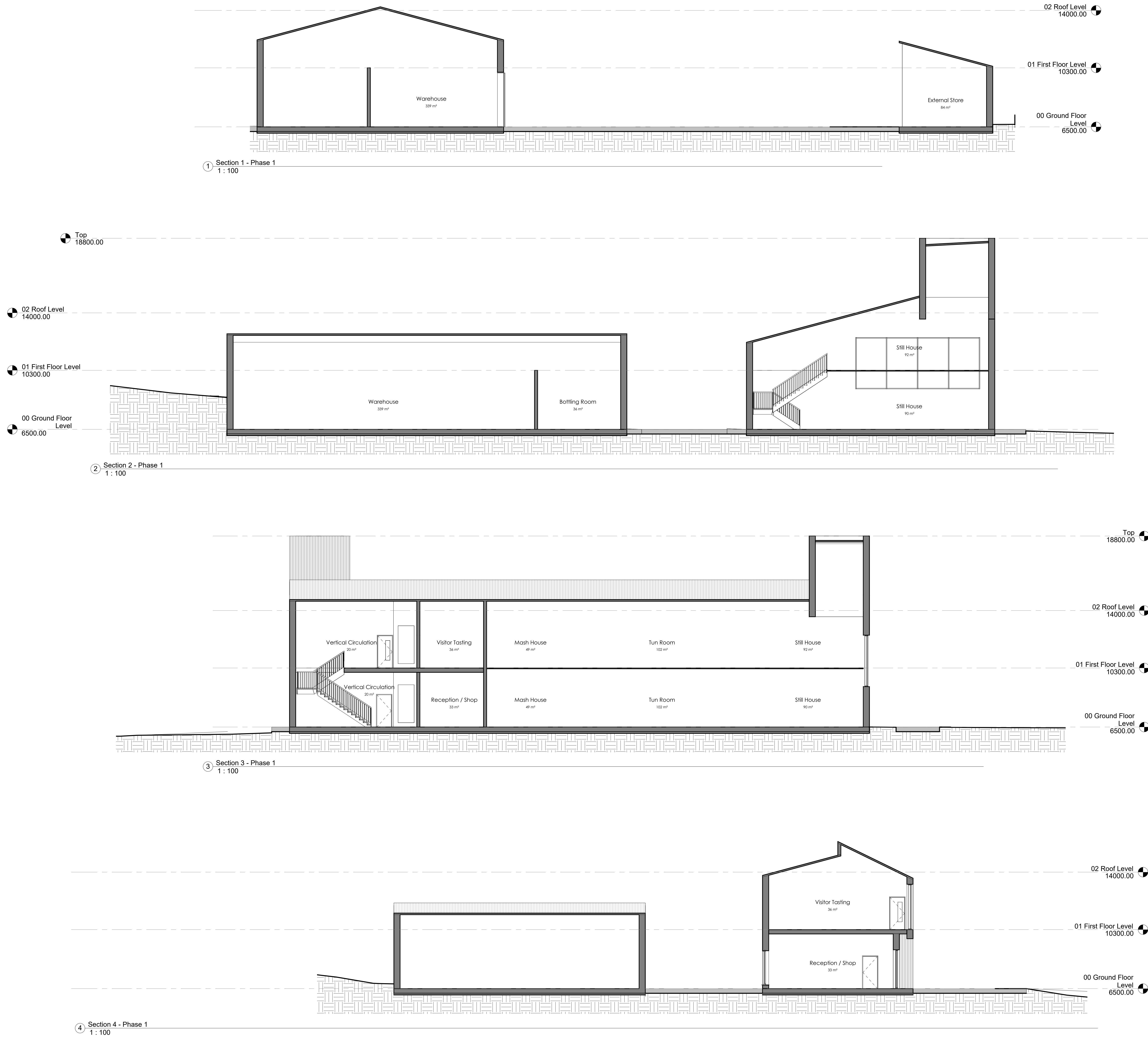
DATE
11/15/24

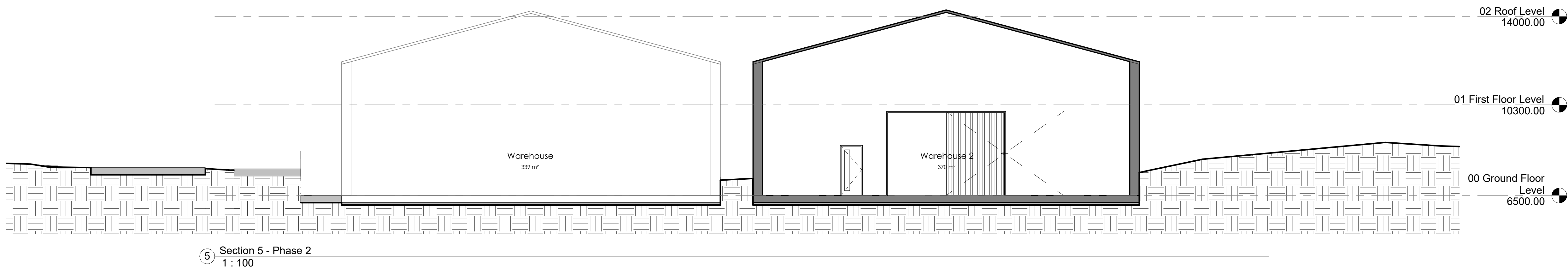
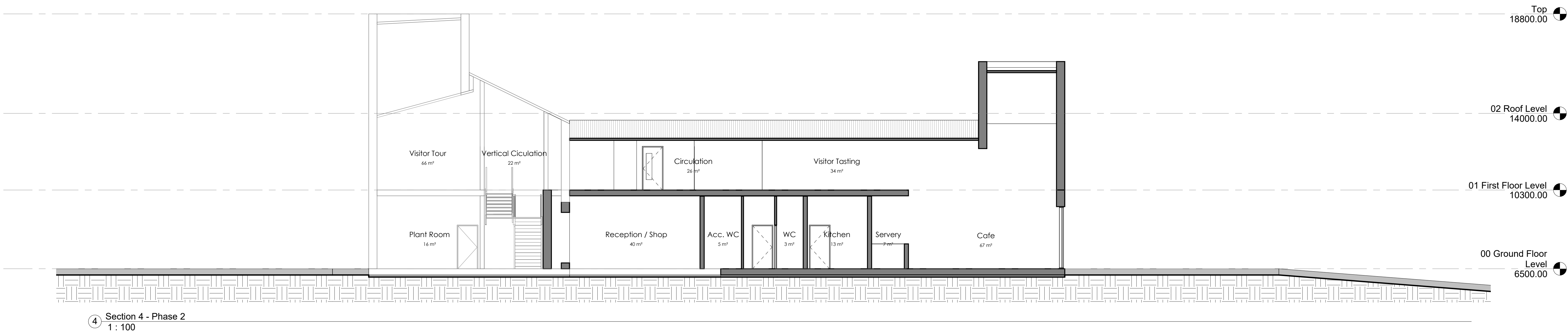
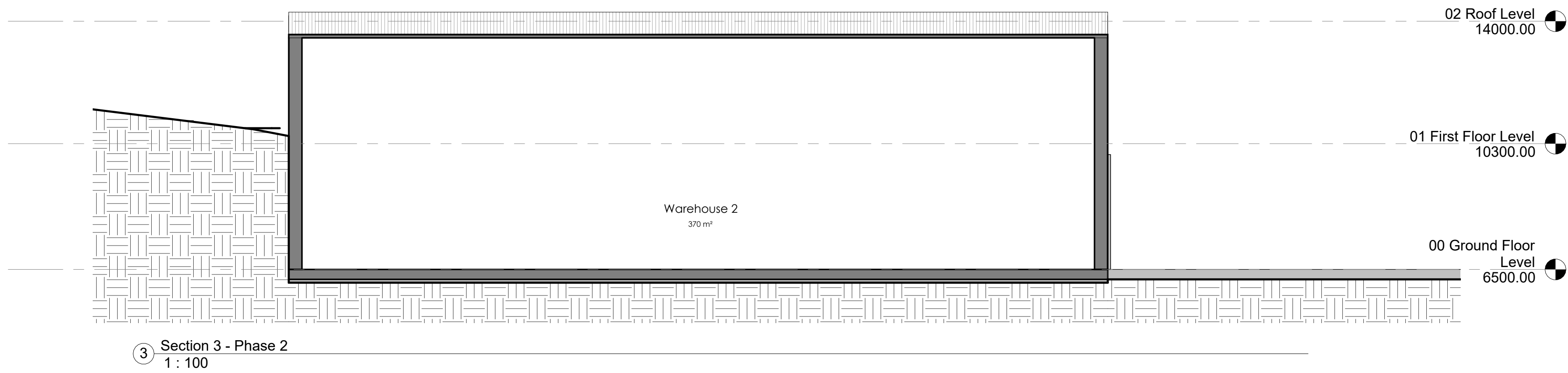
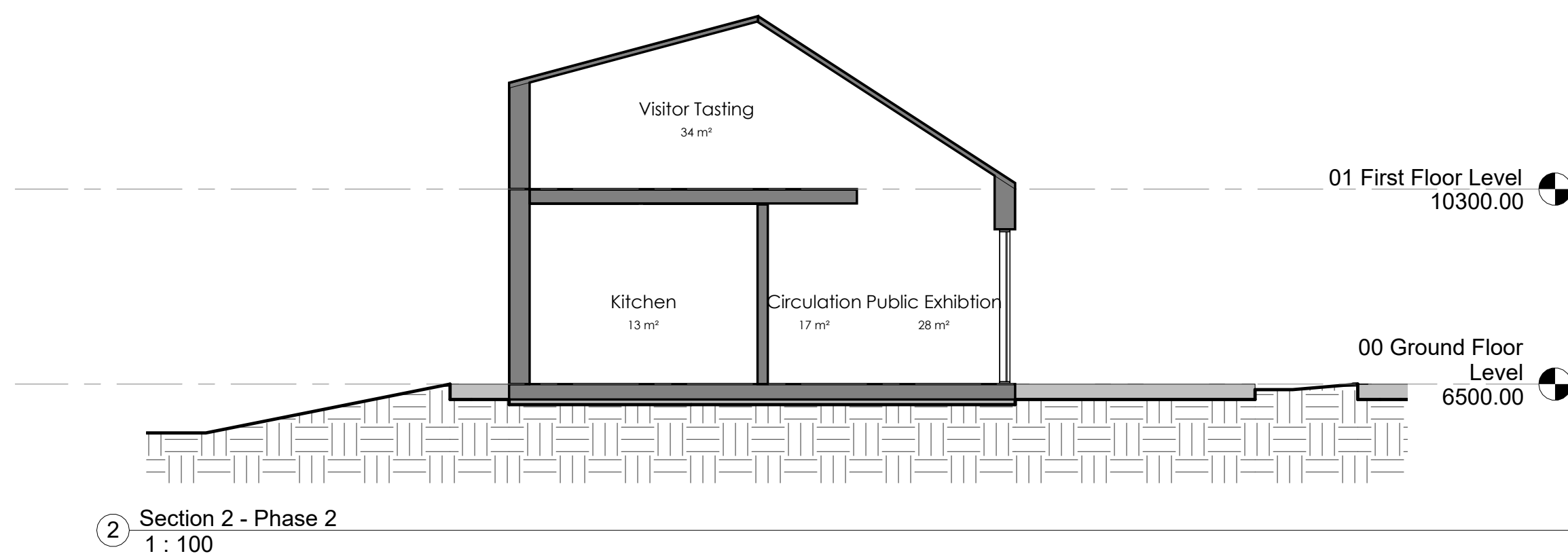
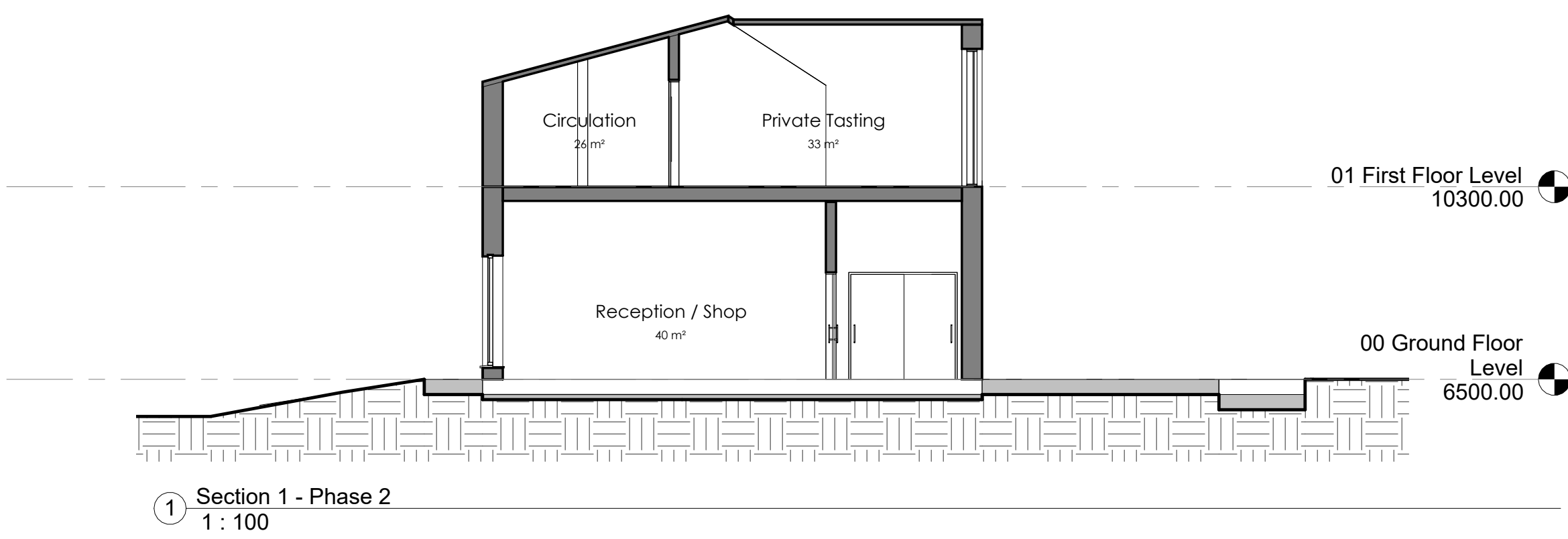
SHEET NUMBER

A3.1

PAPER SIZE

A0





NOTES

PHASE 1 (MADE)

PHASE 2 (NEW)



PROJECT NAME

Craft Whisky Distillery

LOCATION

Ballachulish, UK

NAME OF DEVELOPMENT

Craft Whisky Distillery

DEVELOPER/OWNER

Colin Shaw

ENGINEER

INFORMATION

SHEET TITLE

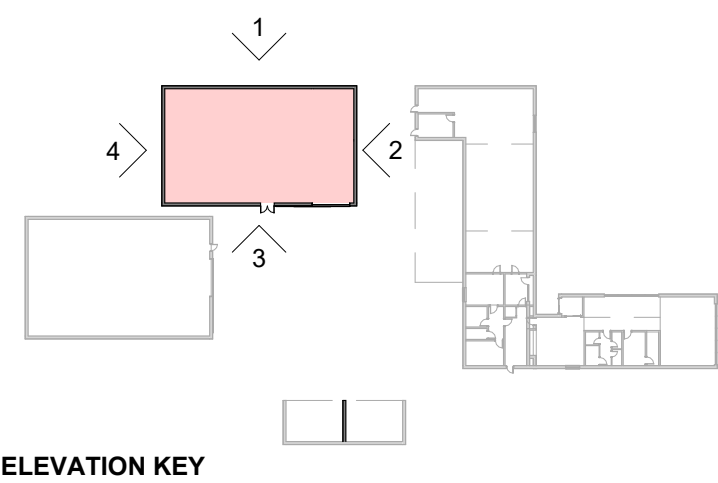
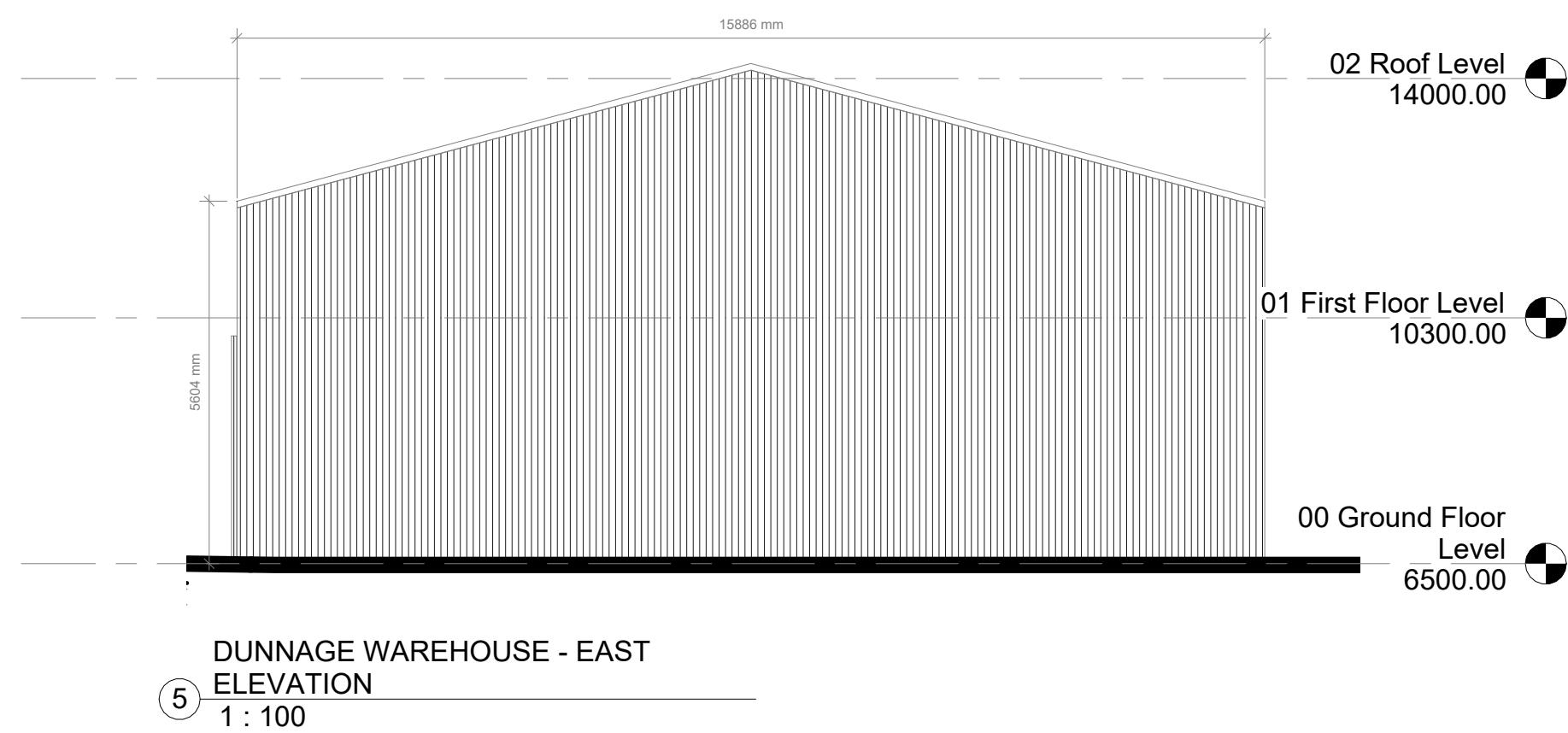
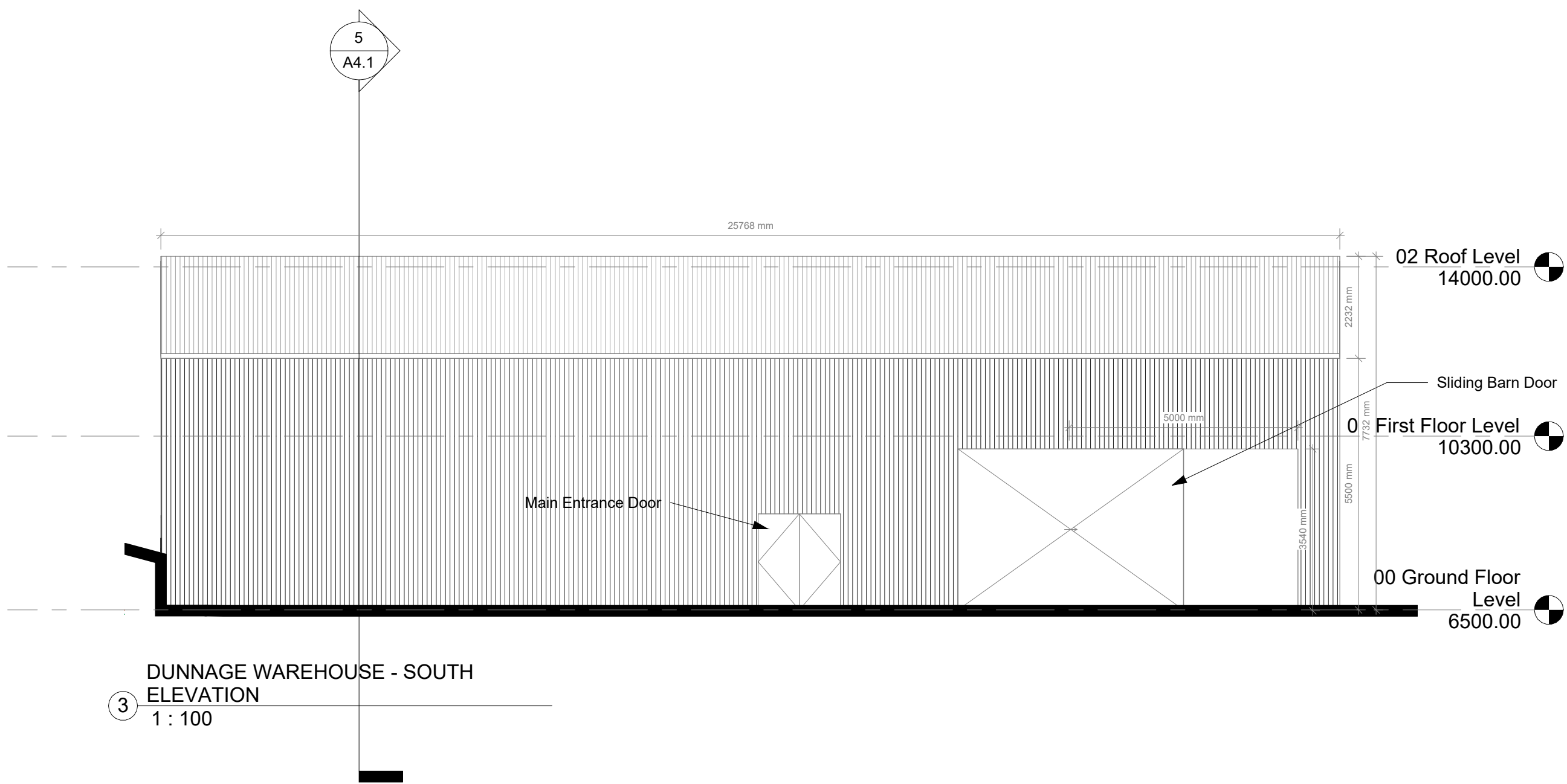
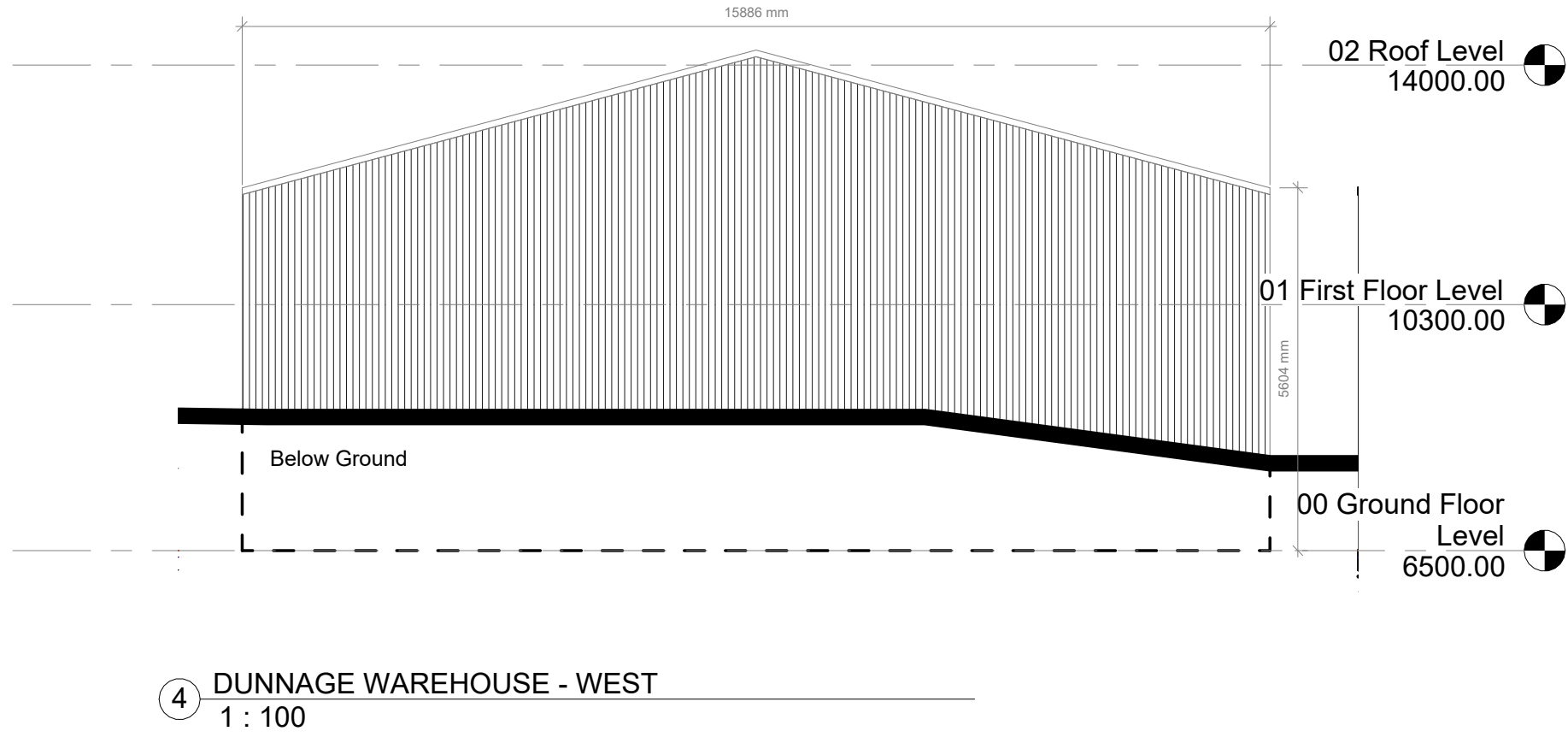
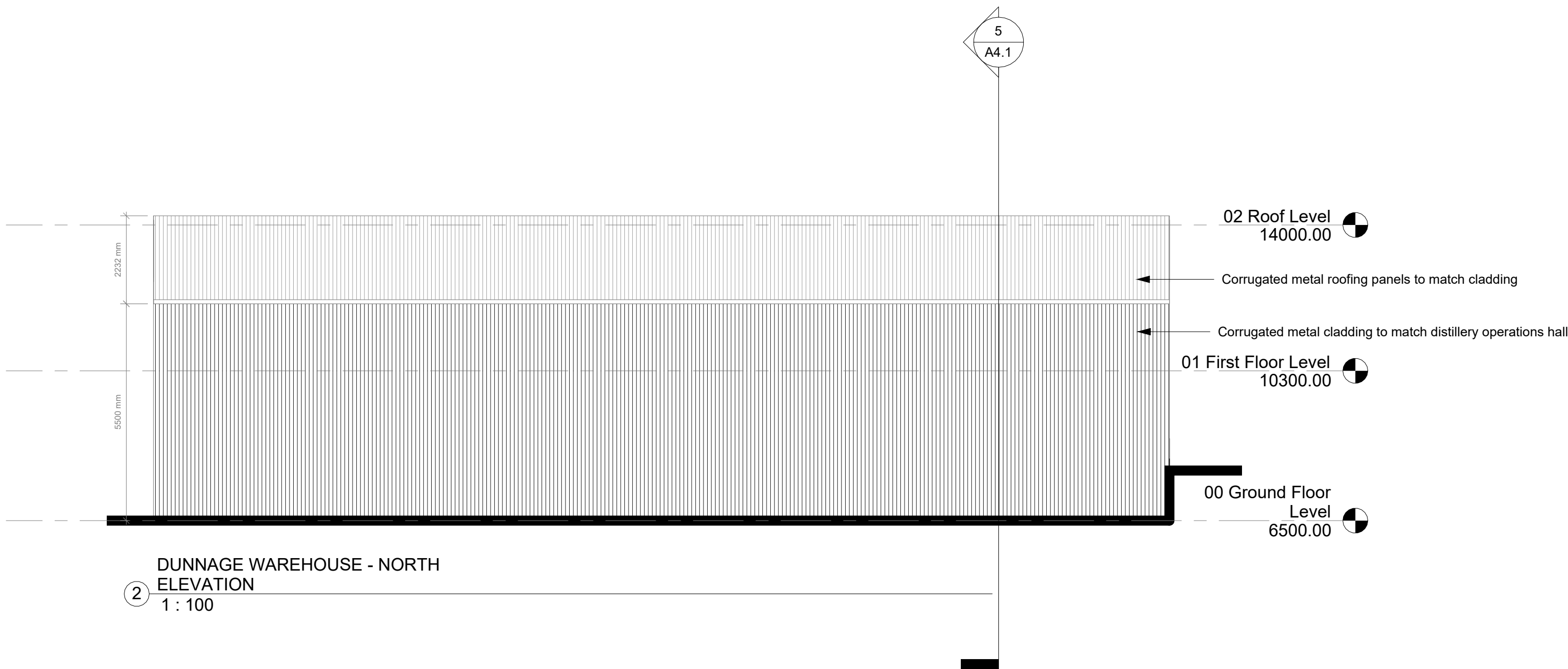
DUNNAGE WAREHOUSE 1
ELEVATIONS - PHASE 1

DATE

11/15/24

SHEET NUMBER

A3.4



SCALE BAR 1:50

PROJECT NAME

Craft Whisky Distillery

LOCATION

Ballachulish, UK

NAME OF DEVELOPMENT

Craft Whisky Distillery

DEVELOPER/OWNER

Colin Shaw

ENGINEER

INFORMATION

SHEET TITLE

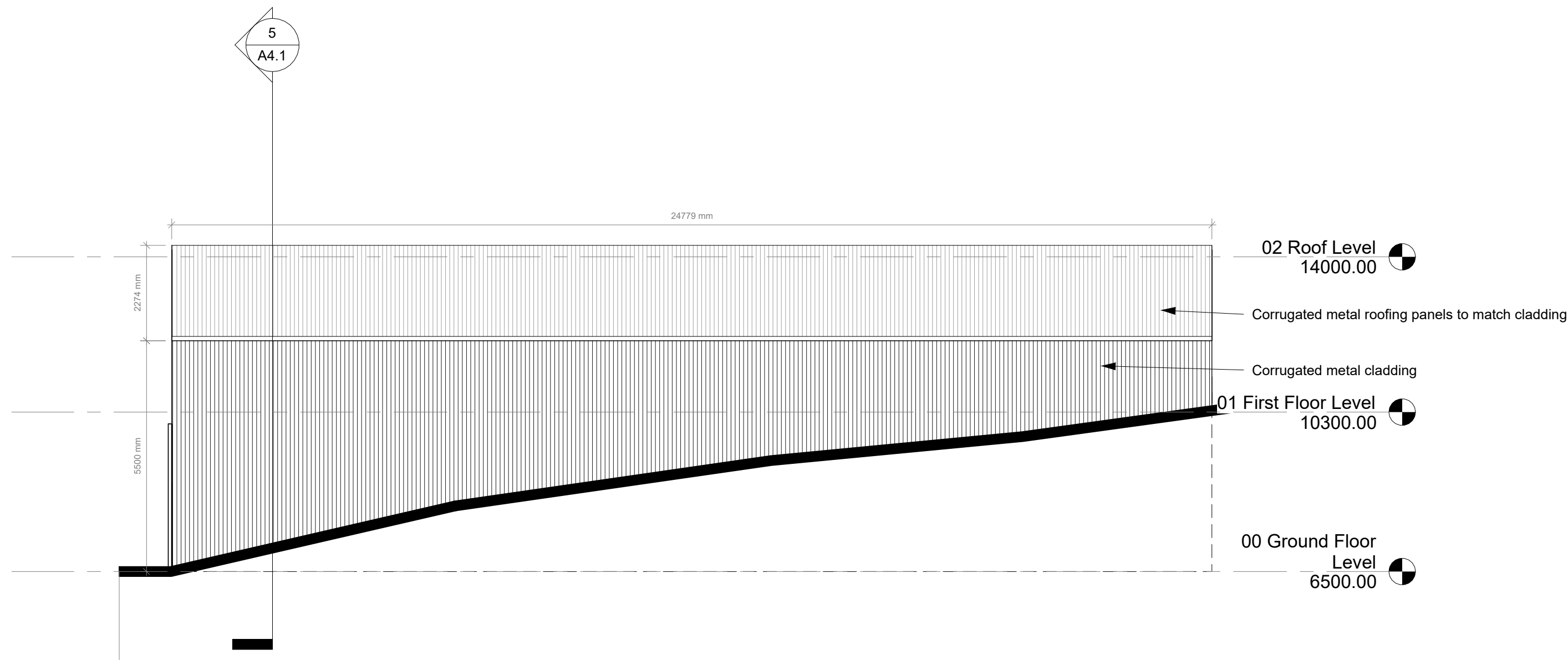
DUNNAGE WAREHOUSE 2
ELEVATIONS - PHASE 2

DATE

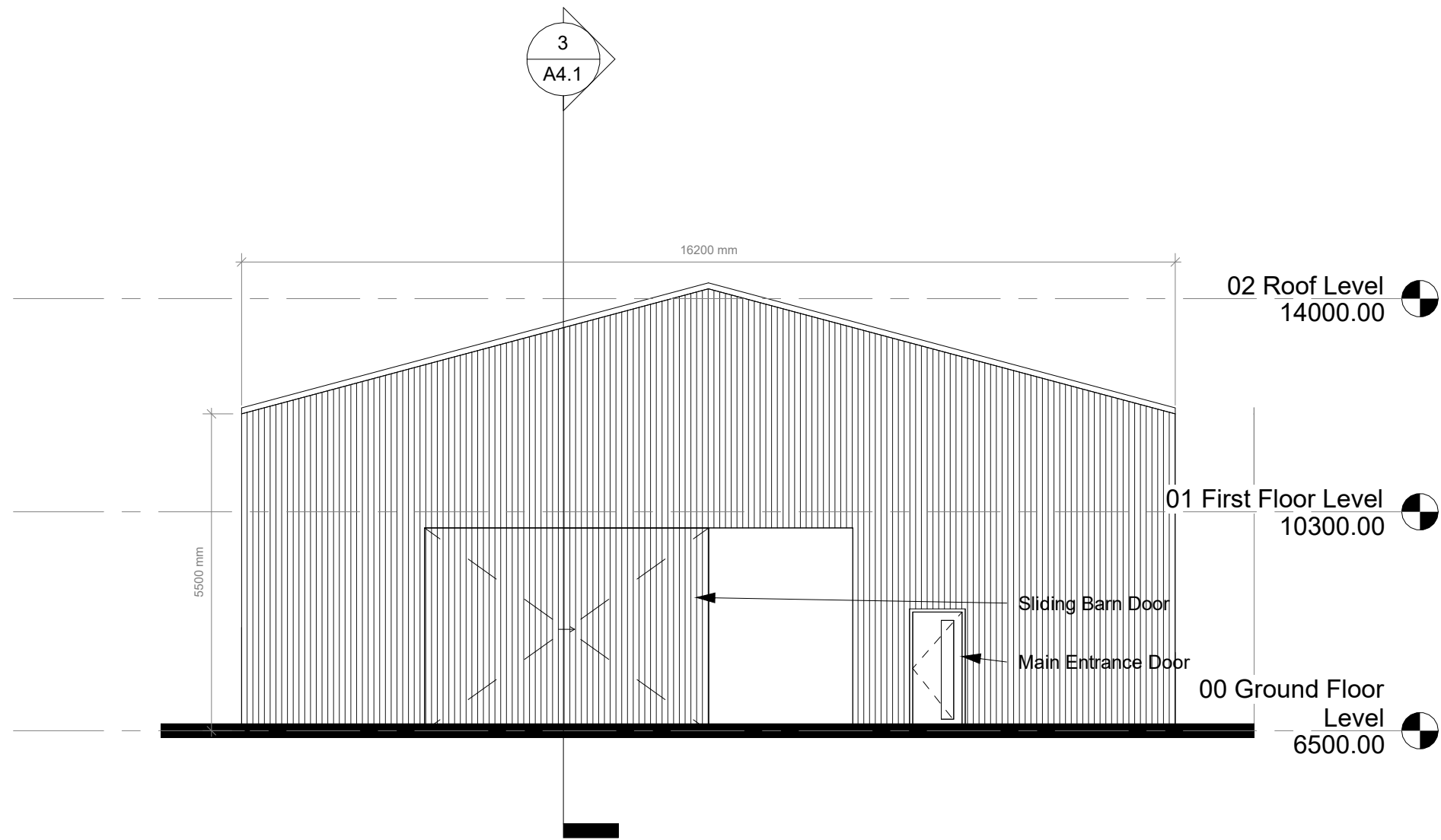
11/15/24

SHEET NUMBER

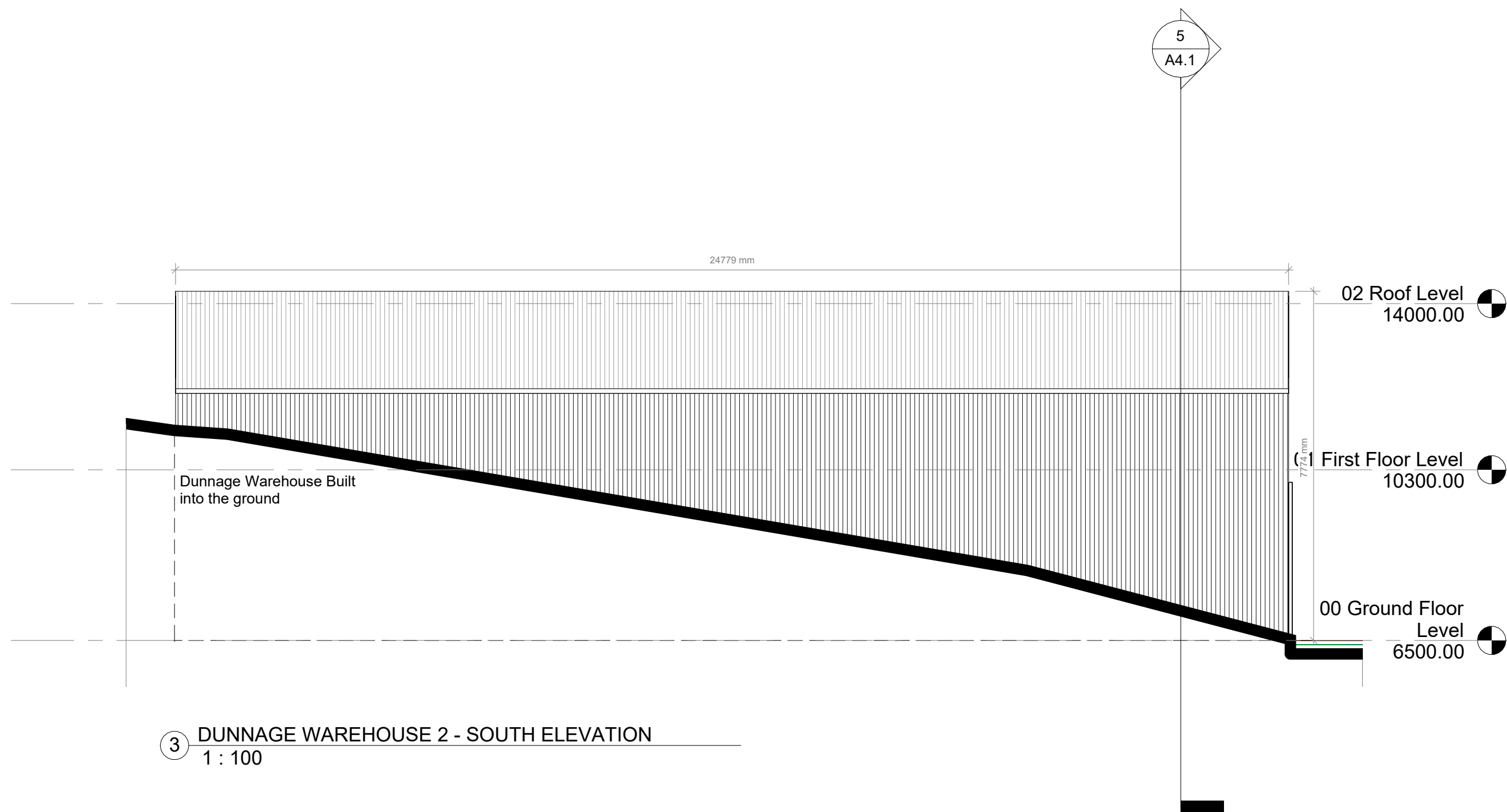
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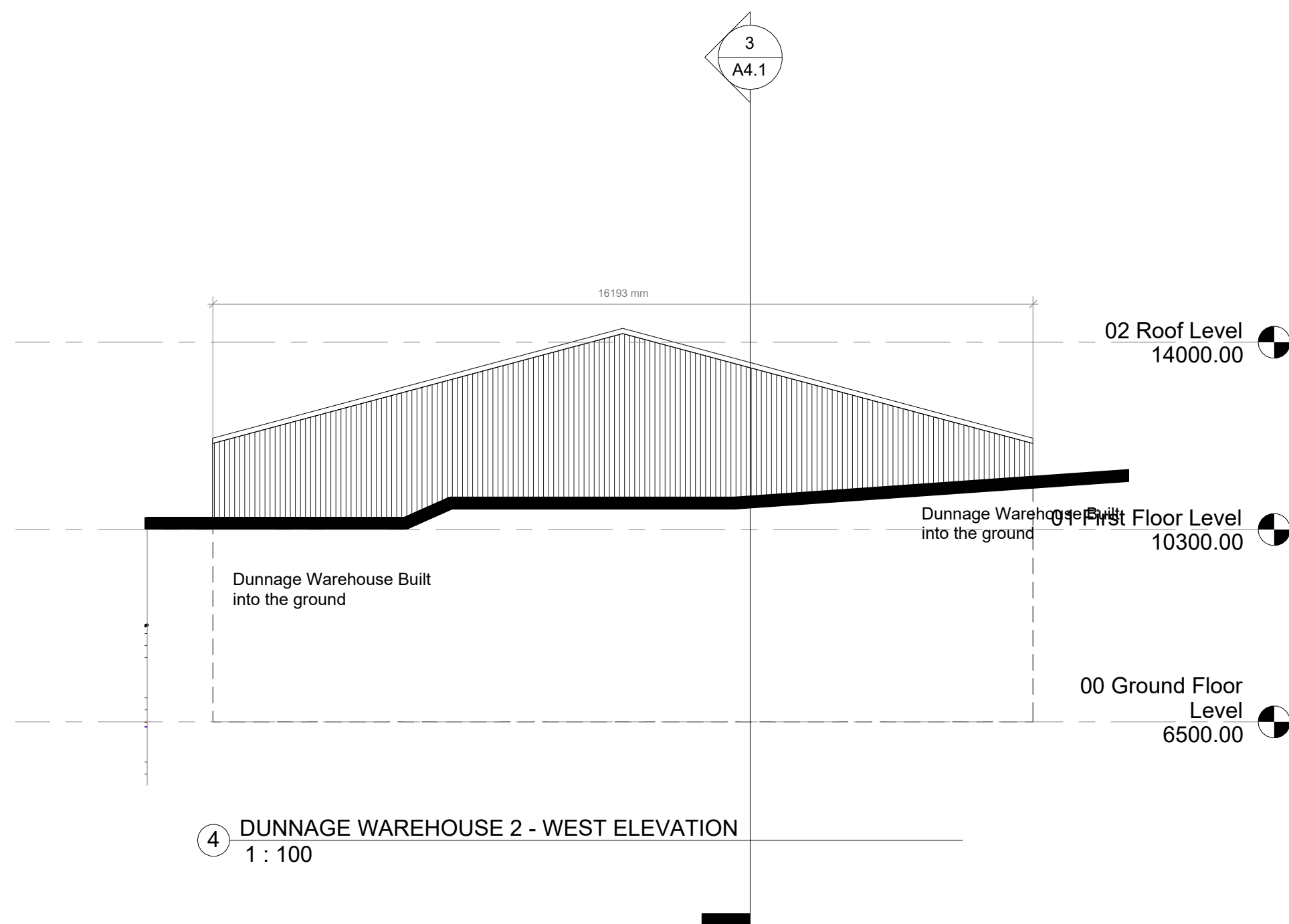
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1 : 100



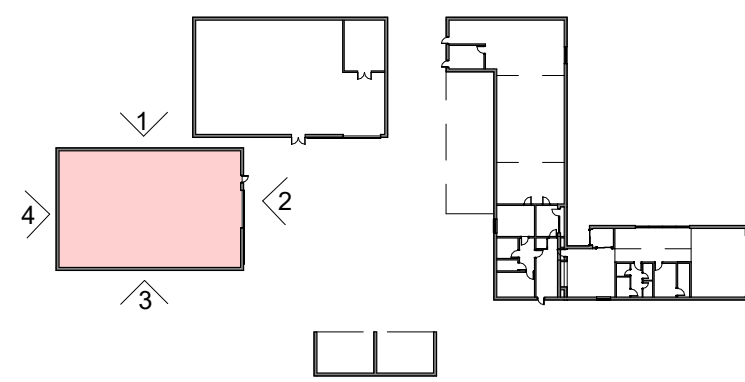
② DUNNAGE WAREHOUSE 2 - EAST ELEVATION
1 : 100



③ DUNNAGE WAREHOUSE 2 - SOUTH ELEVATION
1 : 100



④ DUNNAGE WAREHOUSE 2 - WEST ELEVATION
1 : 100



ELEVATION KEY



SCALE BAR 1:50

PROJECT NAME

Craft Whisky Distillery

LOCATION

Ballachulish, UK

NAME OF DEVELOPMENT

DEVELOPER/OWNER

Colin Shaw

INFORMATION

SHEET TITLE

EXTERNAL STORE ELEVATIONS - PHASE 1

DATE

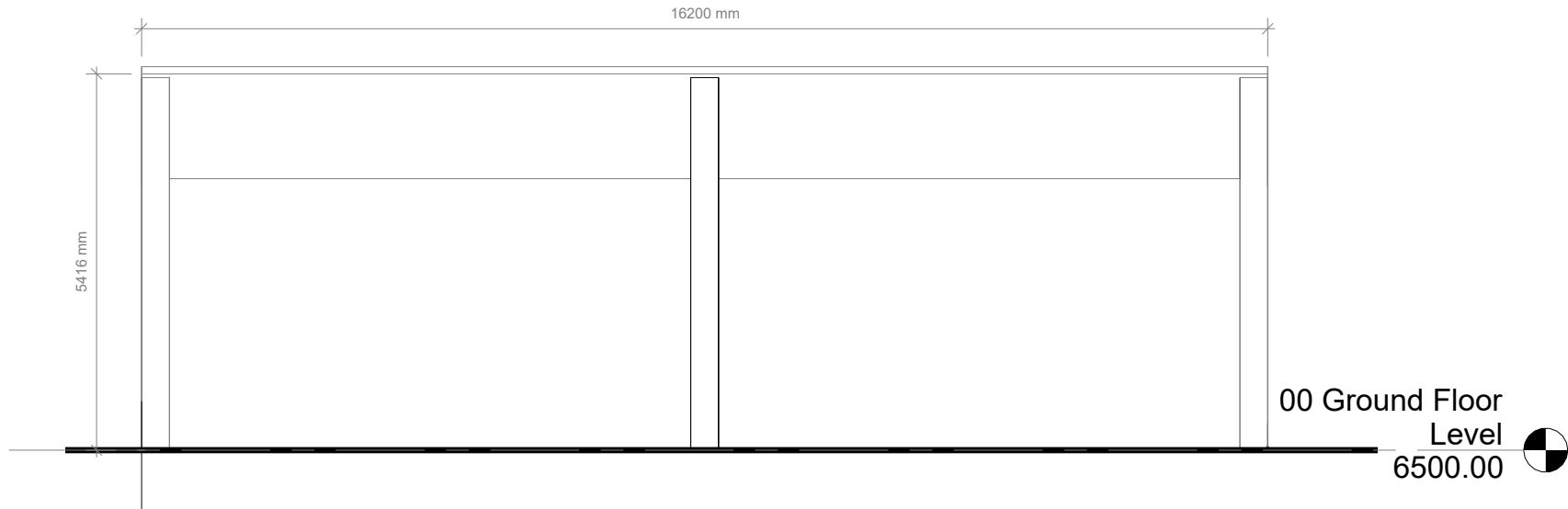
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SHEET NUMBER

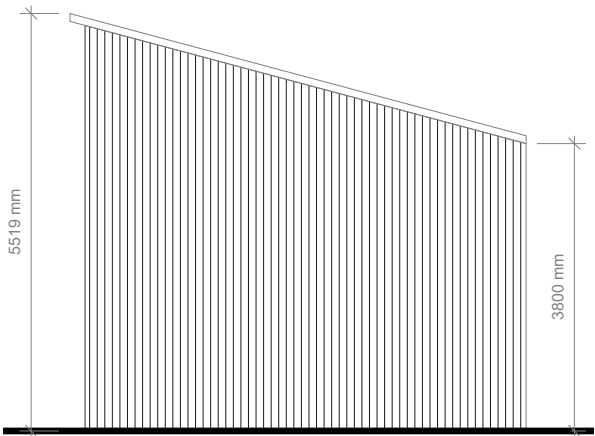
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PAPER SIZE

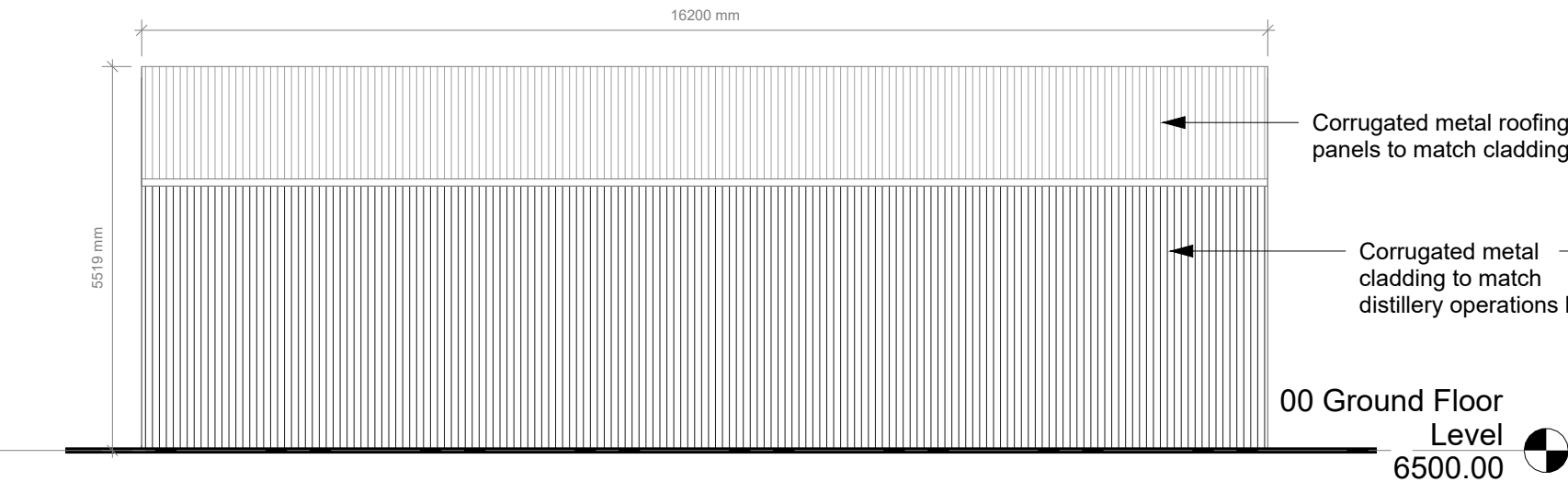
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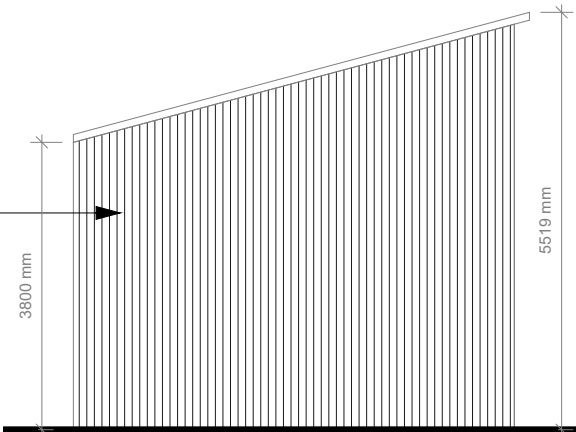
1 EXTERNAL STORE - NORTH ELEVATION
1 : 100



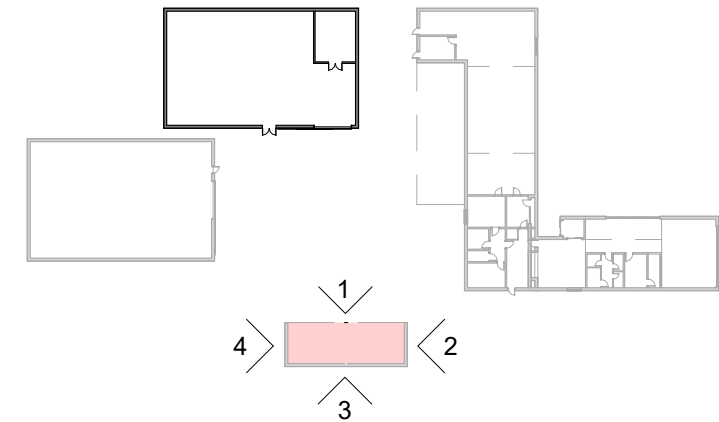
4 EXTERNAL STORE WEST ELEVATION
1 : 100



3 EXTERNAL STORE - SOUTH ELEVATION
1 : 100



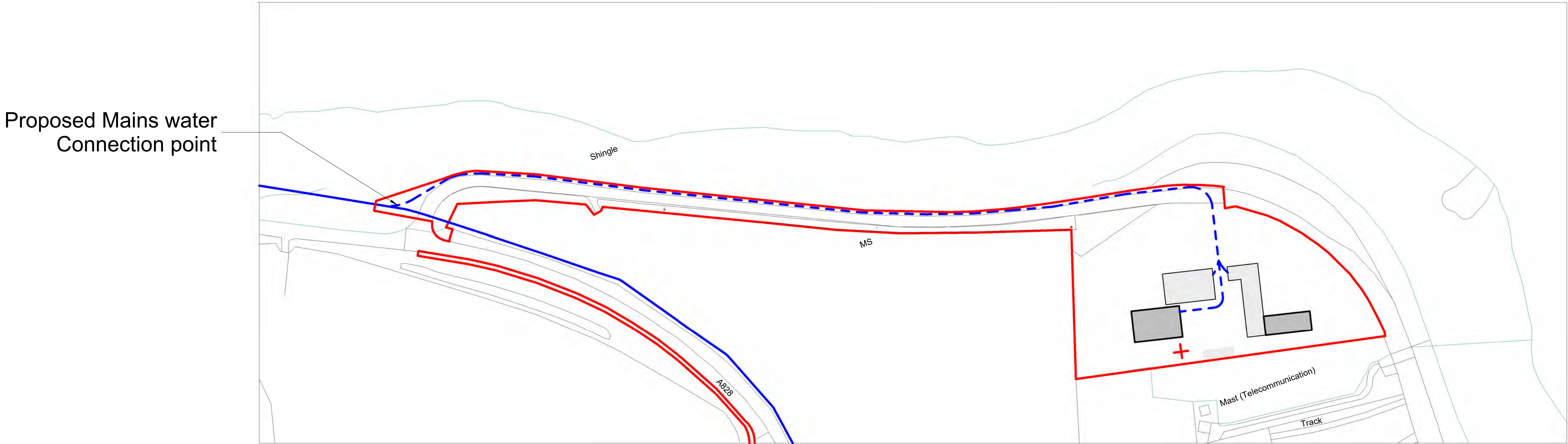
2 EXTERNAL STORE EAST ELEVATION
1 : 100



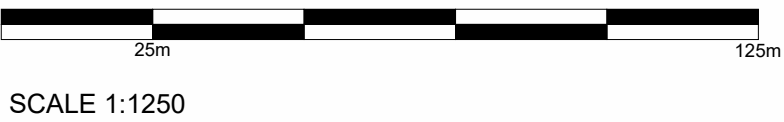
ELEVATION KEY



SCALE BAR 1:50



PROPOSED PWS ROUTE PLAN - SCALE 1:1250



PROJECT NAME
Craft Whisky Distillery

LOCATION
Ballachulish, UK

NAME OF DEVELOPMENT
Craft Whisky Distillery

DEVELOPER/OWNER
Colin Shaw

ENGINEER

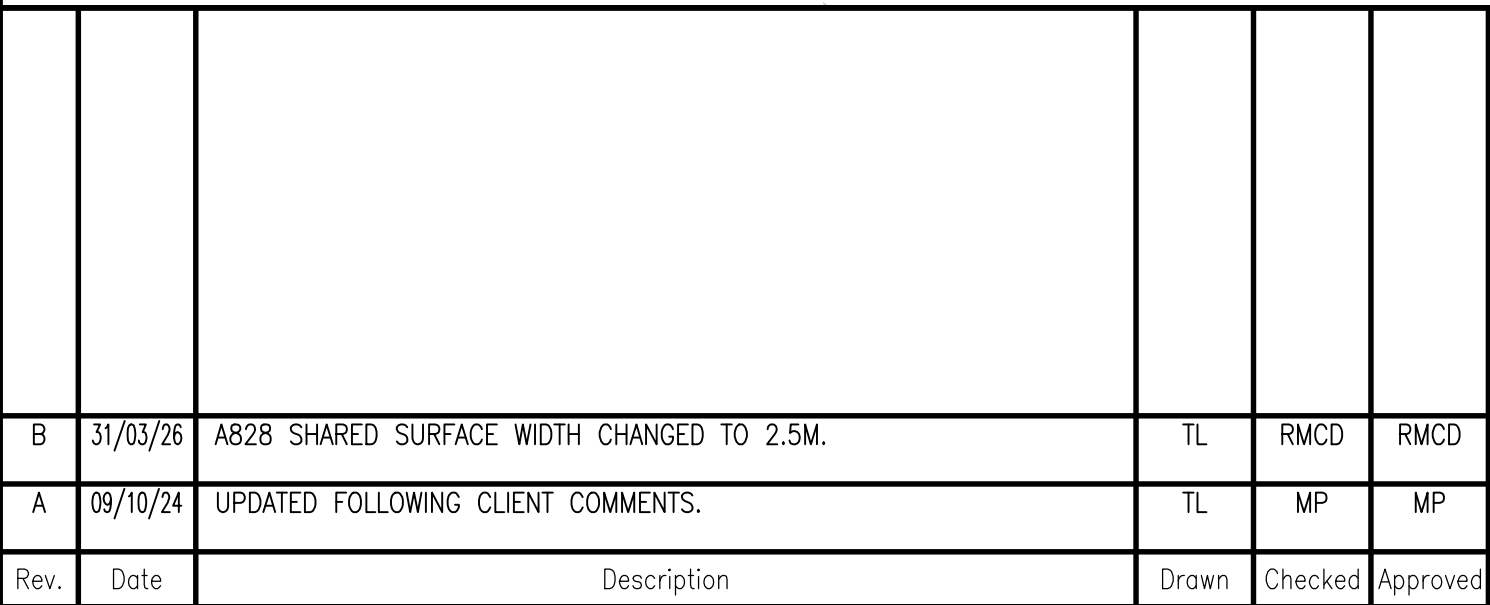
INFORMATION

SHEET TITLE
Proposed Water Connection and Route

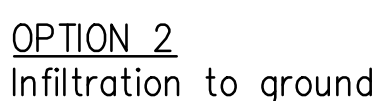
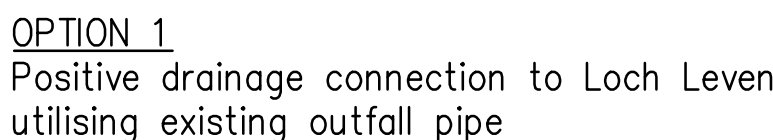
DATE
11/15/24

SHEET NUMBER

A1.4



B	31/03/26	A828 SHARED SURFACE WIDTH CHANGED TO 2.5M.	TL	RMCD	RMCD
A	09/10/24	UPDATED FOLLOWING CLIENT COMMENTS.	TL	MP	MP
Rev.	Date	Description	Drawn	Checked	Approved



- ## NOTES
1. INFORMATION PROVIDED ON THIS DRAWING IS FOR STAGE 2 COST PLAN PURPOSES ONLY.
 2. NO INFORMATION IS CURRENTLY AVAILABLE IN RELATION TO SOAKAWAY TESTING OR INFILTRATION RATES. THIS WILL NEED TO BE CARRIED OUT AT THE NEXT STAGE.
 3. NO SITE INVESTIGATION INFORMATION IS AVAILABLE AT THIS STAGE. THIS WILL NEED TO BE CARRIED OUT THE NEXT STAGE.
 4. DETAILED DRAINAGE DESIGN AND NETWORK ANALYSIS WILL NEED TO BE CARRIED OUT AT THE NEXT STAGE TO CONFIRM THE FINAL DRAINAGE SCHEME.

Drawing No.	Revision
GC23005-ZZ-ZZ-DR-C-SK004	

Legend

- Site boundary
- Proposed *Pinus sylvestris* tree
- Proposed a variety of deciduous native woodland tree
- Proposed species-rich grassland seed mix (Emorsgate EM2 or similar) - with mown strip around edge labelled 'SRxx'
- Proposed species-rich grassland seed mix for hedgerows (Emorsgate EH1 or similar) labelled 'HGxx'
- Proposed wet grassland seed mix (Scotia Seed SCM2 or similar) labelled 'WGxx'
- Proposed native hedgerow and boundary planting
- Proposed native scrub planting
- Proposed ornamental planting
- Proposed picnic benches on small paved areas (Supplier TBC)

Revision	By	Date	Details

Project Reference / Name:

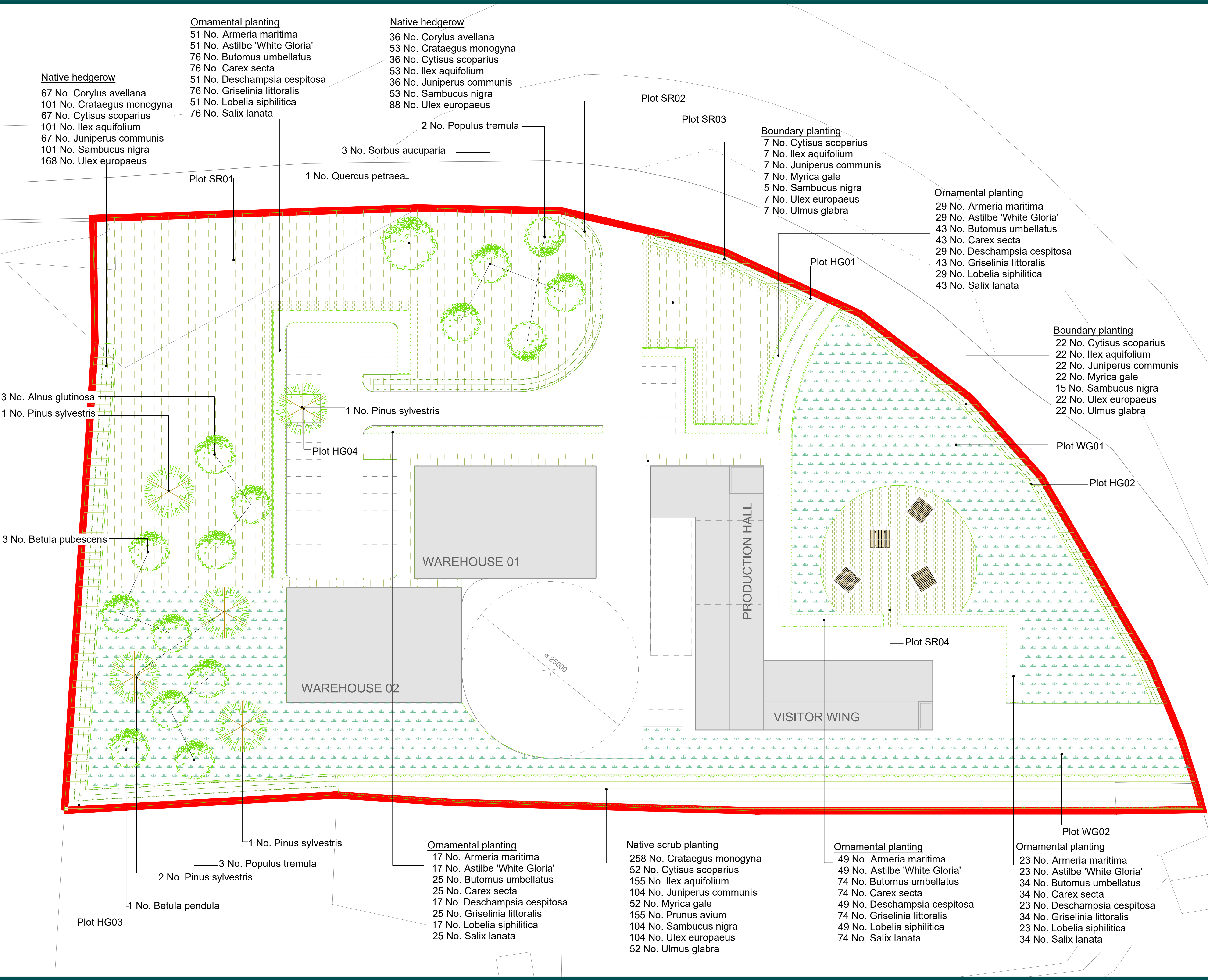
BG24.209 BALLACHULISH DISTILLERY

Client COLIN SHAW

Drawing title DETAILED LANDSCAPE DESIGN

Purpose of issue		Date of issue	
ISSUED FOR PLANNING		10.10.2024	
Drawn	Checked and approved	Scale @ A1	Subsidiary
LB	HCK	1:250	S4
Issue	Revision	P02	FINAL

BG24.209-BRGR-ZZ-ZZ-DR-L-00001



PLANT SCHEDULE

Specimen trees						
Number of Plants	Species	Common Name	Specification	Height	Girth	Density
3	Alnus glutinosa	Common Alder	Heavy Standard :Clear Stem 150-175 :RB	3.0-4.0m	12-14cm	Counted
1	Betula pendula	Common Silver Birch	Standard :Clear Stem 150-175 :RB	3.0-4.0m	10-12cm	Counted
3	Betula pubescens	Downy Birch	Heavy Standard :Clear Stem 150-175 :RB	3.0-4.0m	12-14cm	Counted
5	Pinus sylvestris	Scots Pine	Heavy Standard :Leader & laterals	350-400cm	16-18cm	Counted
5	Populus tremula	Aspen	Standard :Clear Stem 150-175 :RB	3.0-4.0m	10-12cm	Counted
1	Quercus petraea	Sessile Oak	Heavy Standard :Clear Stem 150-175 :RB	3.0-4.0m	14-16cm	Counted
3	Sorbus aucuparia	Rowan	Standard :Clear Stem 150-175 :RB	3.0-4.0m	10-12cm	Counted
Total :21						

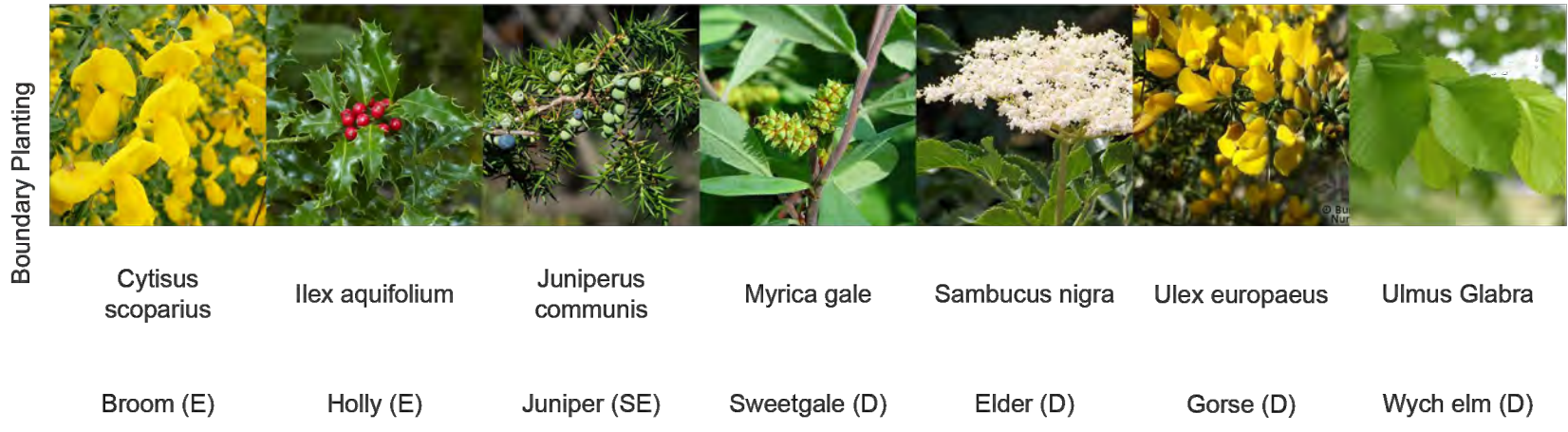
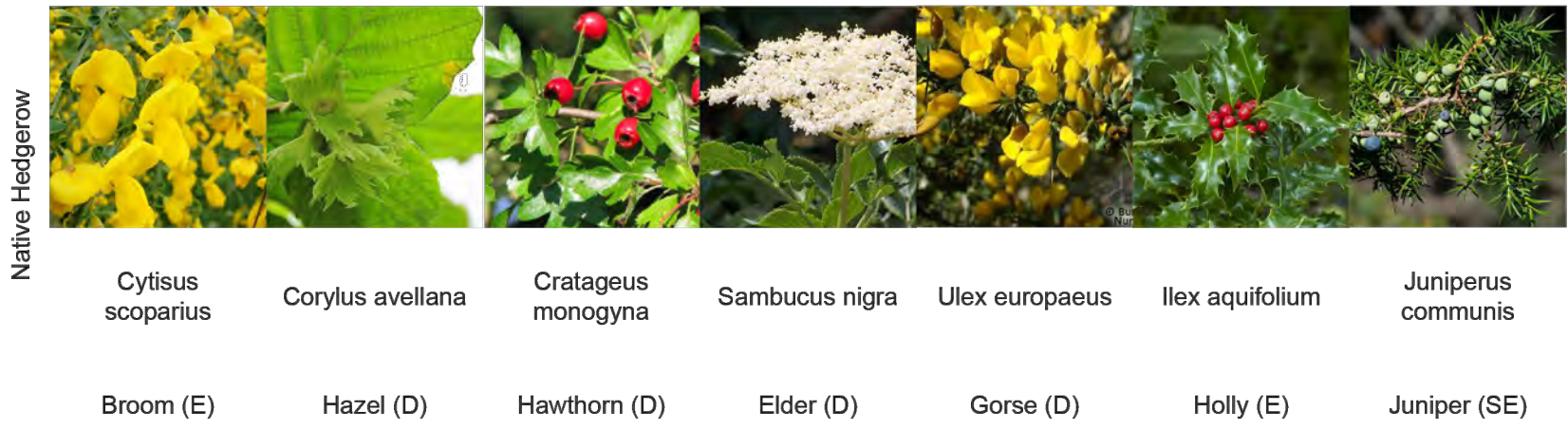
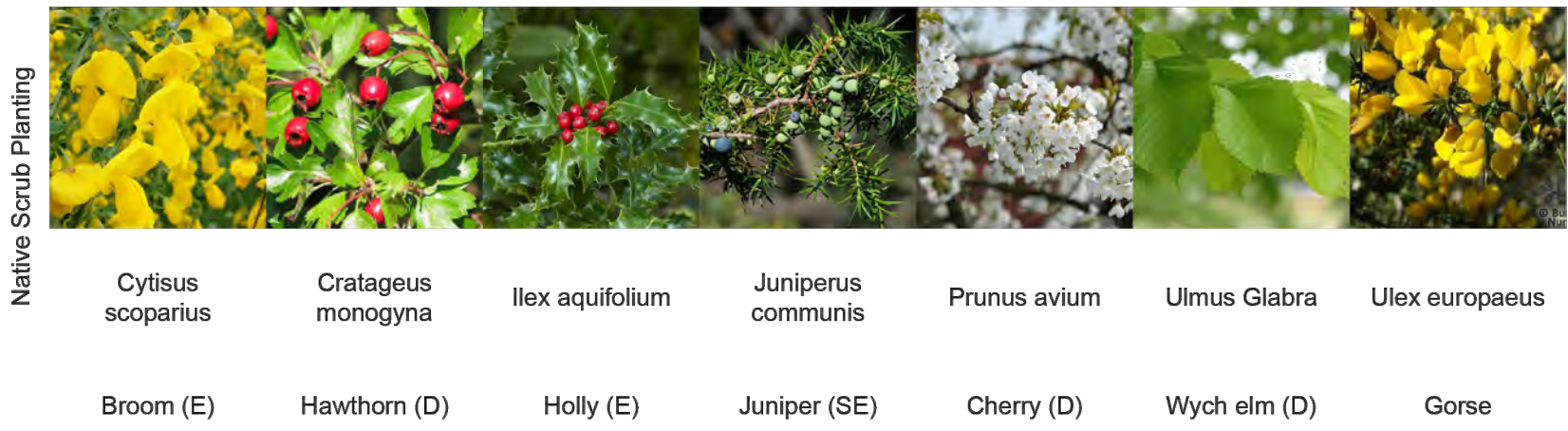
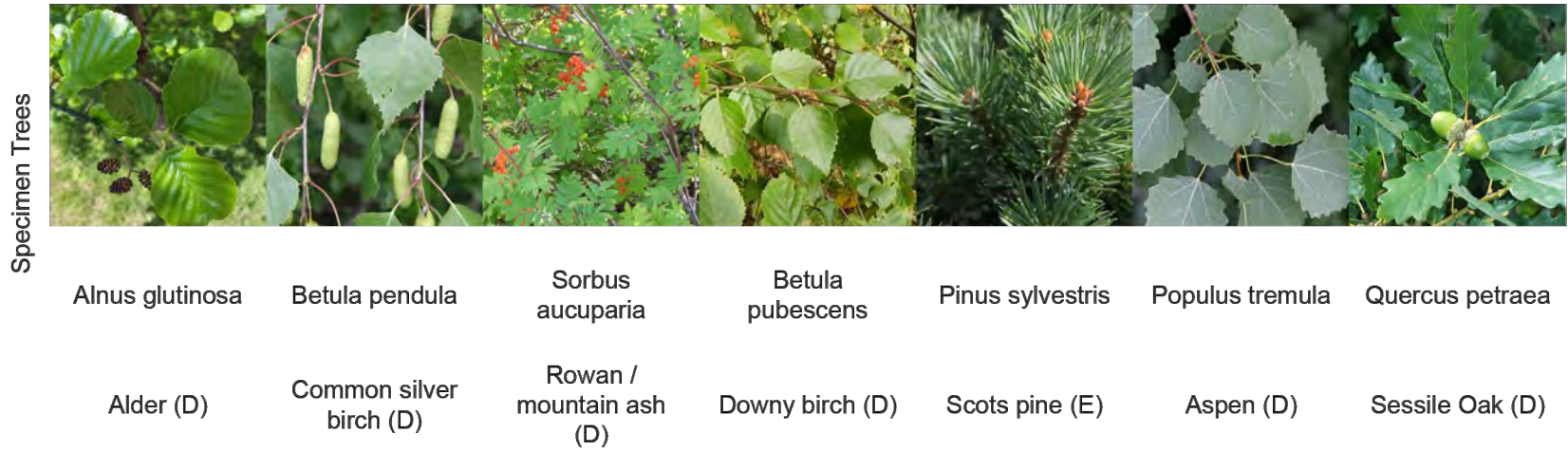
Native scrub planting						
Number	Species	Common Name	Specification	Height	Density	Percentage Contribution
258	Crataegus monogyna	Common Hawthorn	1+1 :Transplant :BR	40-60cm	0.8Ctr	25%
52	Cytisus scoparius	Common Broom	1+1 :Leader With Laterals :BR	30-40cm	0.8Ctr	5%
155	Ilex aquifolium	Common Holly	1+1 :Transplant :BR	30-40cm	0.8Ctr	15%
104	Juniperus communis	Common Juniper	1+1 :Transplant	25-30cm	0.8Ctr	10%
52	Myrica gale		1+1 :Leader With Laterals :BR	20-30cm	0.8Ctr	5%
155	Prunus avium	Wild Cherry	1+2 :Transplant :BR	50-60cm	0.8Ctr	15%
104	Sambucus nigra	Common Elder	1+1 :Leader With Laterals :BR	40-60cm	0.8Ctr	10%
104	Ulex europaeus	Common Gorse	1+1 :Leader With Laterals :BR	40-60cm	0.8Ctr	10%
52	Ulmus glabra	Wych Elm	1+1 :Transplant :BR	40-60cm	0.8Ctr	5%
Total :1036						

Native hedgerow							
Number	Length	Species	Common Name	Specification	Height	Density	Percentage Contribution
103	15.3m	Corylus avellana	Common Hazel	1+1 :Leader With Laterals :BR	30-40cm	0.3Ctr Double Staggered at 0.5m offset	10%
154	23m	Crataegus monogyna	Common Hawthorn	1+1 :Transplant :BR	40-60cm	0.3Ctr Double Staggered at 0.5m offset	15%
103	15.3m	Cytisus scoparius	Common Broom	1+1 :Leader With Laterals :BR		0.3Ctr Double Staggered at 0.5m offset	10%
154	23m	Ilex aquifolium	Common Holly	1+1 :Transplant :BR	40-60cm	0.3Ctr Double Staggered at 0.5m offset	15%
103	15.3m	Juniperus communis	Common Juniper	1+1 :Transplant :Leader & laterals		0.3Ctr Double Staggered at 0.5m offset	10%
154	23m	Sambucus nigra	Common Elder	1+1 :Leader With Laterals :BR		0.3Ctr Double Staggered at 0.5m offset	15%
256	38.3m	Ulex europaeus	Common Gorse	1+1 :Leader With Laterals :BR		0.3Ctr Double Staggered at 0.5m offset	25%
Total :1027		Total :153.2m					

Boundary planting						
Number	Length	Species	Specification	Height	Density	Percentage Contribution
29	14.4m	Cytisus scoparius	1+1 :Leader With Laterals :BR	30-40cm	0.5Ctr	15%
29	14.4m	Ilex aquifolium	1+1 :Transplant :BR	30-40cm	0.5Ctr	15%
29	14.4m	Juniperus communis	1+1 :Transplant	25-30cm	0.5Ctr	15%
29	14.4m	Myrica gale	1+1 :Leader With Laterals :BR	20-30cm	0.5Ctr	15%
20	9.6m	Sambucus nigra	1+1 :Leader With Laterals :BR	40-60cm	0.5Ctr	10%
29	14.4m	Ulex europaeus	1+1 :Leader With Laterals :BR	40-60cm	0.5Ctr	15%
29	14.4m	Ulmus glabra	1+1 :Transplant :BR	40-60cm	0.5Ctr	15%
Total :194		Total :96m				

Ornamental planting							
Number	Species	Common Name	Specification	Height	Pot Size	Density	Percentage Contribution
169	Armeria maritima	Sea Thrift	C		1-1.5L	0.5Ctr	10%
169	Astilbe 'White Gloria'		C		1-1.5L	0.5Ctr	10%
252	Butomus umbellatus	Flowering rush	Plug: Well Rooted			0.5Ctr	15%
252	Carex secta		Full Pot		1-1.5L	0.5Ctr	15%
169	Deschampsia cespitosa	Tufted Hair Grass	Full Pot		1-1.5L	0.5Ctr	10%
252	Griselinia littoralis	Broadleaf	Bushy :C	30-40cm	3L	0.5Ctr	15%
169	Lobelia siphilitica	Blue Cardinal Flower	C		1-1.5L	0.5Ctr	10%
252	Salix lanata	Woolly Willow	Bushy :C	20-30cm	3L	0.5Ctr	15%
Total :1684							

Grass Areas	Area	Density	Weight	Seed Mix Name	Seed Mix Supplier
HG01	366.7m²	4g/m²	1467 g	EH1 - Hedgerow mixture	Emorsgate Seeds Ltd
HG02	856.5m²	4g/m²	3427 g	EH1 - Hedgerow mixture	Emorsgate Seeds Ltd
HG03	2378.5m²	4g/m²	9515 g	EH1 - Hedgerow mixture	Emorsgate Seeds Ltd
HG04	188m²	4g/m²	752 g	EH1 - Hedgerow mixture	Emorsgate Seeds Ltd
SR01	2319.2m²	4g/m²	9277 g	EM2 - Standard General Purpose Meadow Mixture	Emorsgate Seeds Ltd
SR02	289.6m²	4g/m²	1159 g	EM2 - Standard General Purpose Meadow Mixture	Emorsgate Seeds Ltd
SR03	533.9m²	4g/m²	2136 g	EM2 - Standard General Purpose Meadow Mixture	Emorsgate Seeds Ltd
SR04	435.3m²	4g/m²	1742 g	EM2 - Standard General Purpose Meadow Mixture	Emorsgate Seeds Ltd
WG01	1159.7m²	3g/m²	3480 g	SCM2 - Wet Meadow Mix	Scotia Seeds
WG02	1947.1m²	3g/m²	5842 g	SCM2 - Wet Meadow Mix	Scotia Seeds



Legend

(E) denotes evergreen species
(SE) denotes semi-evergreen species
(D) denotes deciduous species)

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Revision	By	Date	Details

Project Reference / Name:			
BG224.209		BALLACHULLISH DISTILLERY	
Client			
COLIN SHAW			
Drawing title			
PLANTING SCHEDULE			
Purpose of Issue		Date of Issue	
ISSUED FOR PLANNING		10.10.2024	
Scale @ A1		N/A	Suitability
			S4
Drawn	LB	Checked and approved	HCK
Issue	P02	Revision:	FINAL

LANDSCAPE SPECIFICATION

These implementaton and maintenance guildelines are for planning purposes only to indicate the level of workmanship to be specified. These guidelines do not constitute a detailed specification.

GENERAL

- All landscape operatives will be appropriately trained, certified and qualified to undertake the tasks required. When required, relevant certificates will be made available for inspections.
- All works to be carried out in accordance with the relevant British Standards, Codes of Practice and Legislation, horticultural best practice and current guidelines.
- All plants shall conform to BS8545: 2014, BS3936 Nursery Stock (Parts 1-10), BS4428:1989, BS4043:1989, BS5837:2012.
- Planting shall not be carried out when the ground is waterlogged, frost bound or during periods of cold drying winds. All bareroot planting stock will be kept covered until actually planted in order to minimise water-loss and prevent the roots from drying out. Tree handling, storage and planting shall be in accordance with BS 8545:2014.
- A minimum intervention approach will be used in terms of weed control. In areas of transplant tree/shrub or ornamental planting, this is to be achieved by using mulch mats and hand weeding. Weed killer and other chemicals will be used as little as possible on site. Spot removal of weeds will be carried out by hand removal as necessary.
- Deviations from the location, density, size and species plants within the specification and landscape drawings should not be undertaken unless prior approval is sought from a Chartered Landscape Architect.

SITE PREPARATION

Topsoil

- Existing topsoil to be stripped before building works commence. Imported topsoil to be to BS3882: 2015 Specfication for Topsoil.
- General multi-purpose grade topsoil - free from subsoil, rubble, contamination, roots of perennial weeds. Texture to be of medium grade.
- Topsoil to be stacked in heaps, not exceeding 2m high.

Site preparation

- Remove all surface rubbish, concrete, metal, glass, decayed vegetation and contaminated topsoil. Remove stones with any dimensions exceeding 100mm. Remove material containing toxins, pathogens or other extraneous substances harmful to plant, animal or human life.
- Do NOT use mechanical equipment to excavations within 100mm of tree and plant stems.
- Do NOT cultivate and plant when soil frozen or waterlogged.

Excavation

Tree Pits: min 900mm deep
Shrub pit: 450-600mm deep
Hedge pit / trench: 300mm deep
Grass areas: 100mm deep.

Backfilling Material

- Mixture of topsoil excavated from pit and additonal topsoil as required.
- Ameliorant/Conditioner to be sanitised/stabilised compost to ornamental planting - application rate to manufacturer's/suppliers recommendations.
- For tree pits, subsoil depths are to backfilled with a high sand content subsoil

Cultivation

Planting areas: 300mm depth cultivation to a medium tilth.
Grass seeding areas: 150mm deep cultivation to a fine tilth, raked to a smooth, evenly firmed bed.
Turf areas 150mm deep cultivation to a medium tilth raked to a smooth, evenly firmed bed.

PLANTING

Times of year for planting

Deciduous trees and Shrubs: late October to late March.
Evergreens : September/October or April/May.
Container grown plants: At any time, if ground and weather conditions are favourable.

All planting to be set out evenly over areas as indicated, to the density and quantities shown.

Tree planting

- Plant trees where indicated on Landscape Plan (**BG24.209-BRGR-XX-XX-DR-L-00001**).
- Typical rooting depth of trees is 900mm. The tree pit soil composition should reflect site conditions, but generally expect the first 300mm to be made up of topsoil, beneath this depth a suitable subsoil provides the remainder of the minimum rooting depth.
- Prior to planting, ensure that the root system of the tree is wetted.
- Tree pits are to be backfilled with excavated topsoil (where original topsoil not available or considered suitable, a multi-purpose topsoil should be used). Subsoil depth to be backfilled with high sand content subsoil. Subsoil to be backfilled in layers of 150mm-250mm depth and firmed to eliminate any air pockets. Final layer should not be firmed / consolidated.
- All extra heavy standard size trees are to be double staked with 75mm diameter stakes. Stakes should be driven at 450mm into undisturbed ground (taking care to avoid underground services and cables). Stakes should typically be one third the height of the tree stem above ground.
- Staked trees should be secured to stakes with suitable proprietary rubber tree ties and spacers.
- Immediately after planting, and prior to applying bark mulch, all trees should be saturated with water to field capacity.
- Ornamental composted bark mulch will be spread to depth of 75mm across a 0.75m diameter circle around individual trees, ensuring that the root flare and base of the stem is not buried.
- Tree guard protection to be provided - where possible weld mesh guards fixed to stakes (for larger specimens) or shelter guards.

Native shrub planting

- Shrub planting is to be as per the planting pattern set out on the planting plan and planting schedule.
- Planting should avoid man-made grids and lines.
- Where native shrub planting is container grown, plants to be protected from rabbit damage using approved proprietary 600mm biodegradeable shrub shelters, supported with 0.9 x 32mm x 32mm softwood stakes as advised by manufacturer.

Container grown and root balled plants

- Container grown and root balled plants to be planted in planting pits sufficient size to accommodate 150mm clearance of rootball.
- Planting pits to be backfilled with mixture of excavated topsoil and ameliorant/conditioner, firmed and watered in.
- Remove any dead/damaged vegetation.

Bare root plants

- Slit planted as per the planting pattern set out on the planting plan and planting schedule.
- Bare root plants to be protected from rabbit damage using approved proprietary 0.6m (for shrub species) or 1.2m (for tree species) non-single use plastic biodegradeable shrub/tree guards with 0.9m (or 1.35m for trees) x 32mm x 32mm softwood stakes as advised by manufacturer.

Native hedgerow planting

- Whip planting to be slit planted, double staggered at 0.3m offset, and 0.3m centres.
- All whips and transplants to be protected from rabbit damage using approved proprietary 0.6m (for shrub species) or 1.2m (for tree species) non-single use plastic biodegradeable shrub/tree guards with 0.9m (or 1.35m for trees) x 32mm x 32mm softwood stakes as advised by manufacturer.

Ornamental Hedges

- To be planted in trenches 150mm wider than roots and 300mm deep.
- Set out plants evenly in specified row(s) at the densities indicated on planting schedule.
- Mulch to 75mm depth with bark mulch or similar.

Ornamental shrub and herbaceous planting

- Shrubs / herbaceous plants are to be set out as shown on the drawing and pit planted into prepared soil at the specified densities with minimal disturbance to the rootball and well firmed in.
- Mulch to 75mm depth with bark mulch or similar across all new planted areas, taking care not to bury groundcover plants.

Species rich / wetland / tussock meadows grassland

Preparation

- Areas of wildflower meadow to be seeded shall be cleared of existing vegetation, area cultivated to a depth of 100mm, removing weeds, debris and stones over 75mm diameter.
- Surface to be raked smooth, following contours with a fine tilth.

Seed

- Seeding shall be in April - May or September - October, in periods of moist warm calm weather.
- To achieve even sowing, bulk with an inert carrier, such as sand.
- Sow seed on even, prepared ground at the specified rate, in transverse directions.
- Roll to firm seed sowing and ensure intimate contact with the soil.



AFTERCARE PERIOD / GENERAL MAINTENANCE

Visits to be carried out during the aftercare period - at least monthly during the growing season (typically April-September) and twice during the dormant season - visits are to establish good plant health and weed free areas. Operations include watering, removal of litter, pest and disease control, general pruning, guard checking, weed control, grass cutting, leaf clearance. Arisings are to be removed from site, and to be left clean and tidy at all times.

Watering

All planting and grass areas should not be allowed to dry out and must be well watered during the growing season.

Trees and shrubs

All trees to be watered weekly from May to end of September, unless unnecessary due to heavy rain. To receive 20 gallons of water. Shrubs to be watered for the first two years from May to September Tree ties and stakes to be checked and adjusted if too loose, too tight or if chaffing is occurring. Any damaged shoots / branches to be pruned back to healty wood. Plants to be pruned in accordance with good horticultural practice to maintain healthy, well-shaped specimens.

Hedges / Hedgerows

Hedge lines to be kept mulched until established.

Grass cutting

During growing seasons, amenity grass to be kept at 25mm-50mm high. Species rich meadow requires regular mowing during the first year of establishment, to a height of 40-60mm. In second and subsequent years, do not mow from spring to late July/August. After flowering in July or August, cut back the grass with a scythe/petrol strimmer or tractor mower to 50mm. Leave to dry for 1-7 days and remove from site. Mow the regrowth through to late autumn/winter to 50mm.

Revision	By	Date	Details
Project Reference / Name:			
BG24.209		BALLACHULISH DISTILLERY	
Client			
COLIN SHAW			
Drawing title			
SOFT LANDSCAPE SPECIFICATION			
Purpose of Issue		Date of Issue	
ISSUED FOR REVIEW		10.10.2024	
		Scale @ A1	Subsidiary
		N/A	S4
Designed	Drawn	Checked	Approved
LB	LB	HCK	HCK
Drawing No			Revision
BG24.209-BRGR-ZZ-ZZ-DR-L-00003			P02 - FINAL
Brindle & Green Ltd www.brindlegreen.co.uk Tel: 0800 222 9105			