

Agenda Item	6.4
Report No	PLN/042/26

HIGHLAND COUNCIL

Committee: North Planning Applications Committee

Date: 5 August 2026

Report Title: 25/00677/FUL: The Three Chimneys
Three Chimneys Restaurant 1 Colbost Dunvegan Isle of Skye IV55 8ZT

Report By: Area Planning Manager (North)

Purpose/Executive Summary

Description: Demolition and Erection of Restaurant Extension (Class 3), Alteration & Extension to Hotel Building (Class 7), Erection of 8no Self-Contained Holiday Units (Class 7), Erection of Storage Shed, associated Landscaping, EV Charging Infrastructure, Cycle & Car Parking, Servicing, Sewage Treatment Plants & Access

Ward: 10 - Eilean A' Cheò

Development category: Local Development

Reason referred to Committee: More than 5 objections

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

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Recommendation

Members are asked to agree the recommendation to **GRANT** planning permission as set out in section 11 of the report

1. PROPOSED DEVELOPMENT

- 1.1 This application seeks full planning permission for an expansion of the existing 'Three Chimneys' development at Colbost, where there is currently a restaurant housed in an extended traditional croft house and guest accommodation in the 'L' shaped 'House Over-by' providing 6 holiday-letting rooms.
- 1.2 The restaurant building would be extended by demolishing a small gable addition and constructing a new extension along its northwestern elevation to provide an additional 20 covers and a reception/bar area.
- 1.3 The House Over-by would be extended into a 'U'-shaped structure with an addition to its southwestern elevation to provide staff facilities and storage of bicycles for guest use. The existing northeastern corner of this building would also be remodelled to provide a new breakfast room.
- 1.4 The most significant element of the proposal would be the erection of eight new buildings to provide holiday letting accommodation in the form of two 'Longhouses' and six 'Bothies' to the northwest and southwest of the existing complex. The Longhouses would provide 8 letting rooms, with the more southerly building being larger in size and providing 5 of these rooms over one and a half storeys, while the more northerly would be of single storey height providing three bedrooms. The Bothies would all be single storey one bedroomed units of the same design.
- 1.5 An existing dwelling house known as 'Heatherlea', currently used as staff accommodation, would be demolished to accommodate the three southern-most Bothies and a new 8 space car park. One further new building would be provided in the form of a Service building opposite (west of) the northern-most Longhouse.
- 1.6 A new access from the B884 would be formed leading to a 14-space car park to serve the Longhouses. A 7-space car park would be formed to the rear of the Restaurant, with a further 8-space car park opposite the 3 southern-most bothies. The existing 6-space car park in the courtyard of the House Over-by would be enlarged to provide 2 additional spaces, with an enlarged junction onto the B884. Finally, a footpath loop would be provided to link the Restaurant and House Over-by with the new holiday letting accommodation.
- 1.7 The development would be constructed in three phases. The first of these would be of 12 months duration comprising the demolition of 'Heatherlea' and construction of the three southern-most Bothies and their 8-space car park. Phase 2 would also be of 12 months and would consist of the extensions to the existing restaurant and the House Over-by as well as the 7-space restaurant car park and enlarged parking for the House Over-by. Finally, Phase 3 would involve a 12-to-18-month programme to construct the two Longhouses, the Service building, 14 space car park, the new access road and associated site works.
- 1.8 In terms of existing infrastructure, the site lies on the western side of the B884 with an existing access into the six-space parking area in the House Over-by courtyard. There is a further access west of the B884 immediately south of the Restaurant which

leads to six existing houses beyond the site. The proposed new Bothy and restaurant parking areas would be accessed from this road.

1.9 Pre Application Consultation: 22/03175/PREAPP. Generally positive advice provided with some suggestions for layout changes to show a less regimented placement of the accommodation units.

1.10 Supporting Information:

- Archaeological Evaluation;
- Archaeology Report and Recommendations;
- Arboricultural Impact Assessment/Method Statement and Supervision Schedule;
- Design and Landscape Statement;
- Drainage Strategy Report;
- Flood Risk Assessment (with Updates);
- Landscape and Visual Impact Appraisal;
- Preliminary Ecological Appraisal;
- Completed Questionnaire for Planning Applications Involving Industrial or Commercial Uses;
- Statement of Tourism Demand;
- Sustainability Statement;
- Transport Technical Notes 1 to 4;
- Tree Planting and Woodland Management Plan;
- Hydraulic Modelling Report;
- Additional Information Explanatory Note;
- Framework Construction Traffic Management Plan;
- Planning Statement;
- Stage 2 Bat Activity Survey;
- Flood Risk Addendum Parts 1 and 2.

1.11 Variations:

The site plans have been amended to:

- Show a widened access into the House Over-by courtyard and to add visibility splays.
- Reposition and reconfigure the northern access road further south away from the northern watercourse and culvert. This results in the lodge (Longhouse B) closest to the track being relocated approximately 2 metres to the south to accommodate the revised alignment.
- Reposition of Longhouse A to the west to be outside of the identified flood risk area to address SEPA comments.
- Repositioning of the lower pedestrian bridge and associated access path to the west to address SEPA comments.

1.12 The Landscape and Drainage Layout Plans have also been revised to show these changes, and a new Site Section Plan has been submitted to show that the new access would be formed without any raising or lowering of ground levels within the riparian buffer zone.

- 1.13 Finally, the elevations of the Longhouses and Service Building have been amended to include a list of finishes.

2. SITE DESCRIPTION

- 2.1 The site lies on the western side of the B884 on the shore of Loch Dunvegan and comprises the existing restaurant, the House Over-by and the existing dwelling house 'Heatherlea', as well as open land to the north of these buildings. The site slopes uphill away from the road in a westerly direction. Existing houses lie to the west, north and south of the site. Two watercourses run through the site – one close to the northern boundary and the other just to the north of the House Over-by.

3. PLANNING HISTORY

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|-----|-----------------|---|---------------------------|
| 3.1 | 31 August 1998 | 98/00043/FULSL. Erection of bedroom annexe | Application permitted |
| 3.2 | 11 January 2010 | 09/00381/FULSL. Internal alterations and single storey extension to rear of existing restaurant to provide improved kitchen and associated accommodation, and staff and public welfare accommodation. | Application permitted |
| 3.3 | 20/01254/FUL | Alterations and change of use of house to hotel accommodation and erection of a one bedroom annexe. | Application permitted |
| 3.4 | 5 October 2022 | 22/03175/PREAPP. Masterplan for Three Chimneys restaurant site in NW Skye including refurbishment of restaurant and accommodation; Relocation and modernisation of existing services; Formation of additional car parking; Demolition of existing building and construction of new self-contained holiday units and additional hotel accommodation. | Generally positive advice |
| 3.5 | 6 December 2024 | 24/05171/SCRE. Demolition and erection of restaurant extension (class 3), alteration and extension to hotel building (class 7), erection of self-contained holiday units (class 7) and associated landscaping, EV charging infrastructure, cycle and car parking, servicing and access | EIA required not |

4. PUBLIC PARTICIPATION

- 4.1 Advertised: Unknown Neighbour 14 Days
Date Advertised: 21 March 2025
Representation deadline: 4 April 2025

Timeous representations: 12 from 9 Households

Late representations: 6 from 5 Households

4.2 Material considerations raised are summarised as follows:

- a) Adverse visual impact from the size and scale of the development. Officer comment: The applicant has taken heed of pre-application advice in bringing forward a reduced layout which places the accommodation buildings into the landform to work better with the existing contours. The massing of the scheme is broken up with this layout and new native planting would help absorb the development into the natural slopes to successfully mitigate landscape impact.
- b) Adverse effect on trees. Officer comment: The Forestry Officer has no objection to the application, noting that of the 42 trees proposed for removal 35 are of low quality, with the remaining 7 of only moderate quality. To help mitigate for the loss of these trees, the expansion of native woodland cover across the site, linking new and existing woodland areas to provide wildlife corridors is proposed. This approach is endorsed by the Forestry Officer.
- c) Road survey misleading as conducted during quiet season. B884 in poor condition and a busy road which is not suitable for the amount of development proposed. Car parking proposed is insufficient. The Transport Technical Notes and Framework Construction Traffic Management Plan are queried in various respects. Officer comment: A further traffic survey was undertaken in July 205. Transport Planning have been consulted and following the various revisions to the scheme discussed above have no objection to the proposal.
- d) Existing rights of way would be impacted. Officer comment: No existing Rights of Way would be affected.
- e) Noise and disturbance from Air Source Heat Pumps and Helicopters. Officer comment: A footnote can be applied to advise the developer that noise output from Air Source Heat Pumps must be within the limit set by Environmental Health Legislation. Noise from helicopters visiting the site is not a regular occurrence and is not within the remit of the Planning Authority.
- f) Local facilities would be put under strain. Officer comment: There is no evidence to support this claim.
- g) Light pollution. Officer comment: Given that the site is located within an existing residential area the relatively small amount of additional light at night associated with the proposal is not considered to represent sufficient justification to resist this development.
- h) Concern that ecological surveys have not been undertaken correctly and downplay the presence of wildlife (e.g. otters, hedgehogs, harbour seals (from adventure sport on the Loch), birds of prey). Officer comment: The Preliminary Ecological Appraisal did consider otters, hedgehogs and birds of prey but did not find any evidence to show that these species would be adversely impacted by the development. In relation to the comment on seals, the planning system can only consider terrestrial impacts so possible adventure sports on Loch Dunvegan is not a relevant consideration. Bat surveys have been undertaken which state that while there is a single bat roost within the roof of the House Over-by, this would not be impacted by the proposed development.
- i) Damage to existing holiday letting businesses and over provision of this type of accommodation. Officer comment: Business competition is not within the remit

of the planning system and Skye is not currently the subject of a Short Term Let Control Area.

- j) No local community benefit. Officer comment: This proposal does not trigger any developer contribution thresholds.
- k) Adverse impact of Service Building on existing neighbour and adverse effect on views from this property. Officer comment: The building is approximately 62m distant from this structure, with new tree planting proposed as screening. As such, it is considered that the privacy and amenity of this neighbour would not be adversely affected. Private views are not a planning consideration.
- l) Parking of cars on the B884 opposite the restaurant is a road safety issue. Officer comment: This concern is shared by the Planning Service, and a condition is proposed requiring an area of formalised parking to be provided in this area.
- m) Loss of local housing. Officer comment: The existing house proposed for demolition is currently in use as staff accommodation and as such does not form part of the local housing stock.
- n) Fears that sewage/grey water will be released into the burn or Loch Dunvegan. Officer comment: The new foul drainage strategy (a number of new treatment tanks) will improve upon on the current septic tank arrangement and the only water which will be discharged will be treated water not sewage. This is a matter which would be controlled through the Building Warrant process and any CAR approval from SEPA.
- o) Planning permission (20/01254/FUL) for nearby holiday accommodation and new holiday units (10 beds) has not been considered. Officer comment: This permission has lapsed.
- p) Refuse bin management is already a problem and would likely become worse. Officer comment: Areas for bin storage have been incorporated into the design. These will better contain / conceal bins, so there is less likely to be litter escaping during windy conditions.
- q) Concerns in respect of possible fluvial and pluvial flooding. Officer comment: Potential flooding issues have been investigated by both SEPA and the Council's Flood Risk Management Team. Initial objections from each of these consultees have been addressed by the submission of revised Flood Risk information and changes to the site layout.
- r) Neighbour Notification not received. Officer comment: All recognised postal addresses within a 20m buffer of the site boundary were sent neighbour notification, in accordance with the relevant requirements. One house which had only recently built was not notified as it did not yet have a postal address. However, on being contacted by this household a notification was subsequently sent.

- 4.3 All letters of representation are available for inspection via the Council's eplanning portal which can be accessed through the internet www.wam.highland.gov.uk/wam.

5. CONSULTATIONS

- 5.1 **Forestry Officer: No objection**, subject to conditions in respect of tree planting and tree protection.
- 5.2 **Corporate Address Gazetteer Team: No objection**, advise that a postal address to install services etc. is necessary. As such, the applicant is encouraged to submit

a request for a new address as soon as planning permission has been granted via <https://www.highland.gov.uk/CAG>

- 5.3 **Archaeology: No objection**, advise that an evaluation was carried out across the application area in 2022 and a report submitted to support the application. The results indicate that there is a low archaeological potential and as such no additional mitigation or condition is recommended here. The evaluation report as submitted will be added to the Highland Historic Environment Record
- 5.4 **Transport Planning: No objection**, subject to a condition in respect of a Construction Traffic Management Plan.
- 5.5 **Flood Risk Management Team: No objection**, subject to conditions in respect of finished ground and floor levels.
- 5.6 **SEPA: No objection**, subject to a condition in respect of finished floor levels.
- 5.7 **Scottish Water: No objection**, advise that this proposed development would be fed from their Glendale Water Treatment Works. Capacity cannot currently be confirmed so a Pre-Development Enquiry (PDE) Form should be submitted to Scottish Water via their Customer Portal. It is further advised that there is no public wastewater infrastructure in the vicinity of the site. There is live pipework within the vicinity of the site, but it would be the responsibility of the developer to liaise with Scottish Water to ensure that this infrastructure is safeguarded.

6. DEVELOPMENT PLAN POLICY

The following policies are relevant to the assessment of the application

6.1 National Planning Framework 4 (NPF4) (2023)

Policy 1 - Tackling the Climate and Nature Crises

Policy 2 - Climate Mitigation and Adaptation

Policy 3 - Biodiversity

Policy 4 - Natural Places

Policy 14 - Design, Quality and Place

Policy 22 - Flood Risk and Water Management

Policy 29 - Rural Development

Policy 30 - Tourism

6.2 Highland-wide Local Development Plan (HwLDP) (2012)

28 - Sustainable Design

29 - Design Quality and Place-making

31 - Developer Contributions

36 - Development in the Wider Countryside

44 - Tourist Accommodation

57 - Natural, Built and Cultural Heritage

58 - Protected Species

61 - Landscape
64 - Flood Risk
65 - Waste Water Treatment
66 - Surface Water Drainage

6.3 West Highland and Islands Local Development Plan (WestPlan) (2019)

North West Skye Special Landscape Area

No site-specific policies apply.

6.4 Highland Council Supplementary Planning Policy Guidance

Roads and Transport Guidelines for New Developments (May 2013)
Construction Environmental Management Process for Large Scale Projects
(August 2010)

Developer Contributions (March 2018)

Flood Risk and Drainage Impact Assessment (Jan 2013)

Highland's Statutorily Protected Species (March 2013)

Special Landscape Area Citations (June 2011)

Sustainable Design Guide (Jan 2013)

Trees, Woodlands and Development (Jan 2013)

7. OTHER MATERIAL POLICY CONSIDERATIONS

7.1 Not applicable

8. PLANNING APPRAISAL

8.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.

Determining Issues

8.2 This means that the application requires to be assessed against all policies of the Development Plan relevant to the application, all national and local policy guidance and all other material considerations relevant to the application.

Planning Considerations

8.3 The key considerations in this case are:

- a) compliance with the development plan and other planning policy
- b) siting, design and landscape impact
- c) neighbour amenity
- d) flood risk
- e) access and parking
- f) protected species
- g) trees
- h) biodiversity

- i) any other material considerations

Development plan/other planning policy

- 8.4 All planning applications must now be determined in accordance with the provisions of NPF4 and the existing Local Development Plan, unless material considerations provide justification otherwise. If there is an inconsistency between NPF4 policies and an LDP which was adopted before 13 February 2023, the NPF prevails under Section 24(3) of the 1997 Town and Country Planning (Scotland) Act 1997 (as amended). In this case NPF4 takes precedence over HwLDP Policy 36.
- 8.5 NPF4 Policies 1-3 apply to all development proposals throughout Scotland. When considering development proposals, significant weight will be given to the global climate and nature crises. Development proposals will be sited and designed to minimise lifecycle greenhouse gas emissions as far as possible. Development proposals will contribute to the enhancement of biodiversity, including where relevant, restoring degraded habitats and building and strengthening nature networks and the connections between them. Proposals should also integrate nature-based solutions, where possible.
- 8.6 NPF Policy 4(d) Natural Places states that development proposals which affect a site designated as a Landscape Area in the Local Development Plan will only be supported where development will not have significant adverse effects on the integrity of the area or the qualities for which it has been identified.
- 8.7 NPF4 Policy 14(c) Design, Quality and Place states that development proposals that are poorly designed, or detrimental to the amenity of the surrounding area will not be supported.
- 8.8 NPF4 Policy 22(c) Flood Risk and Water Management requires that development proposals will:
 - i. not increase the risk of surface water flooding to others, or itself be at risk;
 - ii. manage all rain and surface water through sustainable urban drainage systems (SUDS), which should form part of and integrate with proposed and existing blue green infrastructure. All proposals should presume no surface water connection to the combined sewer;
 - iii. seek to minimise the area of impermeable surface.
- 8.9 Under NPF4 Policy 29 Rural Development, development proposals that contribute to the viability, sustainability and diversity of rural communities and local rural economy will be supported, while NPF4 Policy 30 Tourism states that proposals for tourism related development will take into account the contribution made to the local economy.
- 8.10 In this case the Development Plan is also comprised of the West Highlands and Islands Local Development Plan (although this has no site-specific policies of relevance to this application) and the Highland-Wide Local Development Plan, the relevant policies of which focus on siting, design, access and neighbour amenity (policies 28, 29 and 44) and on landscape impact (policies 44, 57 and 61).

- 8.11 The proposal is for demolition works and the erection of a restaurant extension and the erection of self contained holiday units and various ancillary works. Subject to ensuring that the development can adequately address any potential impact on siting, design and landscape impact; neighbour amenity; flood risk; access and parking; protected species; trees; and biodiversity; then proposal would be considered to comply with the Development Plan.

Siting, design and landscape impact

- 8.12 Pre-application advice was provided in relation to the issue of whether the landscape setting has sufficient capacity to absorb the amount of development proposed. The scheme at that stage proposed 7 identical Bothies in addition to two identically sized Longhouses as well as the Service building. Concern was expressed about the visual impact of the twin longhouses, particularly that the two identical buildings immediately adjacent to the existing restaurant would create an impression of overdevelopment. It was recommended that one Longhouse be replaced with a smaller contrasting building. The positioning of four of the 7 Bothies above the Longhouses was also cited as a concern. From the road frontage they would be seen above the two Longhouse buildings and form a line of very regular structures which would increase their visual and landscape impact.
- 8.13 The submitted scheme has responded to this advice by reducing the number of Bothies to six and altering the previously regimented orientations of these buildings to a layout which works much better with the landform. In addition, one of the Longhouses has been reduced in footprint and height, and again the layout of these building has been made less regimented.
- 8.14 It is considered that the changes which have been made from the scheme put forward at the pre-application stage are positive and allow siting to be supported on the basis that the smaller size of development and less regimented layout could be assimilated into the landscape form without adversely affecting the qualities of the North West Skye Special Landscape Area.
- 8.15 The pre-application advice commended the high quality of design. This quality has been continued into the submitted scheme and is supported. The bothies are modestly sized structures which are finished on the walls and roof in natural timber boarding. This material would also be used on the walls of the Longhouses and Service building, while corrugated metal sheeting would be used to roof these three buildings. The colour of this roof finish has not been specified on the submitted drawings but can be controlled by condition to ensure that, like the natural timber boarding wall finish, its appearance is recessive within the landscape setting.
- 8.16 The design of the buildings respects the local vernacular and is acceptable thanks to the low ridge heights, rectangular floorplans with narrow gable widths, and symmetrically pitched 45-degree roof and windows with a largely vertical emphasis.
- 8.17 The individual elements involve forms and styles that have become familiar contemporary features within the Skye vernacular. The Longhouse designs and the Bothy proposals are attractive forms which have received planning permission and found their place in many Skye and Highland locations. Furthermore, the siting and design of the proposal is considered to have a low and acceptable landscape impact

within this part of the North West Skye Special Landscape Area. The extension to the restaurant and alterations to the House Over-by are modern enhancements, which raise no design concerns on the basis that they complement the existing buildings.

Neighbour Amenity

- 8.18 The nearest existing or planned dwelling house lies approximately 62m to the southwest of the nearest proposed building, namely the Service building. This is an extensive degree of separation, which is considered more than sufficient to safeguard the privacy and amenity of this existing property.
- 8.19 A footnote which advises the applicant that the proposed external Air Source Heat Pumps must be installed in accordance with the Microgeneration Certification Scheme standards can be applied. These standards require that noise from this unit is within acceptable limits.

Flood risk

- 8.20 SEPA initially objected on the basis that insufficient information had been provided to enable an accurate assessment of fluvial flood risk within the site. Following the submission of further information SEPA have advised that they have withdrawn their objection. An updated Flood Risk Assessment has been provided (AEG4280_IV55_Isle of Skye - Addendum to Model Report, Rev. A, dated 28 May 2026). This shows a revised site layout which ensures that all new buildings are located outside of the identified flood risk area. Additionally, 50% and 75% watercourse blockage scenarios have been modelled for the 2 proposed footbridges. Bridge 2 has been relocated, and Aegea's modelling shows that for both structures there is unlikely to be an increase in flood risk to any existing or proposed buildings even if a 75% blockage of either footbridge were to occur. Confirmation has been provided that all buildings will have a freeboard of no less than 300mm between the finished ground level and finished floor level. A condition in this respect can be applied.
- 8.21 The Flood Risk Management Team (FRMT) initially objected in July 2025 on the basis of insufficient information in respect of flood risk, drainage and the riparian buffer. This objection was withdrawn in October 2025, but a further response was sought following an objection from SEPA (discussed above) which raised concerns about the adequacy of the submitted hydraulic modelling. Following the submission of a Flood Risk Addendum and revised layout, FRMT have advised that it has no objection on the grounds of flood risk because:
- a) all buildings would now be placed outwith the now acceptably defined flood risk areas;
 - b) new footbridge structures (as shown on the latest plans) are demonstrated not to cause new, unacceptable flood risk; and
 - c) the FRA Addendum confirms that new buildings would have a finished floor level freeboard of 300mm above the surrounding finished ground levels.
- 8.22 The proposed Longhouses access road is shown to no longer conflict with the adjacent watercourse. However, a significant part lies within the riparian buffer zone

of the watercourse. Such riparian buffers are normally defined as an area of land 6m wide, from the top of each watercourse bank, which should be preserved, free of significant development. The Applicant has provided site sections and plan information in the 'Proposed Site Section' drawing, 1009_PL_108 rev A, highlighting the interaction between the proposed road and the riparian buffer. The information shows that there would be no level changes due to the proposals within the 6m wide riparian buffer area. Drawing, 'Landscape Layout', 1627-100 rev P10 shows boulders would be placed alongside the proposed access road and it appears that this would protect the riparian buffer from vehicle overrun and parking etc. Given the above points, the FRMT does not object to the encroachment into the riparian buffer, subject to conditions in respect of finished ground and floor levels.

Access and parking

- 8.23 Transport Planning provided consultation responses in May, August, and October 2025 which raised concerns about the adequacy of parking provision and the risk of overspill onto the public road verge, the impact of construction traffic on the local road network, drainage arrangements affecting the public road, and opportunities for minor improvements to passing places and verge protection.
- 8.24 A further response in December 2025 objected to the application following a review of the submitted drawings which identified a concern regarding the proximity of the Longhouses access to an adjacent watercourse. Transport Planning required the submission of revised drawings to show adequate separation of the access and service bay from this watercourse. Concern was also expressed about parking demand and overspill. While the proposal includes increased parking provision, historic overspill issues indicate further mitigation would be appropriate. To address this matter, Transport Planning sought a further parking area opposite the restaurant (i.e. on the eastern side of the B884), comprising approximately six or seven bays laid perpendicular to the carriageway, to be shown on an amended site layout plan.
- 8.25 Transport Planning's final consultation response of June 2026 notes the updated Flood Risk Assessment and Drainage Strategy. It is also noted that the proposed service bay and associated Longhouses access have been repositioned further away from the existing culvert and watercourse, which addresses their previous concerns on this matter. The submitted information indicates that surface water will be managed within the site through appropriate systems, and that the development does not rely on the public road network for drainage. No discharge to the public road verge is proposed and, on this basis, there are no anticipated adverse impacts on the structure or operation of the public road.
- 8.26 Transport Planning note that the applicant has not taken forward their recommendation to provide additional formal parking provision on land within their control on the opposite side of the public road. This was suggested as a potential means of reducing the likelihood of overspill parking. The site has historically experienced high visitor demand and there remains potential for informal parking on the public road verge during peak periods. Parking on the verge is not acceptable due to the associated road safety implications, its potential to obstruct passing and servicing vehicles, and the risk of damage to the carriageway edge. Notwithstanding this, Transport Planning advise that the level of risk involved is not considered sufficient to warrant objection. However, they state that the matter will require

ongoing site management and active monitoring and will be subject to enforcement action where necessary. Should overspill parking occur, further mitigation measures will be required in consultation with the Local Roads Area Office. A detailed Construction Traffic Management Plan (CTMP) will still be required prior to commencement of development and should be secured by condition.

- 8.27 Notwithstanding this advice from Transport Planning, the Planning Service consider it preferable to deal with this issue of potential overspill parking on the road verge proactively. Accordingly, a condition (No.3) has been discussed with the Agent which would prevent any development of the Phase 3 works (namely the two Longhouses, the Services building and the three north westerly Bothies – as identified in the Framework Construction Traffic Management Plan) until a six space parking area has been formed in the area currently used as informal parking across the road verge opposite the restaurant.

Protected species

- 8.28 A preliminary ecological assessment (PEA) was carried out. The recommendations of the assessment form part of the conditions recommended below. The PEA included a Preliminary Bat survey which identified the potential for bat roosts within all three of the existing buildings on the site. A second stage survey was undertaken in May of this year which revealed that only the northern elevation of the House Overby contains a roost in its roof space. The second stage survey report states that this would not be impacted by the proposed development and as such the report states that no Bat licence would be required. The submitted PEA states that none of the trees within the site were found to have any potential roosting features (PRFs) for bats.

Trees

- 8.29 The Forestry Officer notes that an Arboricultural Impact Assessment (AIA) and Tree Protection Plan (TPP) have been prepared by Urban-Arb, along with a Tree Planting and Woodland Management Plan (TP & WMP). A separate Landscape Layout has been prepared by the Paul Hogarth Company. The AIA identifies a total of 42 trees which will need to be removed in order to accommodate the proposed development. Of these, 35 trees are considered to be of low quality (BS5837:2012 Category C), with the remaining 7 trees of moderate quality (Category B). To help mitigate for the loss of these trees the TP & WMP lists various Objectives (Section 4) which aim to bring a number of woodland improvements. This includes the expansion of native woodland cover across the site, linking new and existing woodland areas to provide wildlife corridors.
- 8.30 The Forestry Officer comments that the prescriptions given in Section 5 of the TP & WMP are generic, making reference to the Landscape Layout for detail. Unfortunately, this plan does not provide any further detail on species choice, planting density or the size of planting stock. Given the importance of the tree planting and associated biodiversity enhancement, this detail will be required prior to commencement of development. The Landscape Layout provides an acceptable concept plan enabling the detail to be secured by a suspensive condition. The Forestry Team has no objection to the proposed development, subject to conditions

in respect of detailed tree planting and tree protection schemes with their implementation being supervised by a suitably qualified arboricultural consultant.

Biodiversity

- 8.31 It is now a requirement of Planning Policy that all developments must include a proportionate level of biodiversity enhancement. As noted by the Forestry Officer, the planting of new native trees shall provide an element of enhancement. The PEA sets out measures to achieve this on the site, namely the placing of bat bird and bee boxes as well as the planting of native wildflowers and shrubs. A condition (No. 10) can be applied to secure the biodiversity enhancement which has been proposed.

Other material considerations

- 8.32 There are no other material considerations.

Non-material considerations

- 8.33 The issue of any impact on views from existing dwelling houses is not a material planning consideration.

Matters to be secured by Legal Agreement / Upfront Payment

- 8.34 None

9. CONCLUSION

- 9.1 The siting of the proposal is considered acceptable on the basis that the various modestly sized new buildings and small extensions to two existing buildings can be accommodated within the local landscape setting without adversely affecting the qualities of the North West Skye Special Landscape Area. The design of the proposal is considered to be of a high quality, featuring building forms which respect the local vernacular, and which have been accepted in many other parts of Skye. There are no adverse neighbour amenity impacts. The development would not be at risk of fluvial or surface water flooding, subject to conditions in respect of ground and finished floor levels. Access and parking issues have been resolved, subject to a condition which would prevent any informal parking across the road verge. The impact on trees is considered acceptable subject to conditions in respect of new tree planting and existing tree protection. While bats are present on the site the single roost which has been identified would not be impacted by the proposed development
- 9.2 All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

10. IMPLICATIONS

- 10.1 Resource: Not applicable
- 10.2 Legal: Not applicable

10.3 Community (Equality, Poverty and Rural): Not applicable

10.4 Climate Change/Carbon Clever: Not applicable

10.5 Risk: Not applicable

10.6 Gaelic: Not applicable

11. RECOMMENDATION

Action required before decision issued N

Recommended to **APPROVE** the application subject to the following conditions and reasons:

1. The development to which this planning permission relates must commence within THREE YEARS of the date of this decision notice. If development has not commenced within this period, then this planning permission shall lapse.

Reason: In accordance with Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended).

2. No development shall commence until details of a Construction Traffic Management Plan have been submitted to, and approved in writing by, the Planning Authority. Details of the scheme shall include:
 - Clarification of the potential for abnormal loads (e.g., prefabricated elements).
 - Predicted volume and type of construction traffic.
 - Proposals for traffic management, if required.
 - Proposals for consultation with anyone affected by construction traffic.
 - Construction traffic hours of operation.
 - Estimated length of construction period.
 - Measures to protect the public road from mud and debris.
 - Measures to ensure the safety of the public

Thereafter the development shall proceed in accordance with the approved details.

Reason: To protect the integrity of the public and minimise disruption to local residents and road users.

3. No development of the Phase 3 works, as identified within the approved Framework Construction Traffic Management Plan (including the Longhouses, Service building and three Bothies), shall take place until a six space parking area within the yellow-hatched area shown on plan ref. 1009_PL_000 REV C, and within the applicant's ownership, has been fully formed and made available for use in accordance with details that have first been submitted to and approved in writing by the Planning Authority. The

parking area shall thereafter be retained and maintained for the lifetime of the development unless otherwise agreed in writing by the Planning Authority.

Reason: In the interests of road safety and amenity.

4. With reference to the approved Tree Planting and Woodland Management Plan and Landscape Layout, no development shall commence until a detailed tree planting specification has been submitted for the approval of the Planning Authority. Thereafter the development shall proceed in accordance with these approved details.

Reason: In the interests of amenity and biodiversity enhancement.

5. A suitably qualified arboricultural consultant shall be employed to ensure that the approved Tree Protection Plan and Tree Planting Plan are implemented to the agreed standard. Stages requiring supervision are to be agreed with the Planning Authority and certificates of compliance for each stage are to be submitted for approval. No development, including site clearance or demolition, shall commence until an arboricultural consultant has been appointed and a work instruction issued enabling them to undertake the necessary supervision unhindered for the duration of the project. All tree planting must be implemented in full and with the written approval of the Planning Authority prior to first occupation.

Reason: To secure the successful implementation of the approved Tree Protection Plan and Tree Planting Plan.

6. The metal roof finishes on the Longhouse and Service buildings hereby approved shall be coloured either black or dark grey. Any other colour shall require the written approval of the Planning Authority.

Reason: In the interests of visual amenity, to ensure that these buildings are visually recessive within the local landscape setting.

7. The timber board wall finishes throughout the development shall be left natural and shall not be coloured or stained.

Reason: In the interests of visual amenity, to ensure that these buildings are visually recessive within the local landscape setting.

8. Any vegetation clearance shall take place outside of the bird nesting period (outside of 1st March – 31st August), or failing that, following confirmation by a suitably qualified ecologist that nesting birds are absent from the habitats to be cleared.

Reason: To safeguard nesting birds.

9. An invasive species specialist shall be employed to develop an invasive species eradication plan. Any Himalayan Balsam found on site shall be removed carefully during vegetation clearance by hand-pulling.

Reason: To prevent the spread of invasive species.

10. The Biodiversity Enhancement measures set out on approved plan ref. 100 REV P10 and within Section 7.5 of the submitted Preliminary Ecological Analysis shall be implemented in full during the first planting season following commencement of development. For the avoidance of doubt, any trees or plants which within a period of five years from the completion of the development die, for whatever reason are removed or damaged shall be replaced in the next planting season with others of the same size and species.

Reason: To ensure that an appropriate level of biodiversity enhancement is achieved.

11. The development hereby approved shall be constructed such that there is a freeboard of no less than 300mm between the finished ground level and finished floor levels of any new building.

Reason: To help protect the development from any residual flood risk.

12. The development of land within the riparian buffer of the northern watercourse should not result in a change in ground levels within the riparian buffer. The site access road shall be positioned no closer to the watercourse than is shown in 'Proposed Site Section drawing', 1009_PL_108 REV A. Boulders shall be sited along the proposed road's edge, as shown in 'Landscape Layout', 1627-100 rev P10.

Reason: To protect the riparian buffer which offers benefits to flood risk, watercourse access and nature, from detrimental changes to these benefits.

REASON FOR DECISION

All relevant matters have been taken into account when appraising this application. It is considered that the proposal accords with the principles and policies contained within the Development Plan and is acceptable in terms of all other applicable material considerations.

INFORMATIVES

Initiation and Completion Notices

The Town and Country Planning (Scotland) Act 1997 (as amended) requires all developers to submit notices to the Planning Authority prior to, and upon completion of, development. These are in addition to any other similar requirements (such as Building Warrant completion notices) and failure to comply represents a breach of planning control and may result in formal enforcement action.

1. The developer must submit a Notice of Initiation of Development in accordance with Section 27A of the Act to the Planning Authority prior to work commencing on site.

2. On completion of the development, the developer must submit a Notice of Completion in accordance with Section 27B of the Act to the Planning Authority.

Copies of the notices referred to are attached to this decision notice for your convenience.

Flood Risk

It is important to note that the granting of planning permission does not imply there is an unconditional absence of flood risk relating to (or emanating from) the application site. As per Scottish Planning Policy (paragraph 259), planning permission does not remove the liability position of developers or owners in relation to flood risk.

Scottish Water

You are advised that a supply and connection to Scottish Water infrastructure is dependent on sufficient spare capacity at the time of the application for connection to Scottish Water. The granting of planning permission does not guarantee a connection. Any enquiries with regards to sewerage connection and/or water supply should be directed to Scottish Water on 0845 601 8855.

Septic Tanks and Soakaways

Where a private foul drainage solution is proposed, you will require separate consent from the Scottish Environment Protection Agency (SEPA). Planning permission does not guarantee that approval will be given by SEPA and as such you are advised to contact them direct to discuss the matter (01349 862021).

Local Roads Authority Consent

In addition to planning permission, you may require one or more separate consents (such as road construction consent, dropped kerb consent, a road openings permit, occupation of the road permit etc.) from the Area Roads Team prior to work commencing. These consents may require additional work and/or introduce additional specifications and you are therefore advised to contact your local Area Roads office for further guidance at the earliest opportunity.

Failure to comply with access, parking and drainage infrastructure requirements may endanger road users, affect the safety and free-flow of traffic and is likely to result in enforcement action being taken against you under both the Town and Country Planning (Scotland) Act 1997 and the Roads (Scotland) Act 1984.

Further information on the Council's roads standards can be found at: <http://www.highland.gov.uk/yourenvironment/roadsandtransport>

Application forms and guidance notes for access-related consents can be downloaded from:

http://www.highland.gov.uk/info/20005/roads_and_pavements/101/permits_for_working_on_public_roads/2

Mud and Debris on Road

Please note that it is an offence under Section 95 of the Roads (Scotland) Act 1984 to allow mud or any other material to be deposited, and thereafter remain, on a public road from any vehicle or development site. You must, therefore, put in place a strategy for dealing with any material deposited on the public road network and maintain this until development is complete.

Construction Hours and Noise-Generating Activities

You are advised that construction work associated with the approved development (incl. the loading/unloading of delivery vehicles, plant or other machinery), for which noise is audible at the boundary of the application site, should not normally take place outwith the hours of 08:00 and 19:00 Monday to Friday, 08:00 and 13:00 on Saturdays or at any time on a Sunday or Bank Holiday in Scotland, as prescribed in Schedule 1 of the Banking and Financial Dealings Act 1971 (as amended).

Work falling outwith these hours which gives rise to amenity concerns, or noise at any time which exceeds acceptable levels, may result in the service of a notice under Section 60 of the Control of Pollution Act 1974 (as amended). Breaching a Section 60 notice constitutes an offence and is likely to result in court action.

If you wish formal consent to work at specific times or on specific days, you may apply to the Council's Environmental Health Officer under Section 61 of the 1974 Act. Any such application should be submitted after you have obtained your Building Warrant, if required, and will be considered on its merits. Any decision taken will reflect the nature of the development, the site's location and the proximity of noise sensitive premises. Please contact env.health@highland.gov.uk for more information.

Protected Species – Halting of Work

You are advised that work on site must stop immediately, and NatureScot must be contacted, if evidence of any protected species or nesting/breeding sites, not previously detected during the course of the application and provided for in this permission, are found on site. For the avoidance of doubt, it is an offence to deliberately or recklessly kill, injure or disturb protected species or to damage or destroy the breeding site of a protected species. These sites are protected even if the animal is not there at the time of discovery. Further information regarding protected species and developer responsibilities is available from NatureScot: <https://www.nature.scot/professional-advice/protected-areas-and-species/protected-species>

Air Source Heat Pumps

The external Air Source Heat Pumps require to be installed in accordance with the Microgeneration Certification Scheme 020: Planning Standards for Permitted Development of Wind Turbines and Air Source Heat Pumps on Domestic Properties.

Signature: Bob Robertson

Designation: pp. Area Planning Manager North

Author: Graham Sharp

Background Papers: Documents referred to in report and in case file.

Relevant Plans:

- Plan 1 - 1009_PL_000 REV C- LOCATION PLAN
- Plan 2 - 1009_PL_101 REV C - PROPOSED SITE LAYOUT PLAN - CONTEXT
- Plan 3 - 1009_PL_104 REV E - PROPOSED SITE LAYOUT PLAN - ACCESS
- Plan 4 - 1009_PL_103 REV C - PROPOSED SITE LAYOUT PLAN - ACCESS LEVEL
- Plan 5 - 1009_PL_421 REV B - PROPOSED ELEVATION PLAN - LONGHOUSE A
- Plan 6 - 1009_PL_431 REV B - PROPOSED ELEVATION PLAN - LONGHOUSE B
- Plan 7 - 1009_PL_102 REV C - PROPOSED SITE LAYOUT PLAN - ROOF LEVEL
- Plan 8- 23.1823-NAR-XX-XX-DR-C-9400 REV P04 - DRAINAGE LAYOUT PLAN
- Plan 9 - 100 REV P10 - LANDSCAPING PLAN
- Plan 10 - 1009_PL_108 REV A - SITE SECTION PLAN
- Plan 11 - 1009_PL_107 REV A - SITE LAYOUT PLAN - COURTYARD ACCESS
- Plan 12 - 002 - TREE PROTECTION PLAN
- Plan 13 - 1009_PL_051 REV A - GROUND FLOOR PLAN - DEMOLITION - HOUSE OVER- BY
- Plan14 - 1009_PL_050 REV A - GROUND FLOOR PLAN - DEMOLITION - RESTAURANT.
- Plan 15 - 1009_PL_211 REV A - GROUND FLOOR PLAN - PROPOSED - HOUSE OVER-BY
- Plan16 - 1009_PL_212 REV A - PROPOSED ROOF PLAN - HOUSE OVER-BY
- Plan 17 - 1009_PL_201 REV A - GROUND FLOOR PLAN - PROPOSED – RESTAURANT
- Plan18 - 1009_PL_202 REV A - FIRST FLOOR PLAN - PROPOSED - RESTAURANT
- Plan 19 - 1009_PL_203 REV A - PROPOSED ROOF PLAN - RESTAURANT
- Plan 20 - 1009_PL_221 REV A - GROUND FLOOR PLAN - PROPOSED – LONGHOUSE A
- Plan 21 - 1009_PL_222 REV A - FIRST FLOOR PLAN - PROPOSED – LONGHOUSE A

Plan 22 - 1009_PL_223 REV A - PROPOSED ROOF PLAN - LONGHOUSE A

Plan 23 - 1009_PL_231 REV A - GROUND FLOOR PLAN - PROPOSED - LONGHOUSE B

Plan 24 - 1009_PL_232 REV A - PROPOSED ROOF PLAN - LONGHOUSE B

Plan 25 - 1009_PL_241 REV A - PROPOSED GENERAL PLAN - BOTHY 01

Plan 26 - 1009_PL_242 REV A - PROPOSED GENERAL PLAN - BOTHY 02

Plan 27 - 1009_PL_243 REV A - PROPOSED GENERAL PLAN - BOTHY 03

Plan 28 - 1009_PL_244 REV A - PROPOSED GENERAL PLAN - BOTHY 04

Plan 29 - 1009_PL_245 REV A - PROPOSED GENERAL PLAN - BOTHY 05

Plan 30 - 1009_PL_246 REV A - PROPOSED GENERAL PLAN - BOTHY 06

Plan 31 - 1009_PL_301 REV A - PROPOSED SECTION PLAN - RESTAURANT

Plan 32 - 1009_PL_302 REV A - PROPOSED SECTION PLAN - RESTAURANT

Plan 33 - 1009_PL_311 REV A - PROPOSED SECTION PLAN - HOUSE OVER-BY

Plan 34 - 1009_PL_312 REV A - PROPOSED SECTION PLAN - HOUSE OVER-BY

Plan 35 - 1009_PL_321 REV A - PROPOSED SECTION PLAN - LONGHOUSE A

Plan 36 - 1009_PL_331 REV A - PROPOSED SECTION PLAN - LONGHOUSE B

Plan 37 - 1009_PL_351 REV A - SITE SECTION PLAN - AA

Plan 38 - 1009_PL_352 REV A - SITE SECTION PLAN - BB

Plan 39 - 1009_PL_401 REV A - PROPOSED ELEVATION PLAN - RESTAURANT

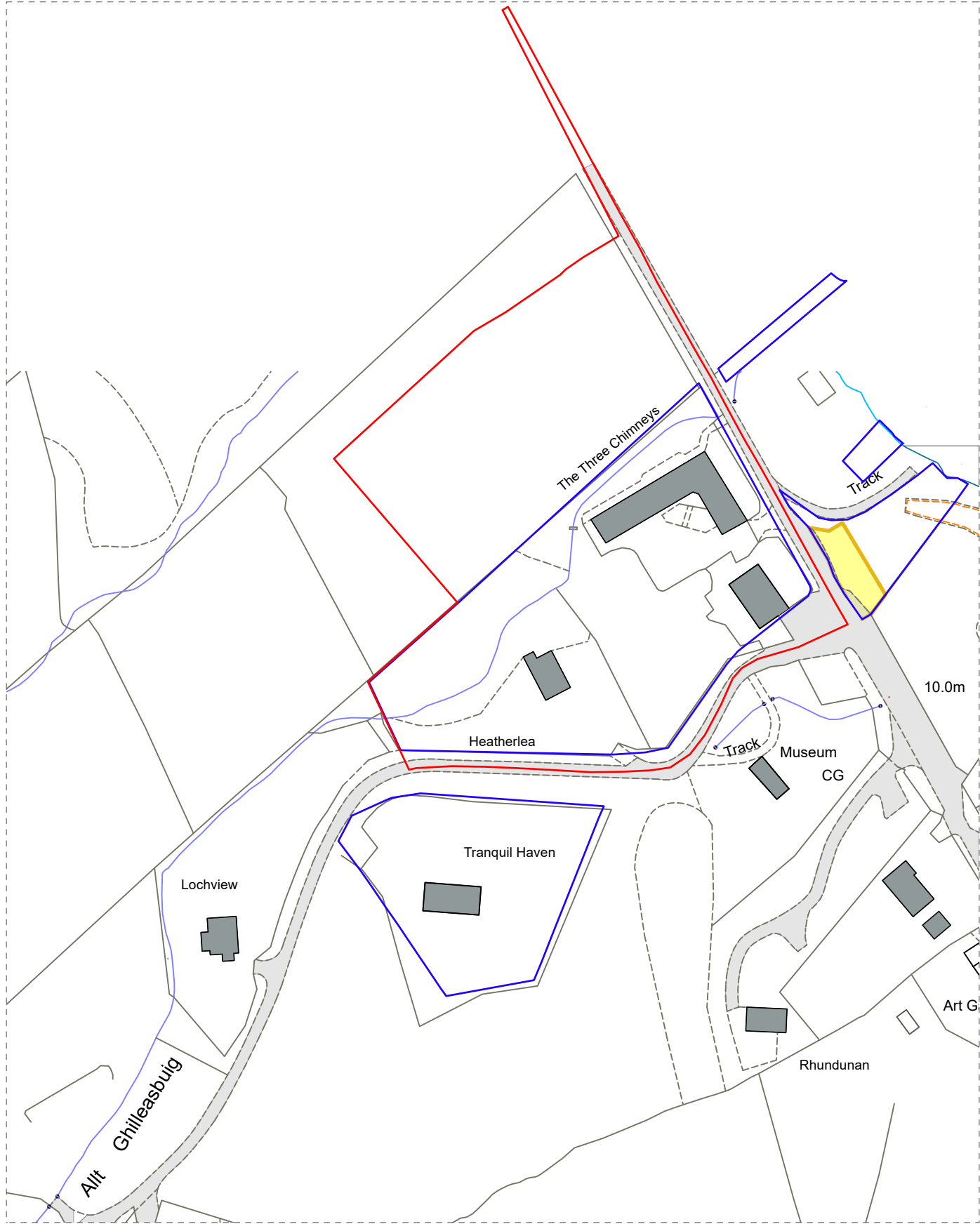
Plan 40 - 1009_PL_402 REV A - PROPOSED ELEVATION PLAN - RESTAURANT

Plan 41 - 1009_PL_411 REV A - PROPOSED ELEVATION PLAN - HOUSE OVER-BY

Plan 42 - 1009_PL_412 REV A - PROPOSED ELEVATION PLAN - HOUSE OVER-BY

Plan 43 - 1009_PL_413 REV A - PROPOSED ELEVATION PLAN -
HOUSE OVER-BY

Plan 44 - 1009_PL_213 REV A - GENERAL PLAN - BICYCLE
STORAGE AND PARKING



1 Site Location Plan
Scale: 1:1500



2 Aerial Photograph of Site

Key:
Application Boundary
Ownership Boundary



Site Blue Line Area:
11,000m²
Site Red Line Area:
13,340m²
Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT



Glasgow
1.06 McLellan Works,
274 Sauciehall Street,
Glasgow G2 3EH
+44 (0)141 550 1401

Skye
Fas, Sabhal Mòr Ostaig
Sleat, Isle of Skye
IV44 8RQ
+44 (0)1471 833 300

C	25/06/2026	Future parking provision noted
B	June 2025	Parking spaces added
REV	DATE	NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

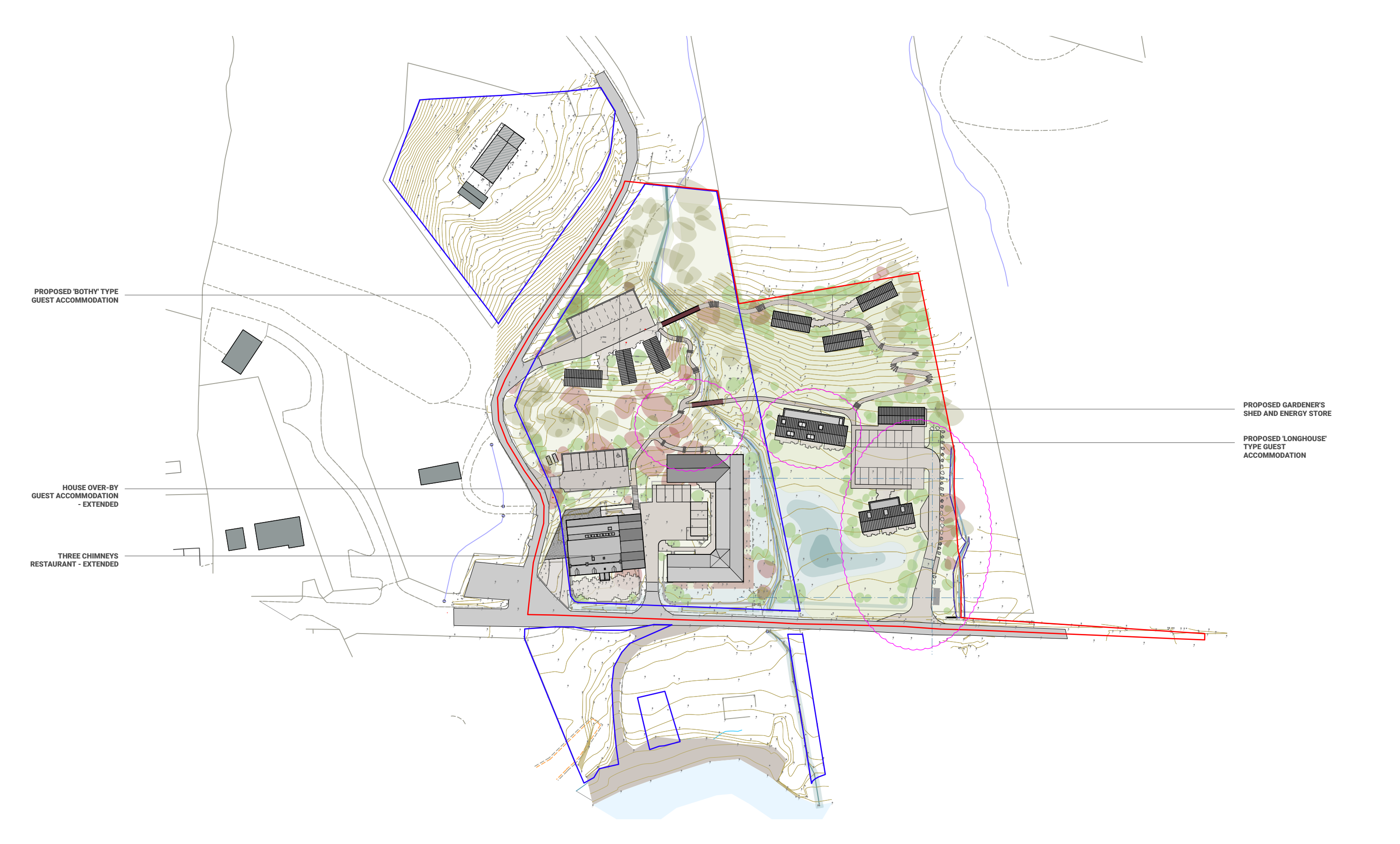
DRAWING TITLE
SITE LOCATION PLAN

DRAWING NUMBER
1009_PL_000

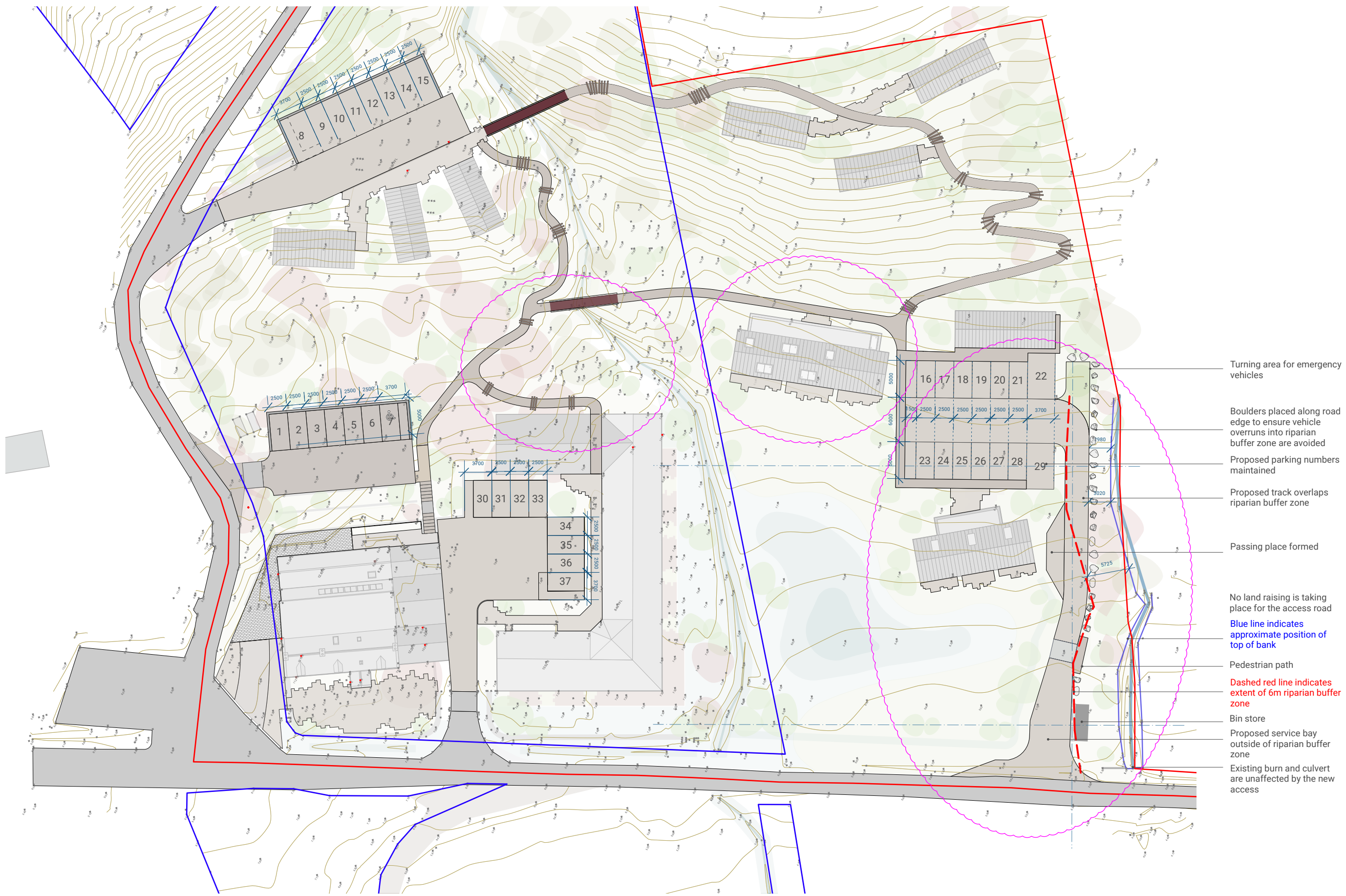
DRAWN / CHECKED
JF / RF

DATE
21/02/2025

SCALE @A3
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Key: Application Boundary Ownership Boundary Amendments highlighted			0203040 m Site Blue Line Area: 11,000m² Site Red Line Area: 13,340m² Site Address: The Three Chimneys Colbost Dunvegan Isle of Skye IV55 8ZT				
Dualchas.	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fàs, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	C05/05/2026 Relocation of Longhouses, Lower Pedestrian Bridge and North access road	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_101_C	DATE 21/02/2025
			BJune 2025 Parking spaces added	NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED CONTEXT PLAN	DRAWN / CHECKED JF / RF	SCALE @A3 1:1000
			REVDATE NOTE				



- Turning area for emergency vehicles
- Boulders placed along road edge to ensure vehicle overruns into riparian buffer zone are avoided
- Proposed parking numbers maintained
- Proposed track overlaps riparian buffer zone
- Passing place formed
- No land raising is taking place for the access road
- Blue line indicates approximate position of top of bank
- Pedestrian path
- Dashed red line indicates extent of 6m riparian buffer zone
- Bin store
- Proposed service bay outside of riparian buffer zone
- Existing burn and culvert are unaffected by the new access

Key:

Application Boundary

Ownership Boundary

Amendments highlighted

0101520

m

N

Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT



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E	05/05/2026	Relocation of Longhouses and Lower Pedestrian Bridge
D	03/03/2026	Track altered and boulders added
REV	DATE	NOTE

PROJECT NAME

THE THREE CHIMNEYS

NOTES

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DRAWING SET

PLANNING

DRAWING TITLE

PROPOSED SITE PLAN - ACCESS

DRAWING NUMBER

1009_PL_104_E

DRAWN / CHECKED

JF / RF

DATE

21/02/2025

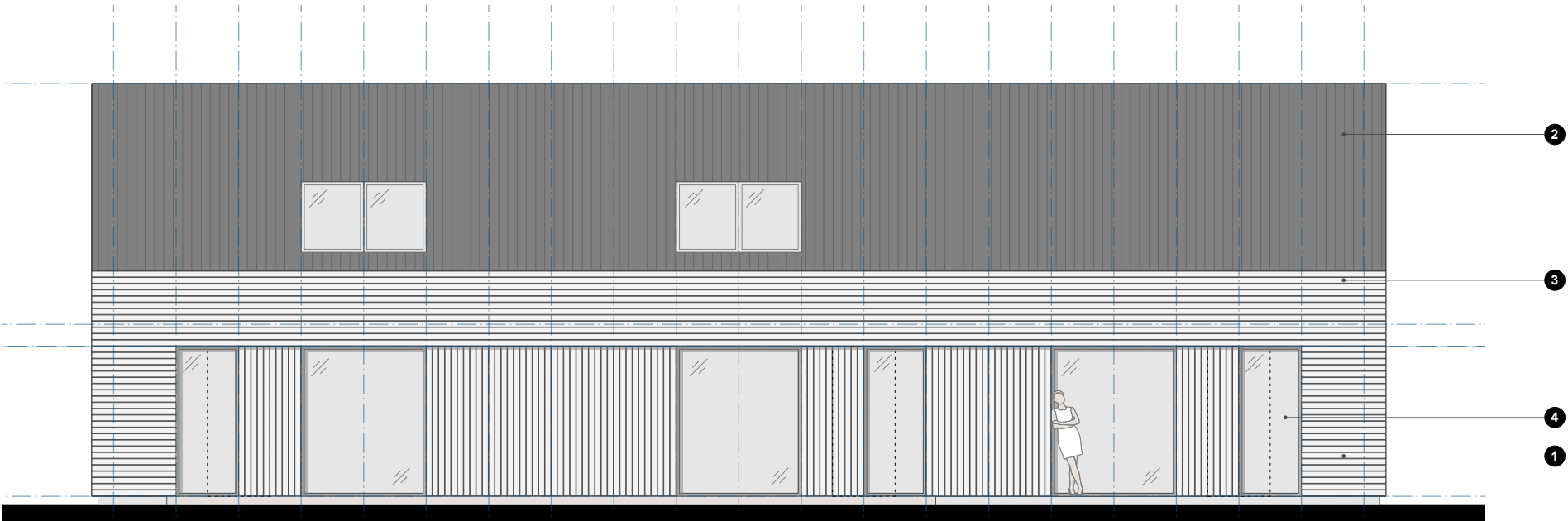
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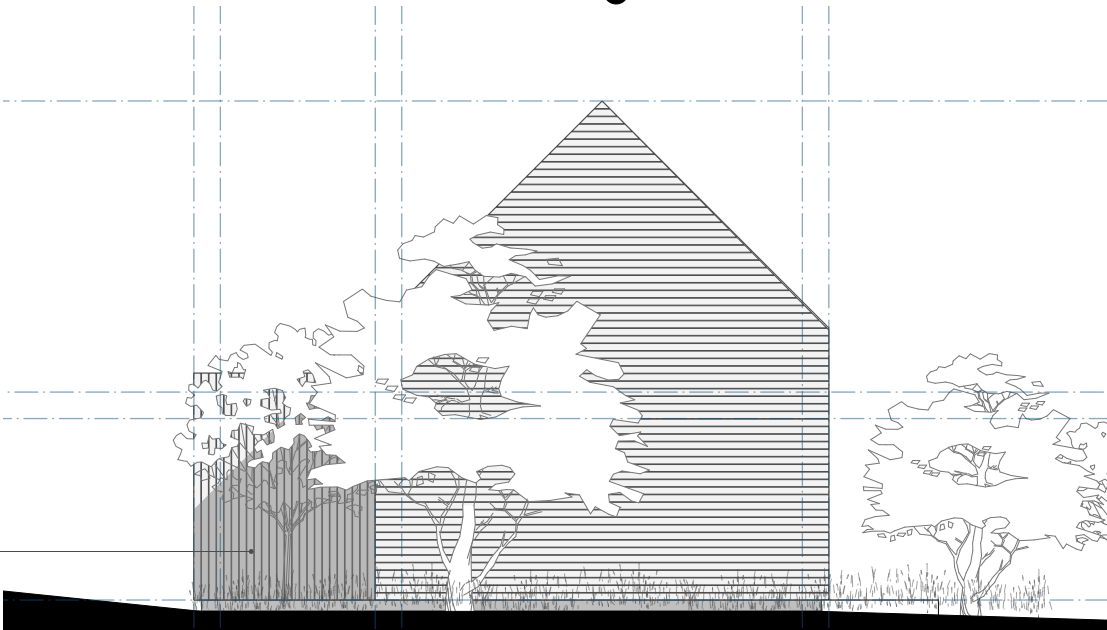


Key: Application Boundary Ownership Boundary Amendments highlighted			0		
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- LONGHOUSE MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CORRUGATED METAL ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS



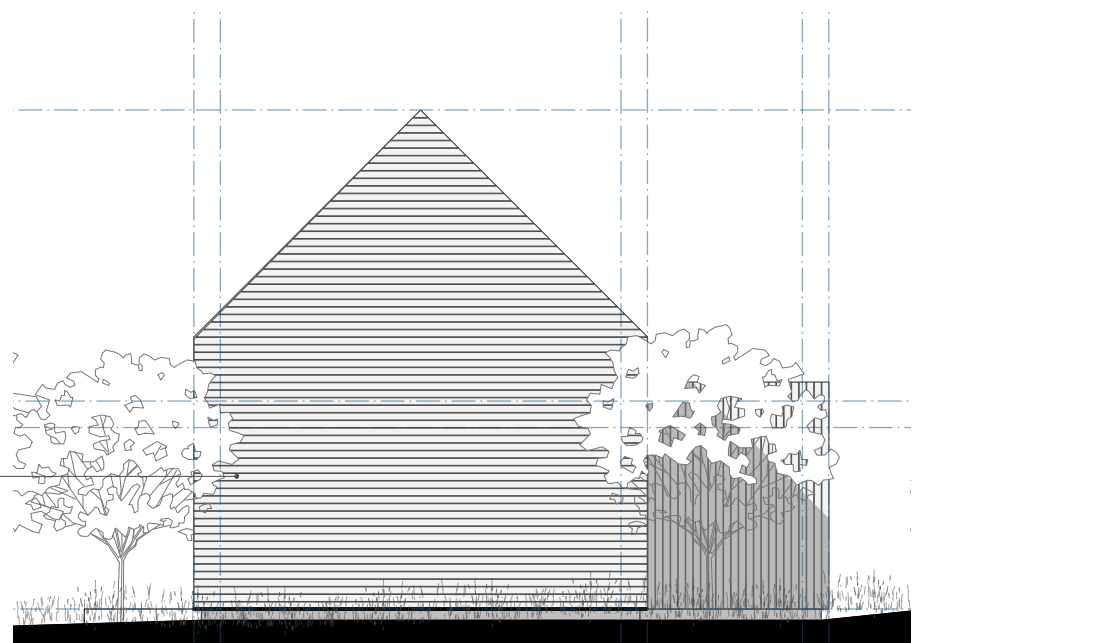
1 Longhouse Type A - Northeast Elevation
Scale: 1:100



2 Longhouse Type A - Southeast Elevation
Scale: 1:100



3 Longhouse Type A - Southwest Elevation
Scale: 1:100



4 Longhouse Type A - Northwest Elevation
Scale: 1:100



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
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Isle of Skye
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B 13/02/2026 MATERIALS NOTE ADDED
A Feb 2025 PLANNING ISSUE
REV DATE NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

DRAWING TITLE
PROPOSED ELEVATIONS -
LONGHOUSE A

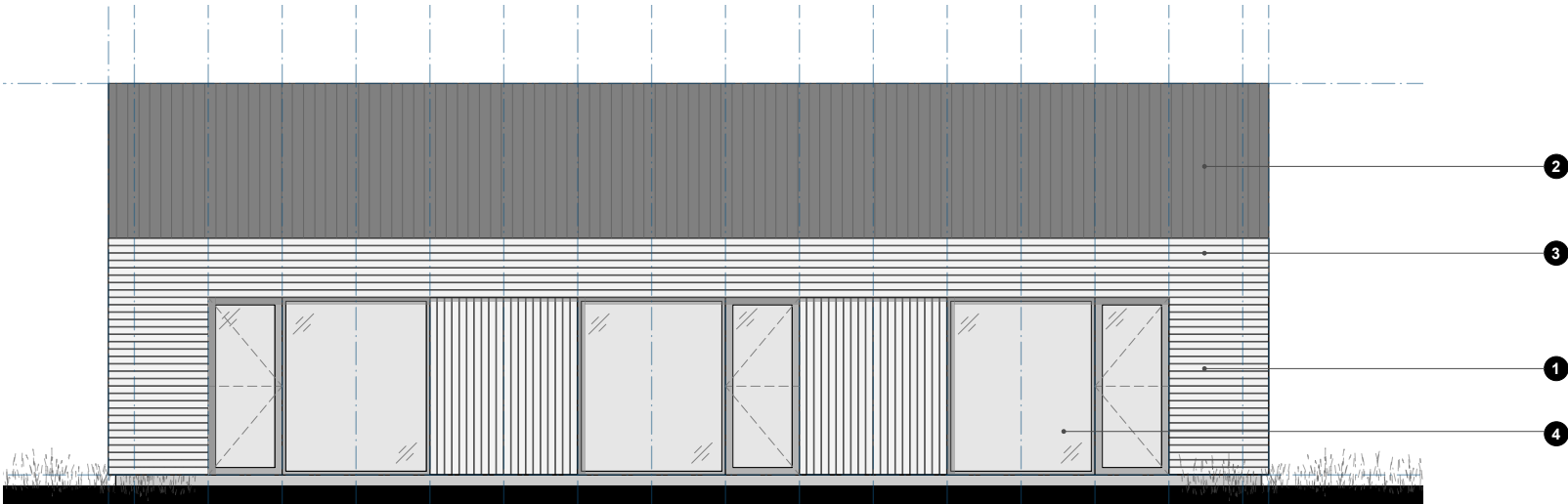
DRAWING NUMBER
1009_PL_421

DRAWN / CHECKED
JF / EDS / RF

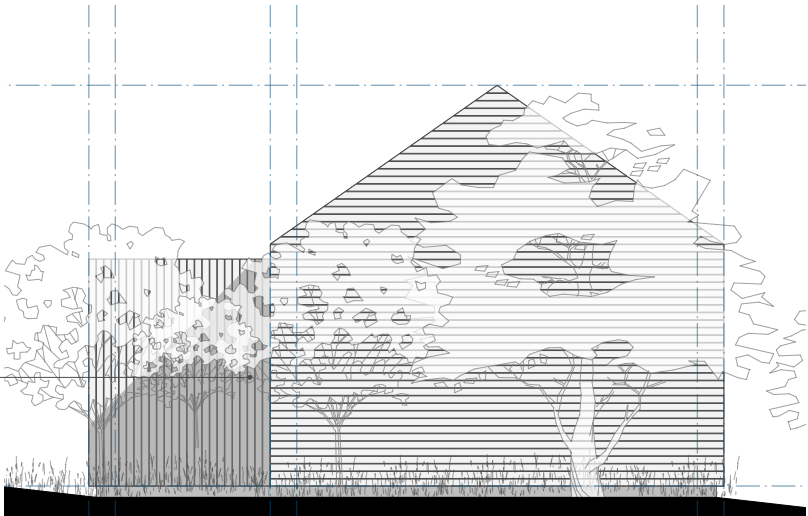
DATE
21/02/2025

SCALE @A3
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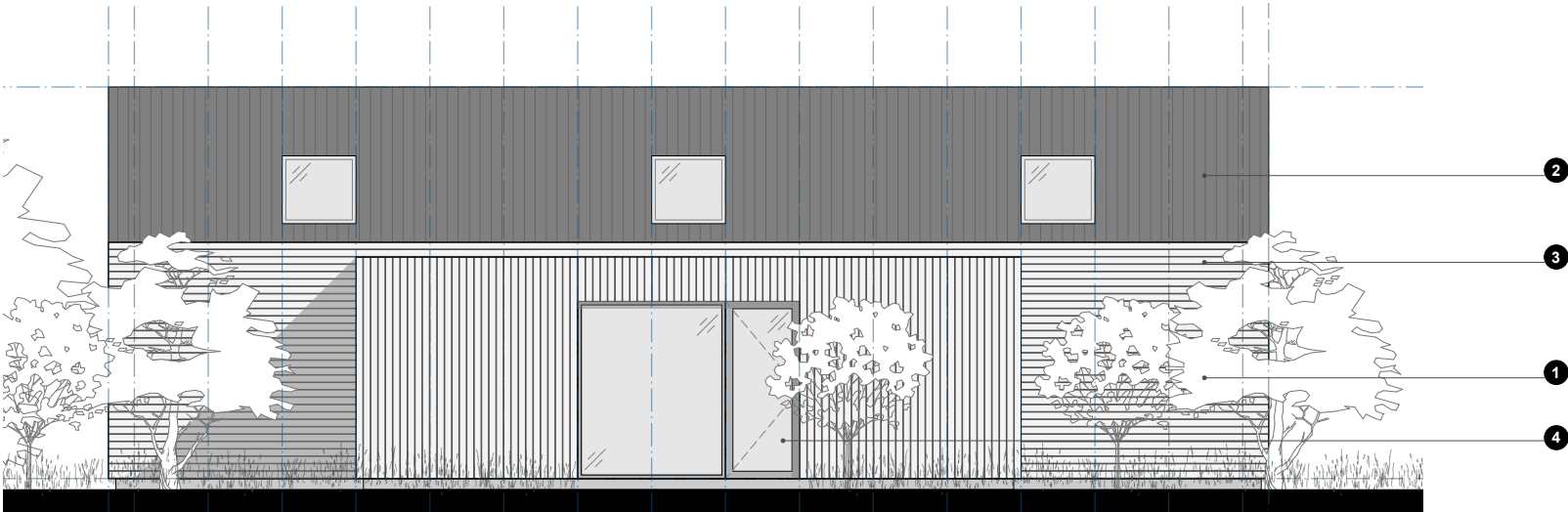
- LONGHOUSE MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CORRUGATED METAL ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS



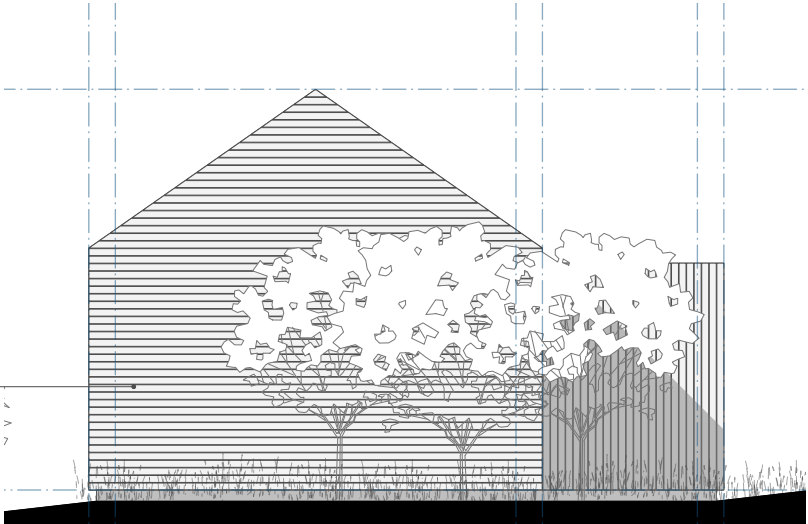
1 Longhouse Type B - Northeast Elevation
Scale: 1:100



2 Longhouse Type B - Southeast Elevation
Scale: 1:100



3 Longhouse Type B - Southwest Elevation
Scale: 1:100



4 Longhouse Type B - Northwest Elevation
Scale: 1:100



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
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IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	B Feb 2026 MATERIALS NOTE ADDED A Feb 2025 PLANNING ISSUE REV DATE NOTE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_431	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED ELEVATIONS - LONGHOUSE B	DRAWN / CHECKED JF / EDS / RF	SCALE @A3 1:100



Existing trees
Refer to Arboriculturalist plans for reference

Proposed trees
To be confirmed as part of landscaping proposals

Removed trees
To be confirmed as part of landscaping proposals

UPPER PEDESTRIAN BRIDGE

PARKING AREA FORMED FOR BOTHY GUESTS

SIX SELF CONTAINED 'BOTHY' ACCOMMODATION CONSTRUCTED TO REAR OF SITE

EXISTING WATERCOURSE

LOWER PEDESTRIAN BRIDGE

UNADOPTED ROAD LEADING TO NEIGHBOURING HOUSING AND NEW 'BOTHY' ACCOMMODATION

NETWORK OF PEDESTRIAN PATHS FORMED ON SITE

LPG CYLINDERS FOR KITCHEN

PARKING AREA FORMED TO REAR OF RESTAURANT

HOUSE OVER-BY GUEST ACCOMMODATION EXTENDED TO REAR

COURTYARD PARKING FOR ACCOMMODATION ALTERED TO PROVIDE PARKING FOR 8 CARS WITH TAXI DROP-OFF

SEPTIC TANK REMOVED

THREE CHIMNEYS RESTAURANT EXTENDED TO SIDE

B884 DUNVEGAN TO GLENDALE ROAD

GARDENER'S SHED AND ENERGY STORE

LONGHOUSE A - GUEST ACCOMMODATION

ADDITIONAL PARKING FORMED FOR NEW LONGHOUSE ACCOMMODATION

LONGHOUSE B - GUEST ACCOMMODATION

SWALE AND WETLAND PLANTING

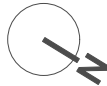
REFUSE AND RECYCLING STORE

NEW SBD2 TYPE ACCESS FORMED WITH SERVICE BAY
REFER TO TETRATECH INFORMATION FOR VISIBILITY SPLAYS

Key:

- Application Boundary
- Ownership Boundary
- Amendments highlighted

0 10 15 20 m



Site Blue Line Area: 11,000m²

Site Red Line Area: 13,340m²

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C	05/05/2026	Relocation of Longhouses, Lower Pedestrian Bridge and North access road
B	June 2025	Parking spaces added
REV	DATE	NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

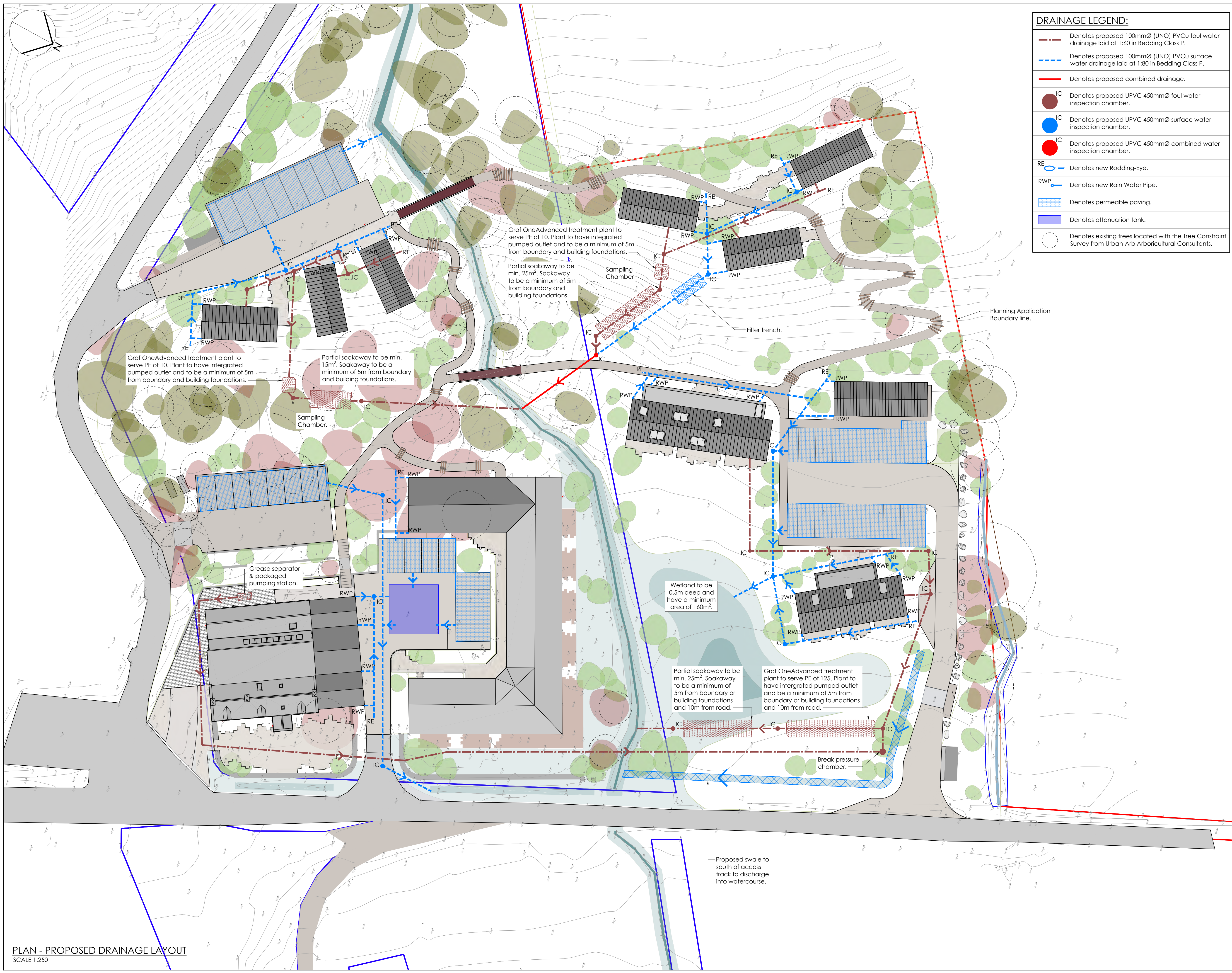
DRAWING TITLE
PROPOSED SITE PLAN - ROOF LEVEL

DRAWING NUMBER
1009_PL_102_C

DRAWN / CHECKED
JF / RF

DATE
21/02/2025

SCALE @A3
1:500



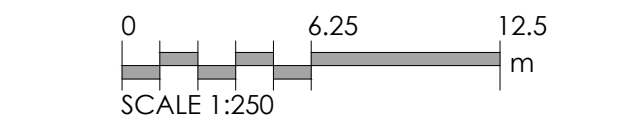
DRAINAGE LEGEND:	
	Denotes proposed 100mmØ (UNO) PVCu foul water drainage laid at 1:60 in Bedding Class P.
	Denotes proposed 100mmØ (UNO) PVCu surface water drainage laid at 1:80 in Bedding Class P.
	Denotes proposed combined drainage.
	Denotes proposed UPVC 450mmØ foul water inspection chamber.
	Denotes proposed UPVC 450mmØ surface water inspection chamber.
	Denotes proposed UPVC 450mmØ combined water inspection chamber.
	Denotes new Rodding-Eye.
	Denotes new Rain Water Pipe.
	Denotes permeable paving.
	Denotes attenuation tank.
	Denotes existing trees located with the Tree Constraint Survey from Urban-Arb Arboricultural Consultants.

DO NOT SCALE FROM THIS DRAWING. WORK TO FIGURED DIMENSION ONLY.

- NOTES**
- All NARRO drawings are to be read in conjunction with the relevant NARRO Specification and all relevant Architect's and Service Engineer's drawings and Specifications.
 - All dimensions and setting out to be confirmed by the Architect.

CDM - RESIDUAL RISKS

There are considered to be no unusual residual risks associated with the structural aspects of this project.



PD4	Updated Layout.	DT	BM	13/05/26
P03	Revised as Clouded.	DT	BM	18/06/25
PD2	Updated for Planning.	DT	BM	12/06/25
P01	Issued for Planning.	DT	BM	20/02/25
Rev	Description	Chk	Dm	Date

Status

PLANNING

NARRO

Edinburgh | Glasgow | Inverness | Stirling | Aberdeen | Newcastle

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+44 1463 216060
Wwww.narroassociates.com | Email@narroassociates.com

Client
THE WEE HOTEL COMPANY

Architect
DUALCHAS

Job Title
THE THREE CHIMNEYS COLBOST ISLE OF SKYE

Sheet Title
DRAINAGE LAYOUT

Project Reference: 23.1823

Drawn by BM	Designed DT	Checked DT
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Scale @ A1
AS NOTED

Date
NOVEMBER 2024

File Name 23.1823-NAR-XX-XX-DR-C-9400	Revision P04
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KEY

Site Boundary

Existing River

Existing Trees Retained

Proposed Native Tree Planting

Existing Tree Removed

Proposed Timber Bridge

Proposed Timber Steps

Proposed Seating Areas

Existing Dry Stone Wall

Proposed Dry Stone Wall

Proposed Retaining Wall

Geomodular Green Wall

Proposed Bollard

Proposed Removable Bollard

Proposed Metal Pedestrian Estate Gate

Proposed Timber Gate

Proposed Timber Screening Fence

Proposed Metal Estate Fence

Proposed Post and Wire Fence

Existing Apshalt Retained

Proposed Apshalt

Proposed Cattle Grid

Proposed Natural Stone Slabs

Proposed Natural Stone Paving Setts

Proposed Natural Stone Cube Setts with permeable joints

Proposed Permeable Concrete Paving

Proposed Stone Paved Terrace

Proposed Resin Bound Path

Proposed Self Binding Gravel

Proposed Boulders

Proposed Native Hedgerow Mix

Proposed Herb Garden Planting Mix

Proposed Native HOB Planting Mix

Proposed Native Highland Planting Mix

Proposed Native Woodland Planting Mix

Proposed Woodland Understorey Seed Mix

Proposed Highland Grass Seed Mix

Proposed Wetland Grass Seed Mix

Existing Swale

Proposed Swale

Proposed Swale

notes

Do not scale from drawing, use figured dimensions only.
All dimensions are to be checked on site by contractor prior to commencement of all work.
Discrepancies should be reported immediately.
This drawing is to be read in conjunction with all other TPHC drawings and specification.
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revision	description	date	author
P09	Landscape Layout for Planning	19/06/2025	AB
P10	Layout updated for planning to reflect amended building & bridge locations	04/06/2026	AB

N

0m

1-250

25m

the paul hogarth company

LANDSCAPE ARCHITECTURE / URBAN DESIGN / PLANNING

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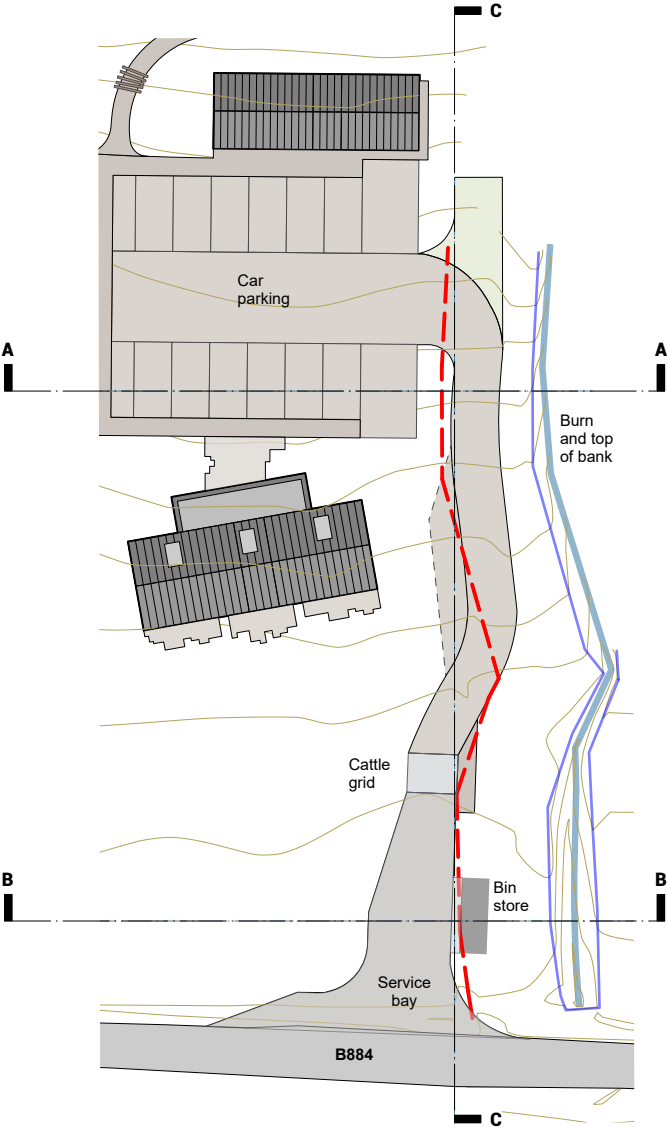
created	20/01/2025	drawn	AB	checked	GS	scale @ A1	1:250
project number	1627	drawing number	100	revision	P10		

client	The Wee Hotel Company
project	The Three Chimneys Expansion
drawing	Landscape Layout
status	PLANNING

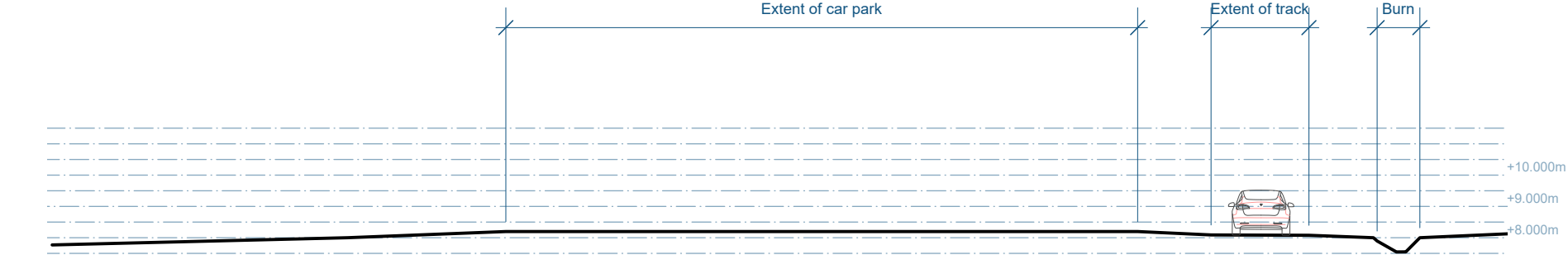
NOTE: Ground works other than forming the new track & bin store to be avoided within the 6m wide riparian buffer zone indicated by the dashed red line.

New track formed on existing ground. No raising or lowering of ground levels is proposed within the riparian buffer zone.

Average gradient of service bay approx. 1.5% (1 in 36)
Average gradient of track approx. 6.5% (1 in 9).
Proposed track to be provided with a camber of 1.5% to fall towards burn.



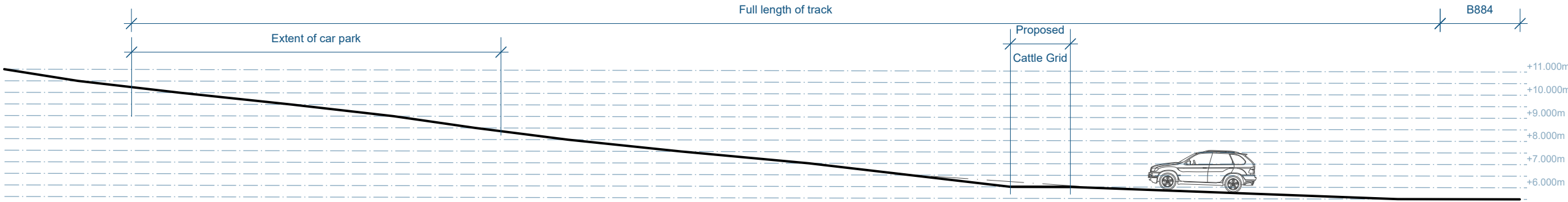
1 Proposed Access track
Scale: 1:500



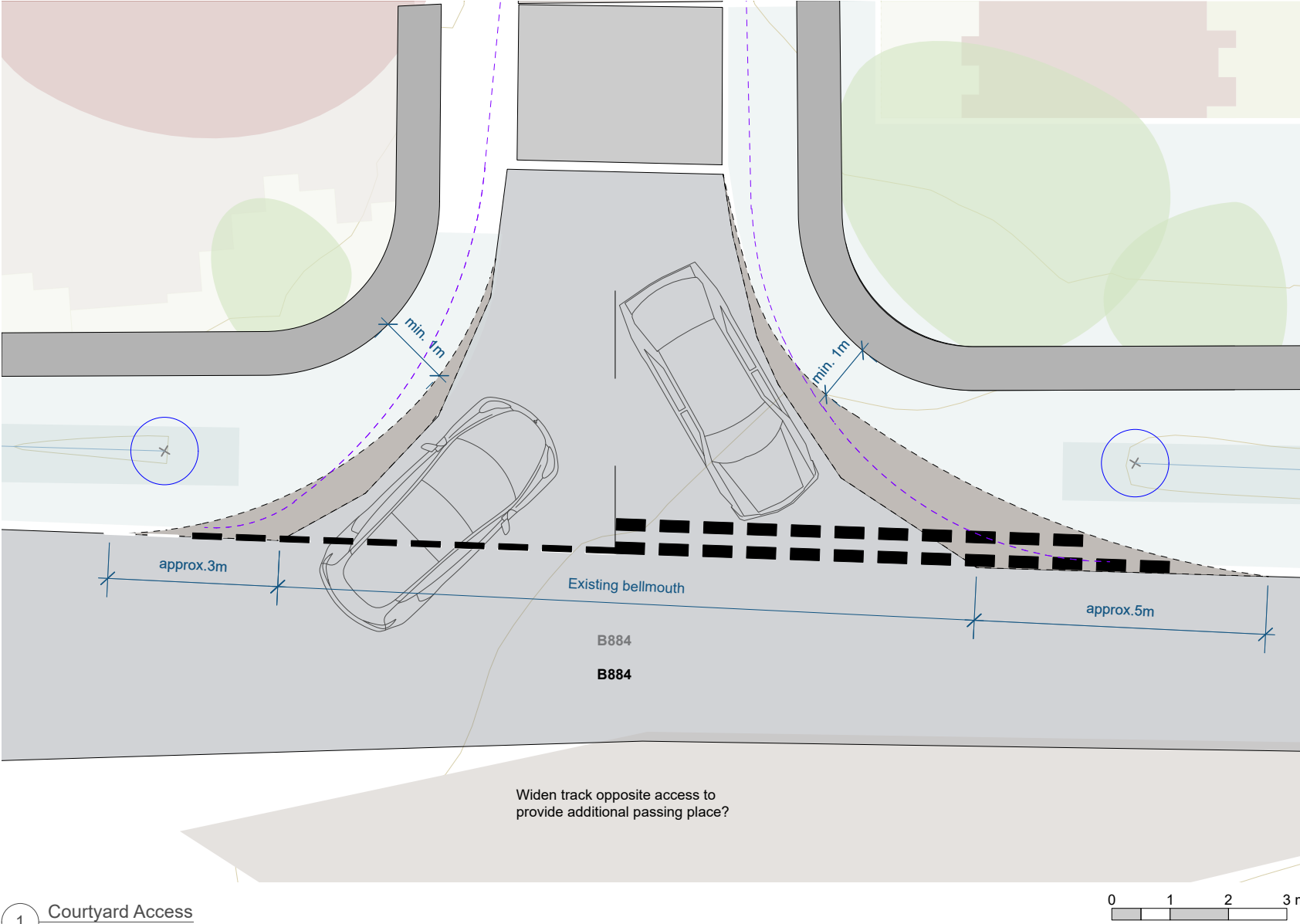
2 Proposed Site Section A
Scale: 1:200



3 Proposed Site Section B
Scale: 1:200



4 Proposed Site Section C
Scale: 1:200



Cattle grid maintained as existing

Dashed purple line indicates
Tetrattech suggested widening

Garden walls maintined as proposed

Culvert maintained as existing

Existing track widened to improve
vehicular access to courtyard

Lines added to access road to
raise awareness of junction

				Site Blue Line Area: 11,000m²		Site Address: The Three Chimneys Colbost Dunvegan Isle of Skye IV55 8ZT	
				Site Red Line Area: 13,340m²			
				DRAWING NUMBER 1009_PL_107		DATE 21/02/2025	
				DRAWN / CHECKED JF / RF		SCALE @A3 1:500	
				DRAWING SET PLANNING		DRAWING TITLE COURTYARD ACCESS	
				PROJECT NAME THE THREE CHIMNEYS		NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	
				A 22/08/2025 Courtyard Access Widened			
				REV DATE NOTE			

Tree Protection Plan



Tree Protection Guidelines

In order to safeguard the trees on this site please observe the following:

- Do not move the tree protection barriers
- Do not enter the protected area
- Report any damage to protection barriers at the site office
- Do not use the area within the protection barriers to store or mix materials
- Do not carry out any excavation works within the protection barriers
- Avoid handling fuels or liquid contaminants within 10 metres of the protected area.

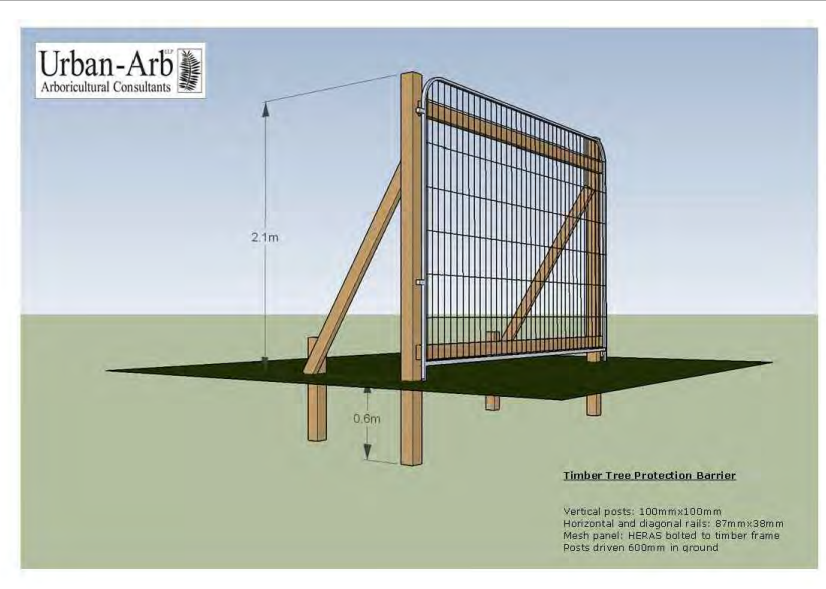
In the event of damage to a retained tree on this site please contact:

Arboriculturist: Callum McCutcheon
Tel: (01343) 821783
Mob: 07766735488

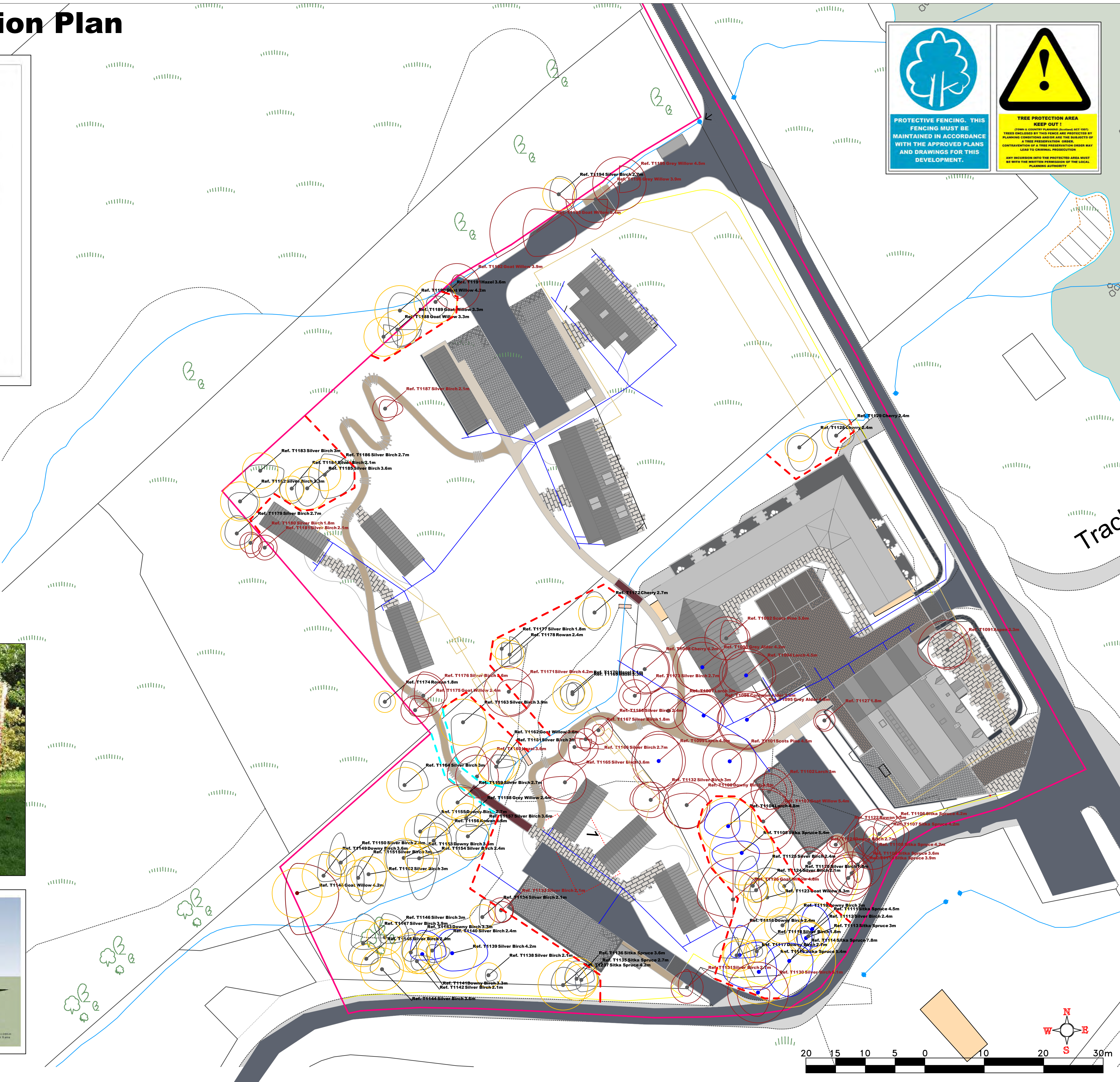
© 2024 Urban-Arb LLP. All rights reserved. Urban-Arb LLP is a Limited Liability Partnership, registered in Scotland, registered office: 11 The Muir, Bogmoor, Spey Bay, Fochabers, Moray IV32 7PN, Partnership No. SC097967



Flexible Barrier Fencing Type



Tree Protection Fencing Specification



PROTECTIVE FENCING. THIS FENCING MUST BE MAINTAINED IN ACCORDANCE WITH THE APPROVED PLANS AND DRAWINGS FOR THIS DEVELOPMENT.



TREE PROTECTION AREA KEEP OUT!
FROM A PLANNING POINT OF VIEW, TREES ARE PROTECTED BY PLANNING CONDITIONS AND ARE THE SUBJECTS OF A TREE PRESERVATION ORDER. CONTINUATION OF A TREE PRESERVATION ORDER MAY LEAD TO CRIMINAL PROSECUTION.
ANY BREACHES OF THE PROTECTION AREA MUST BE WITH THE WRITTEN PERMISSION OF THE LOCAL PLANNING AUTHORITY.

General Notes

KEY

Tree Reference, Common Name and Root Protection Area radius
Ref. T001 Silver Birch 2.3m
Stem
Tree Canopy
Root Protection Area (RPA)

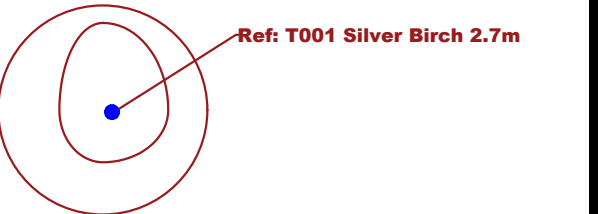
Colours are in accordance with BS5837:2012 quality grading:

- Red: Unsuitable for retention
Grey: Low quality
Blue: Moderate quality
Green: High quality

Root Protection Area (RPA): The minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority (BS5937:2012)

Survey Area Boundary

TREE TO BE REMOVED



Tree Protection Fencing

Flexible barrier fencing

Tree survey performed by Callum McCutcheon BSc (Hons) M.Arbor.A on 10.10.2024

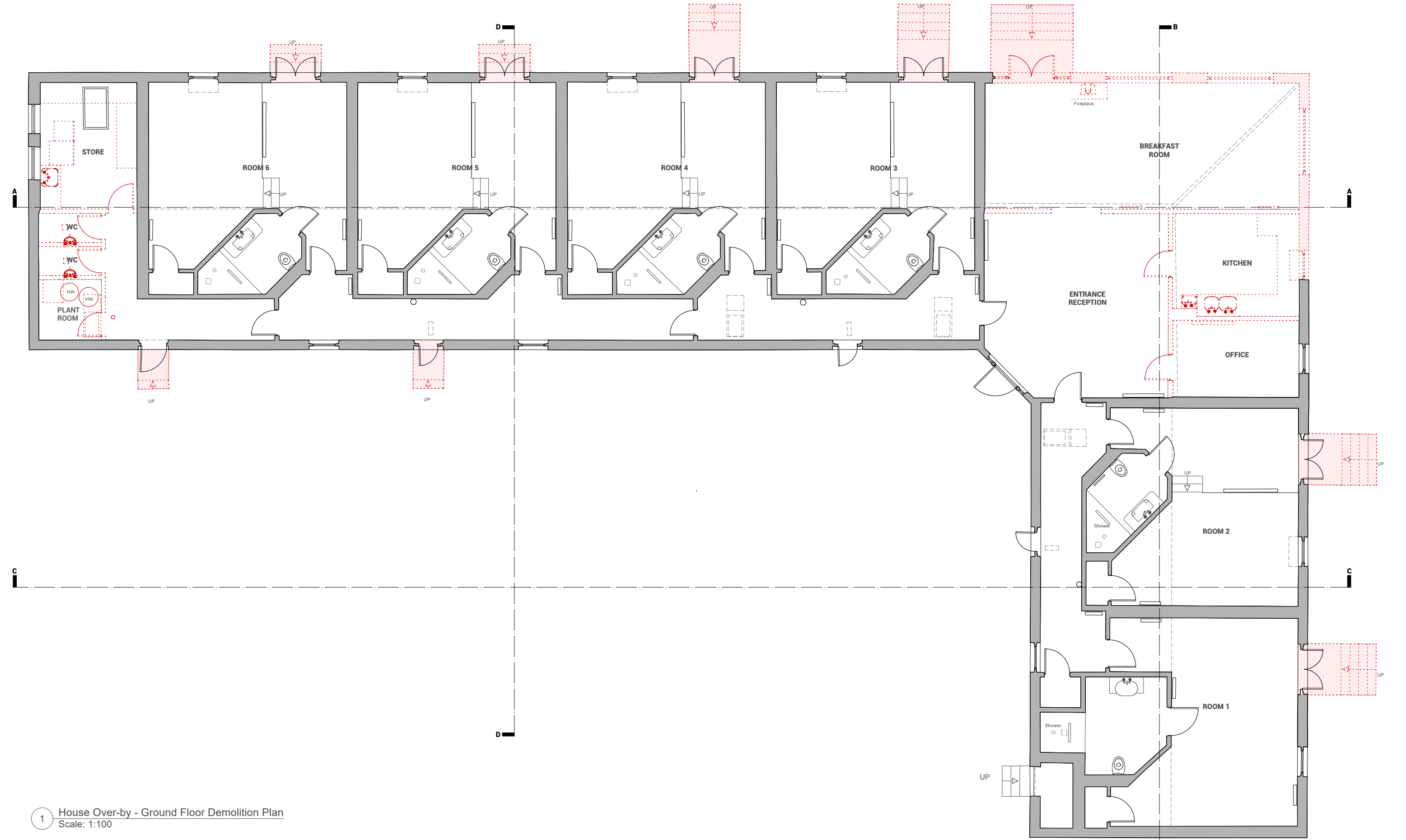


No.	Revision/Issue	Date

Firm Name and Address
Urban-Arb LLP
Dolphin Cottage
11 The Muir
Bogmoor
Spey Bay
Fochabers
Moray IV32 7PN
www.urban-arb.com

Project Name and Address
**Proposed Development
The Three Chimneys
Skye**

Project	Sheet
TREE PROTECTION PLAN	
Date 18.02.2025	002
Scale 1:350@A1	



1 House Over-by - Ground Floor Demolition Plan
Scale: 1:100

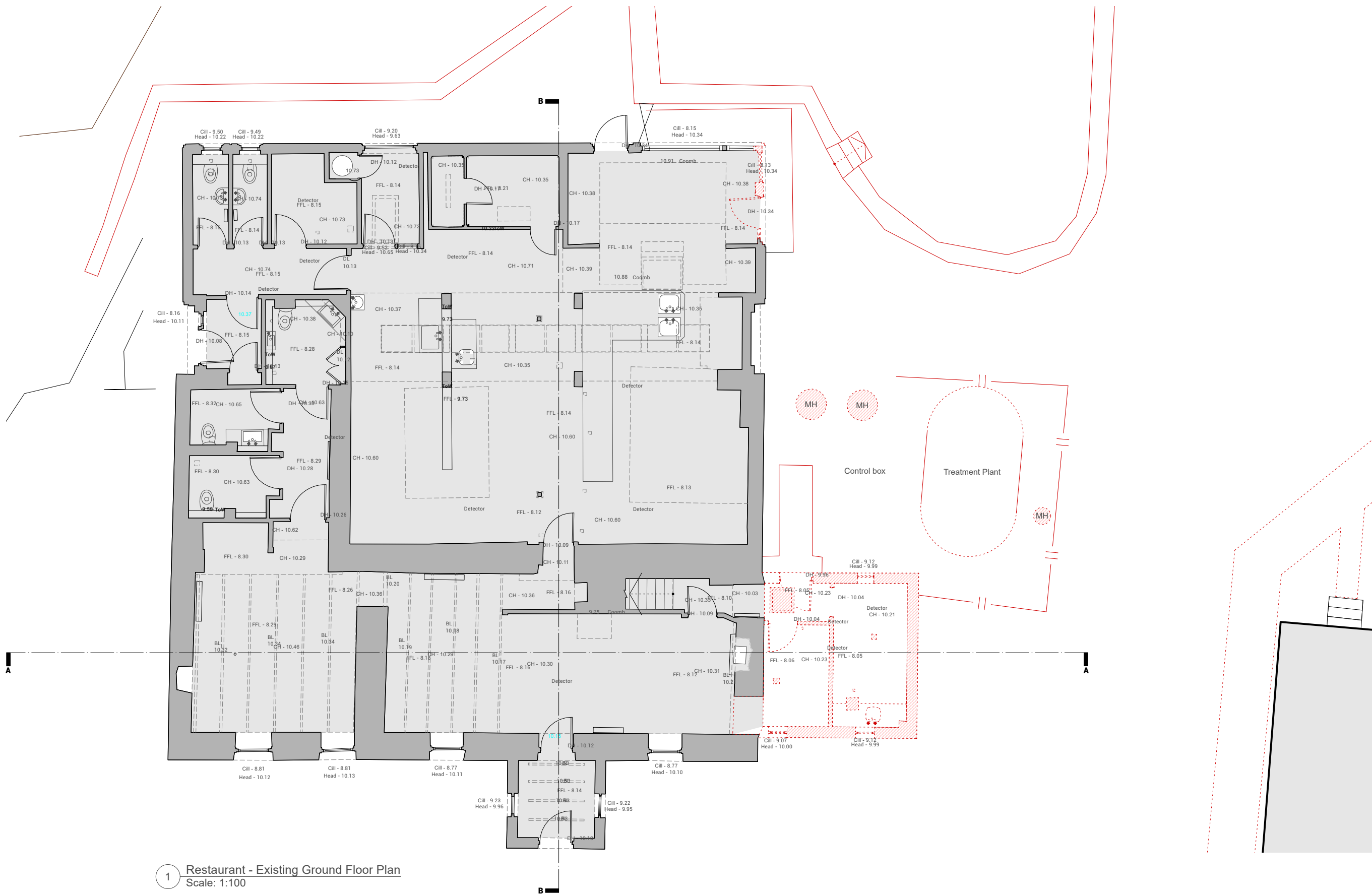


Site Blue Line Area:
11,000m²

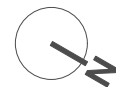
Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

	Glasgow	Skye	PROJECT NAME		DRAWING SET	DRAWING NUMBER	DATE
	1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	THE THREE CHIMNEYS		PLANNING	1009_PL_051	21/02/2025
			NOTES		DRAWING TITLE	DRAWN / CHECKED	SCALE @A3
			© Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.		DEMOLITION PLAN - HOUSE OVER-BY	JF / RF	1:100
			A	Feb 2025	PLANNING ISSUE		
			REV	DATE	NOTE		



1 Restaurant - Existing Ground Floor Plan
Scale: 1:100



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT



Glasgow
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Skye
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IV44 8RQ
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A Feb 2025 PLANNING ISSUE
REV DATE NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

DRAWING TITLE
DEMOLITION PLAN - RESTAURANT

DRAWING NUMBER
1009_PL_050

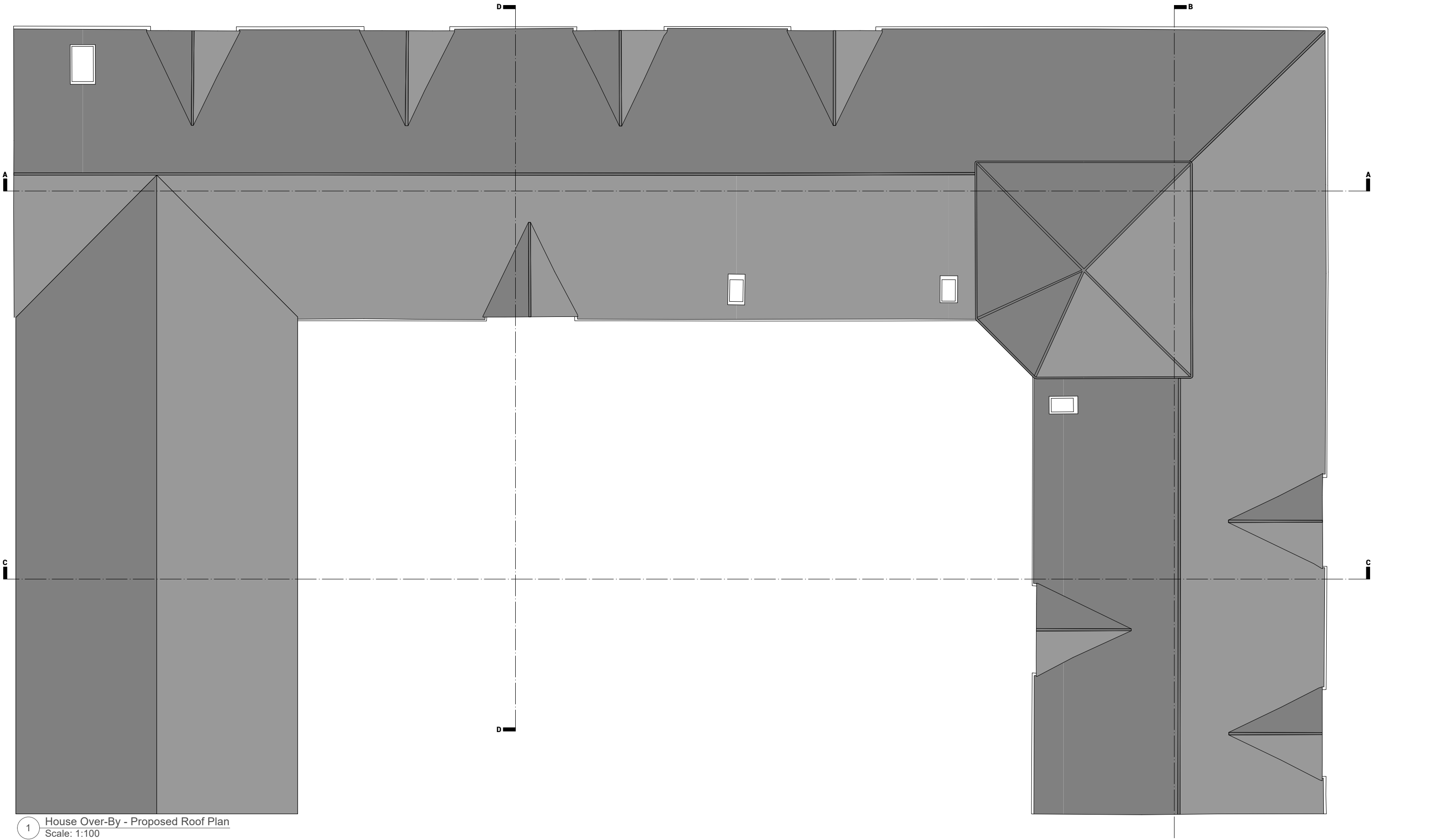
DRAWN / CHECKED
JF / RF

DATE
21/02/2025

SCALE @A3
1:100



Key: Application Boundary Ownership Boundary Total GEA = 524 m2* *Area measured to the nearest 0.5 m2			0123 M Site Blue Line Area: 11,000m² Site Red Line Area: 13,340m² Site Address: The Three Chimneys Colbost Dunvegan Isle of Skye IV55 8ZT		
Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401		Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300		PROJECT NAME THE THREE CHIMNEYS NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	
A Feb 2025 PLANNING ISSUE REVDATENOTE		DRAWING SET PLANNING DRAWING TITLE PROPOSED GROUND FLOOR PLAN - HOUSE OVER-BY		DRAWING NUMBER 1009_PL_211 DRAWN / CHECKED JF / RF / EDS DATE 21/02/2025 SCALE @A3 1:100	



1 House Over-By - Proposed Roof Plan
Scale: 1:100

Key:

Application Boundary

Ownership Boundary

Total GEA = 524 m2*

*Area measured to the nearest 0.5 m2

0 1 2 3 M

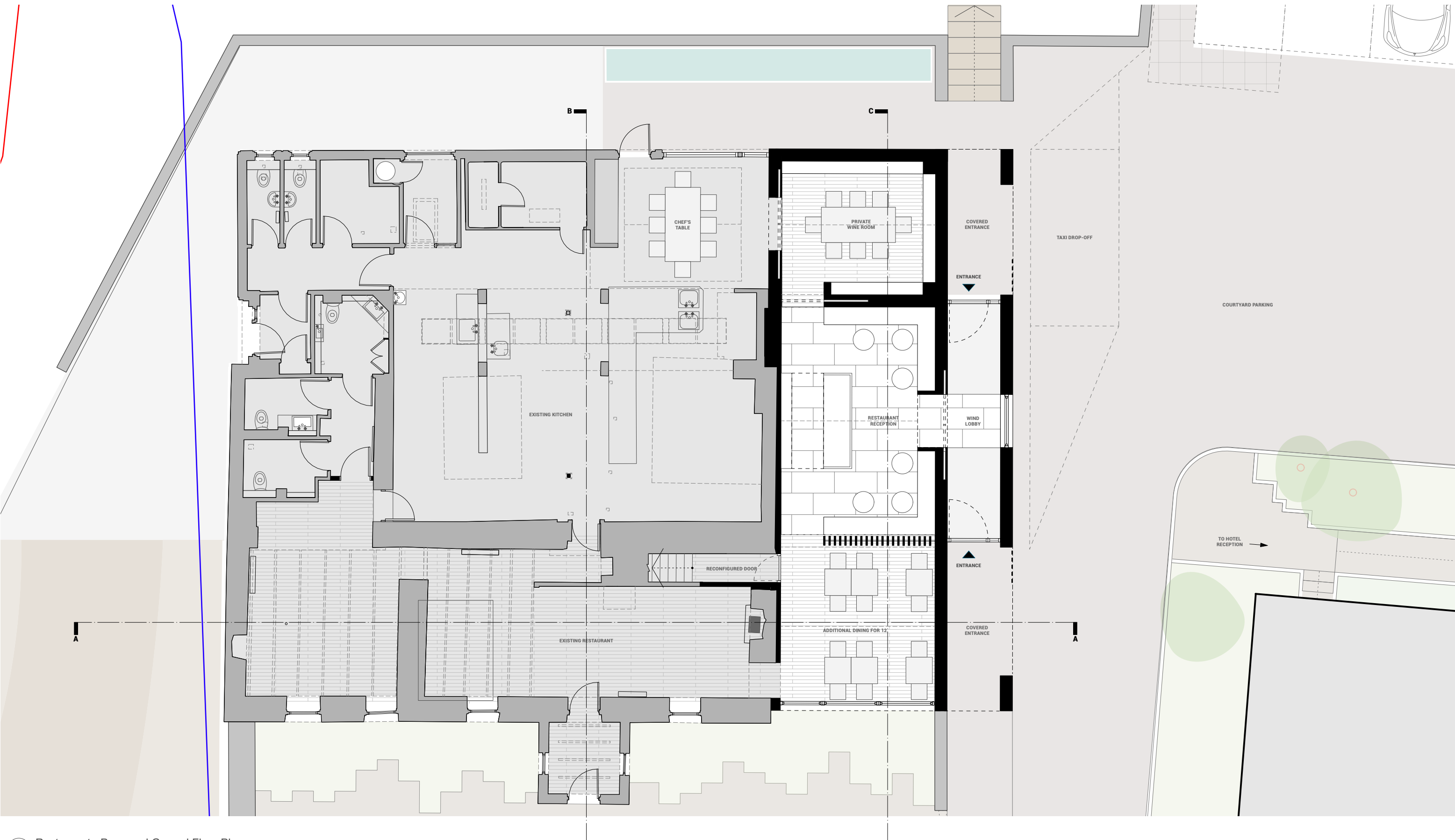
North Arrow

Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

 Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401 Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE REV DATE NOTE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_212	DATE 21/02/2025
		NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED ROOF PLAN - HOUSE OVER-BY	DRAWN / CHECKED JF / RF	SCALE @A3 1:100



1 Restaurant - Proposed Ground Floor Plan
Scale: 1:100

Key: Application Boundary Ownership Boundary Total GEA = 433 m2* *Area measured to the nearest 0.5 m2			0123 M Site Blue Line Area: MMDDYY# Site Address: HHMMSS# Site Red Line Area: MMDDYY#					
Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401 Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300			A Feb 2025 PLANNING ISSUE REV DATE NOTE		PROJECT NAME THE THREE CHIMNEYS NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING SET PLANNING DRAWING TITLE PROPOSED GROUND FLOOR PLAN - RESTAURANT	DRAWING NUMBER 1009_PL_201 DRAWN / CHECKED JF / RF	DATE 21/02/2025 SCALE @A3 1:100



1 Restaurant - Proposed First Floor Plan
Scale: 1:100

Key:

Application Boundary
Ownership Boundary

Total GEA = 433 m2*
*Area measured to the nearest 0.5 m2



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT



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Skye
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Sleat, Isle of Skye
IV44 8RQ
+44 (0)1471 833 300

A Feb 2025 PLANNING ISSUE
REV DATE NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

DRAWING TITLE
PROPOSED FIRST FLOOR PLAN -
RESTAURANT

DRAWING NUMBER
1009_PL_202

DRAWN / CHECKED
JF / RF

DATE
21/02/2025

SCALE @A3
1:100



Key:
Application Boundary
Ownership Boundary
Total GEA = 433 m2*
*Area measured to the nearest 0.5 m2



Site Blue Line Area:
11,000m²
Site Red Line Area:
13,340m²
Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT



Glasgow
1.06 McLellan Works,
274 Sauciehall Street,
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+44 (0)141 550 1401
Skye
Fas, Sabhal Mòr Òstaig
Sleat, Isle of Skye
IV44 8RQ
+44 (0)1471 833 300

A Feb 2025 PLANNING ISSUE
REV DATE NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

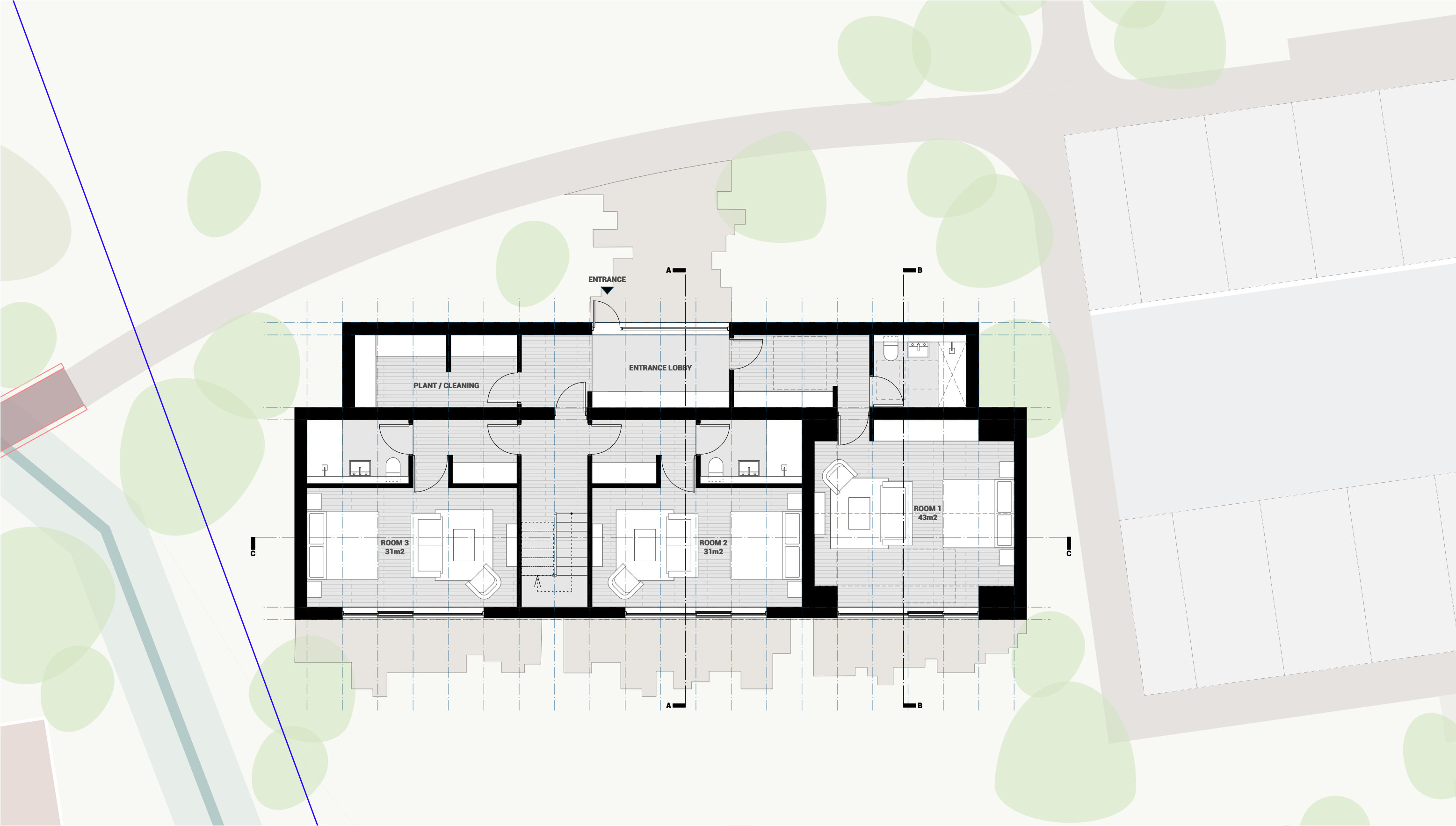
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PROPOSED ROOF PLAN -
RESTAURANT

DRAWING NUMBER
1009_PL_203

DRAWN / CHECKED
JF / RF

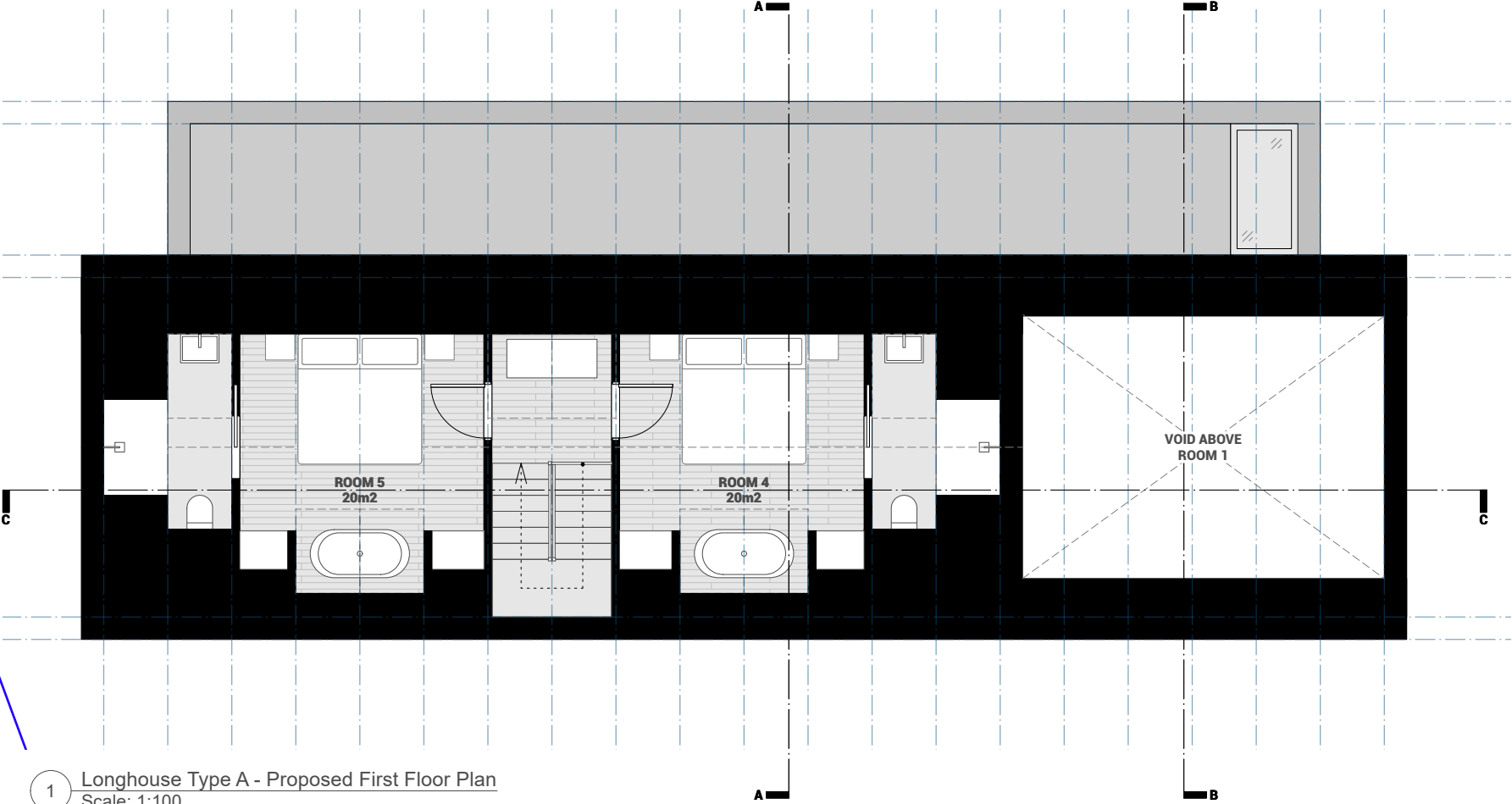
DATE
21/02/2025

SCALE @A3
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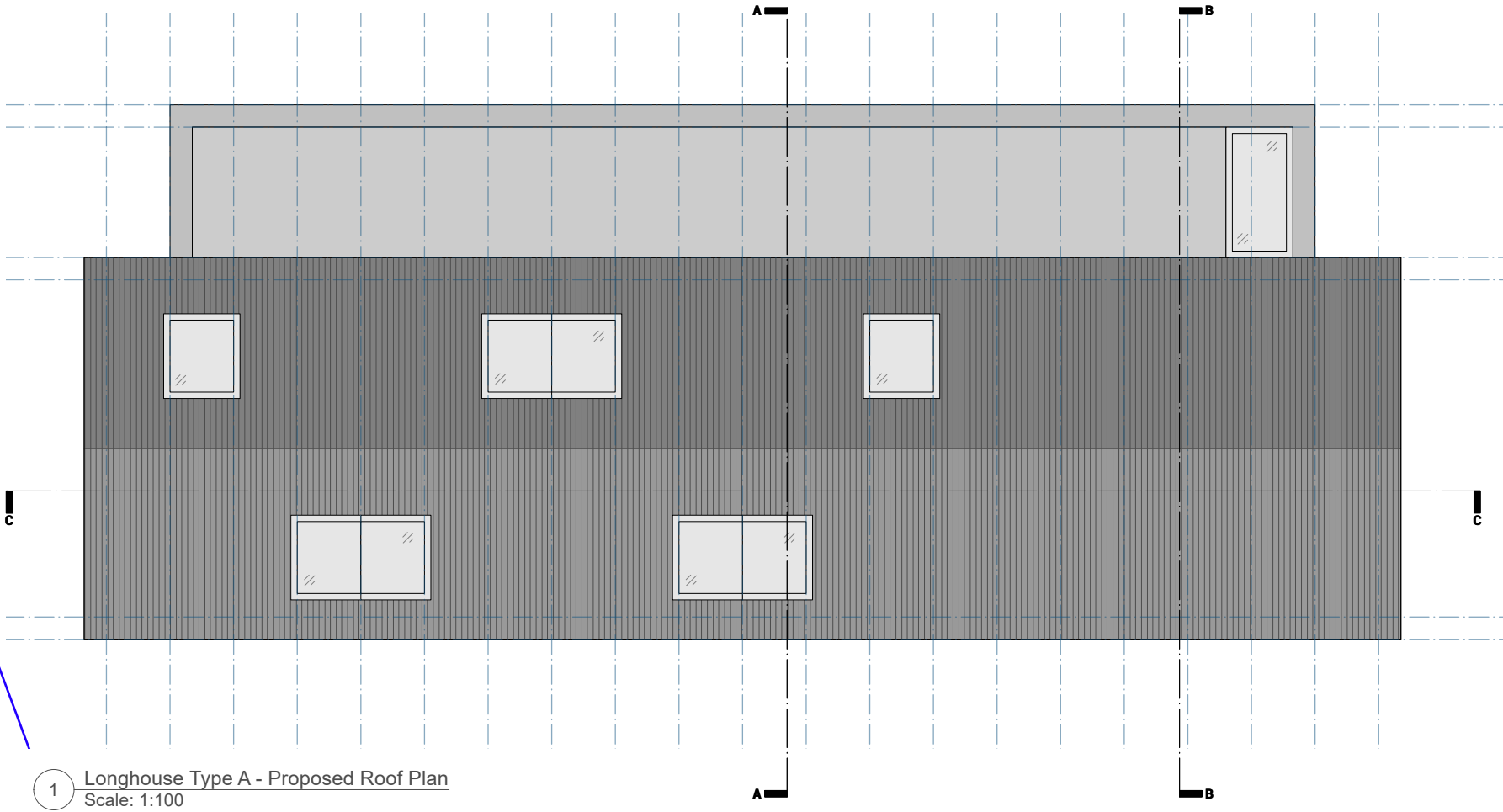


1 Longhouse Type A - Proposed Ground Floor Plan
Scale: 1:100

Key: Application Boundary Ownership Boundary Total GEA = 255.5 m2* *Area measured to the nearest 0.5 m2			0 1 2 3 m Site Blue Line Area: 11,000m² Site Red Line Area: 13,340m² Site Address: The Three Chimneys Colbost Isle of Skye Scotland IV55 8ZT				
Dualchas. Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401 Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300			PROJECT NAME THE THREE CHIMNEYS NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.		DRAWING SET PLANNING DRAWING TITLE PROPOSED GROUND FLOOR PLAN - LONGHOUSE A	DRAWING NUMBER 1009_PL_221 DRAWN / CHECKED JF / EDS / RF	DATE 21/02/2025 SCALE @A3 1:100
A Feb 2025 PLANNING ISSUE REV DATE NOTE							



1 Longhouse Type A - Proposed First Floor Plan
Scale: 1:100



1 Longhouse Type A - Proposed Roof Plan
Scale: 1:100

Key:

Application Boundary

Ownership Boundary

Total GEA = 255.5 m2*

*Area measured to the nearest 0.5 m2

0 1 2 3 m

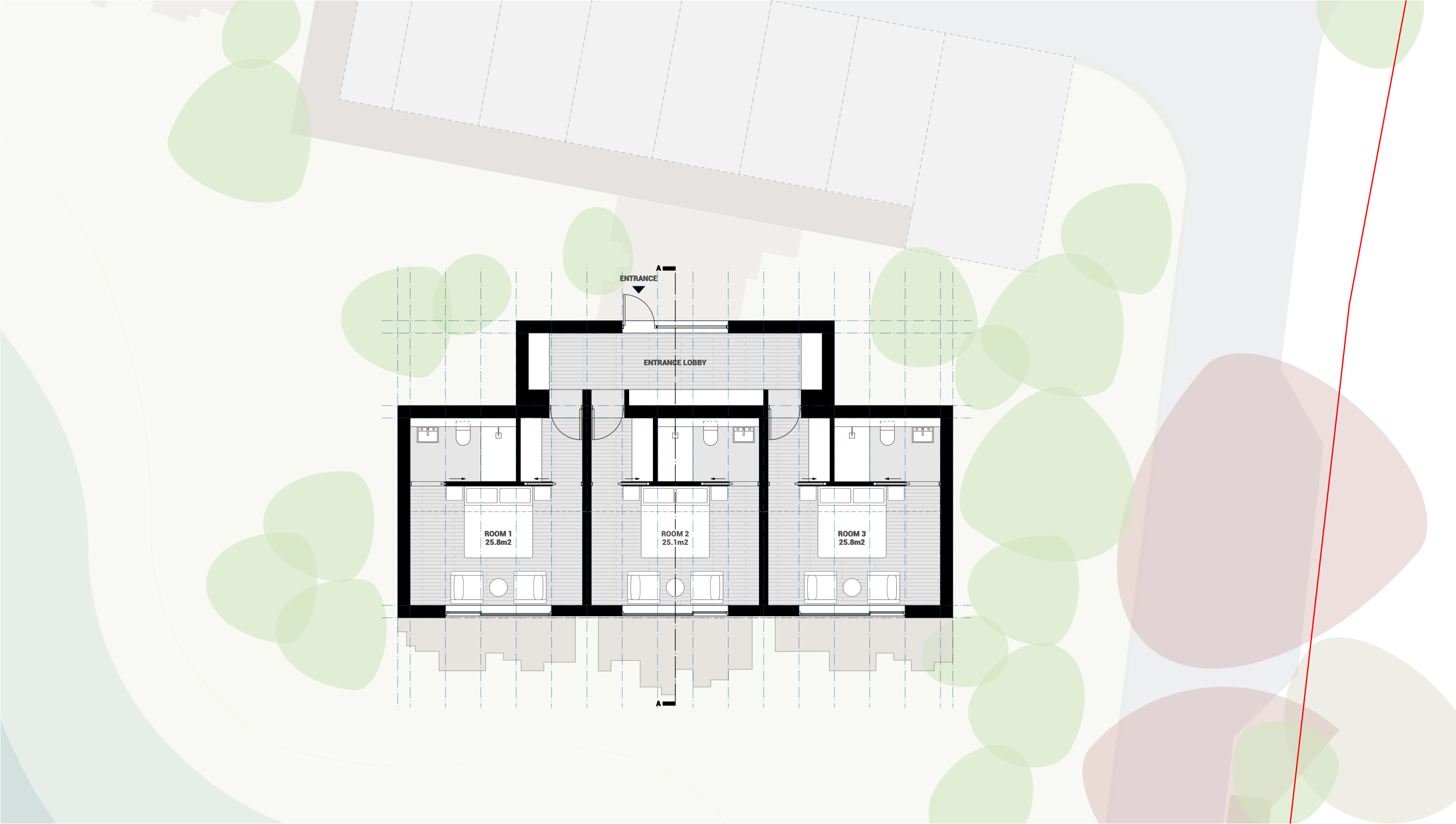
North Arrow

Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

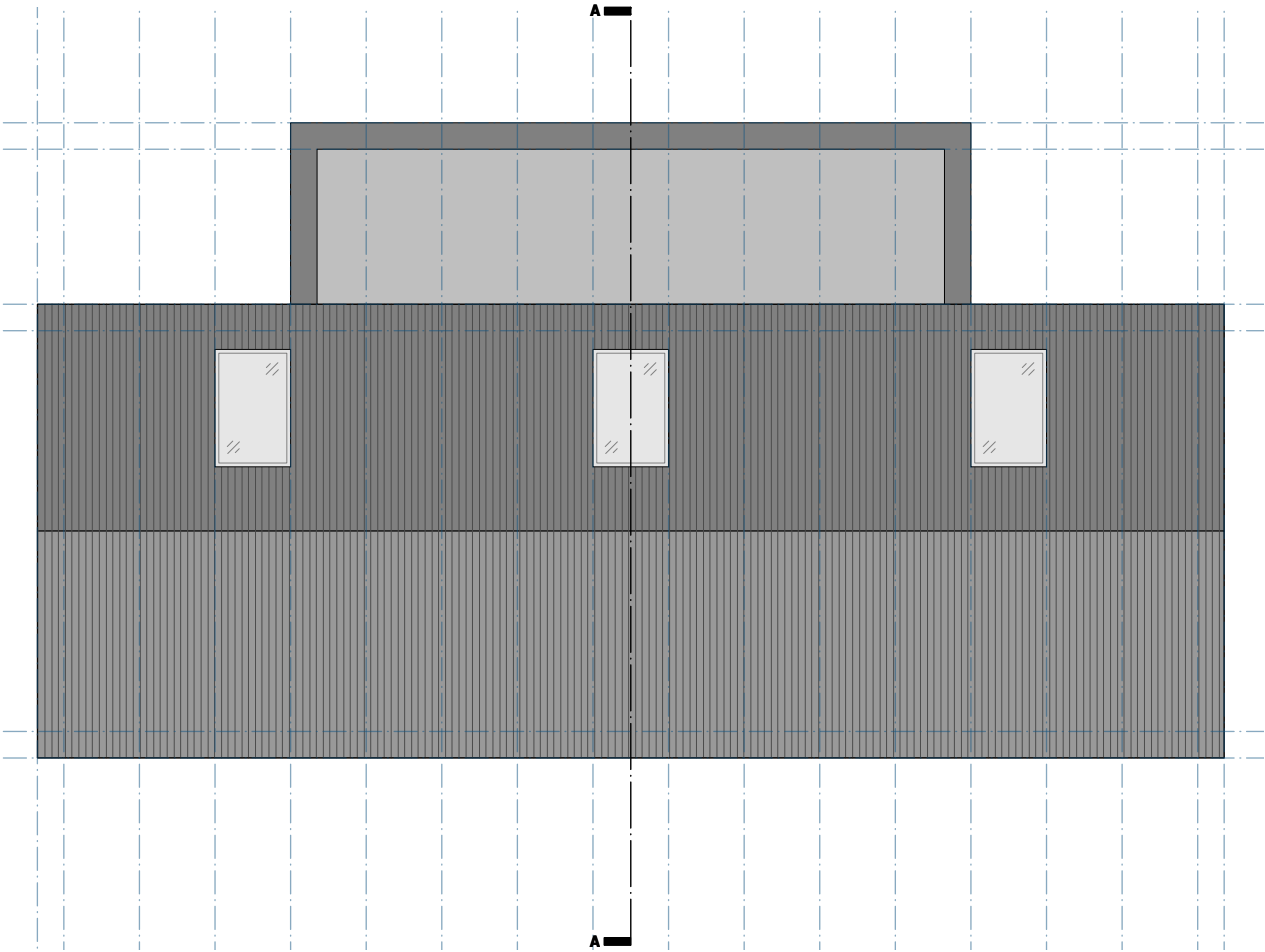
Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_223	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED ROOF PLAN - LONGHOUSE A	DRAWN / CHECKED JF / EDS / RF	SCALE @A3 1:100



1 Longhouse Type B - Proposed Ground Floor Plan
Scale: 1:100

Key: Application Boundary Ownership Boundary Total GEA = 116 m2* *Area measured to the nearest 0.5 m2			0 1 2 3 m Site Blue Line Area: 11,000m² Site Red Line Area: 13,340m² Site Address: The Three Chimneys Colbost Isle of Skye Scotland IV55 8ZT						
Dualchas. Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401 Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300			PROJECT NAME THE THREE CHIMNEYS NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.			DRAWING SET PLANNING DRAWING TITLE PROPOSED GROUND FLOOR PLAN - LONGHOUSE B		DRAWING NUMBER 1009_PL_231 DRAWN / CHECKED JF / EDS / RF DATE 21/02/2025 SCALE @A3 1:100	
A Feb 2025 PLANNING ISSUE REV DATE NOTE									



1 Longhouse Type B - Proposed Roof Plan
Scale: 1:100

Key:

Application Boundary

Ownership Boundary

Total GEA = 116 m2*

*Area measured to the nearest 0.5 m2

0123 m

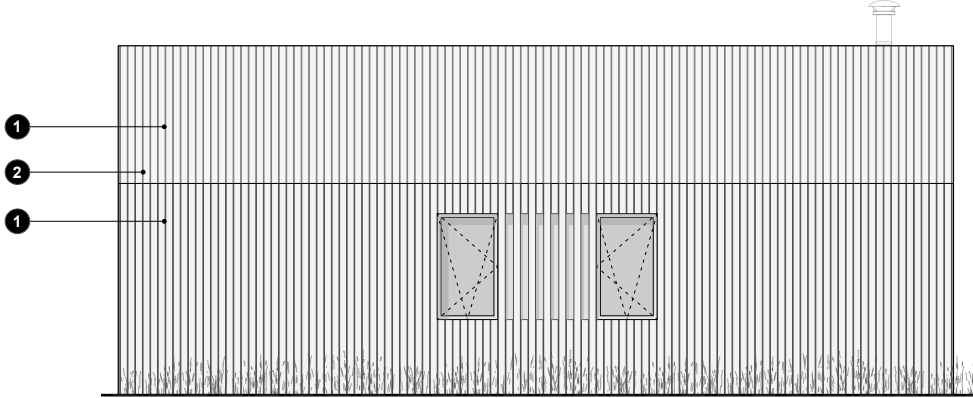
Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

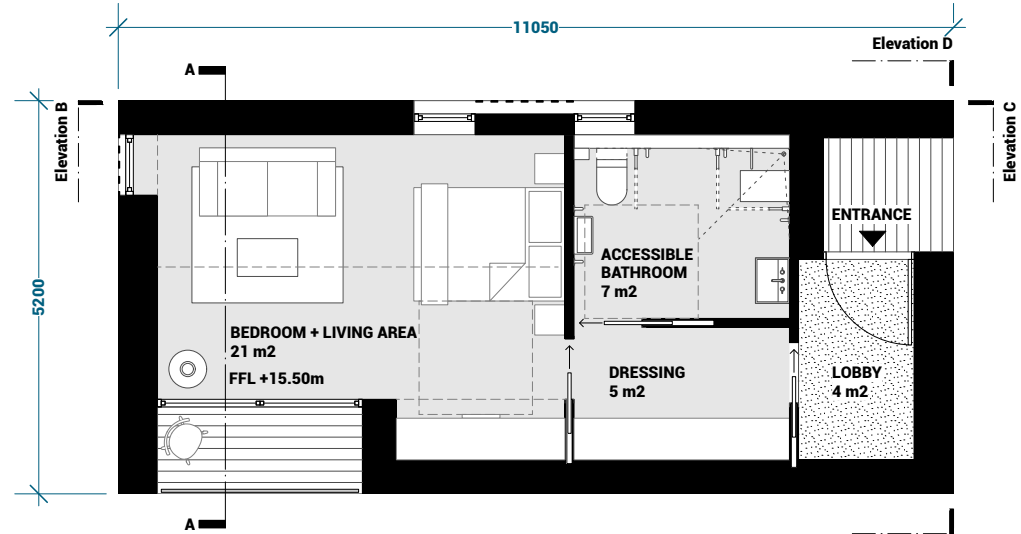
Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT

Dualchas.	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE REV DATE NOTE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_232	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED ROOF PLAN - LONGHOUSE B	DRAWN / CHECKED JF / EDS / RF	SCALE @A3 1:100

- BOTHY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CONCEALED RAINWATER GUTTER AND DOWNPIPES
 - 3 FRAMELESS GLASS SCREEN
 - 4 STEEL SUPPORT
 - 5 ALUMINIUM WINDOWS AND DOORS



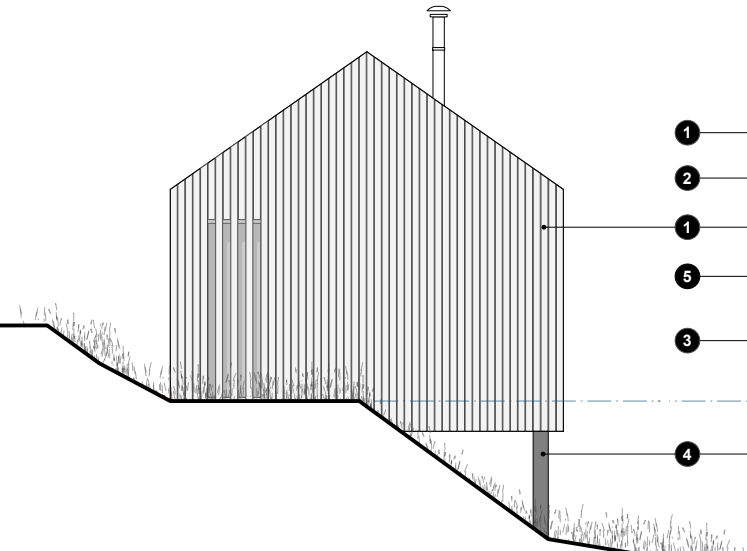
1 Proposed Elevation D
Scale: 1:100



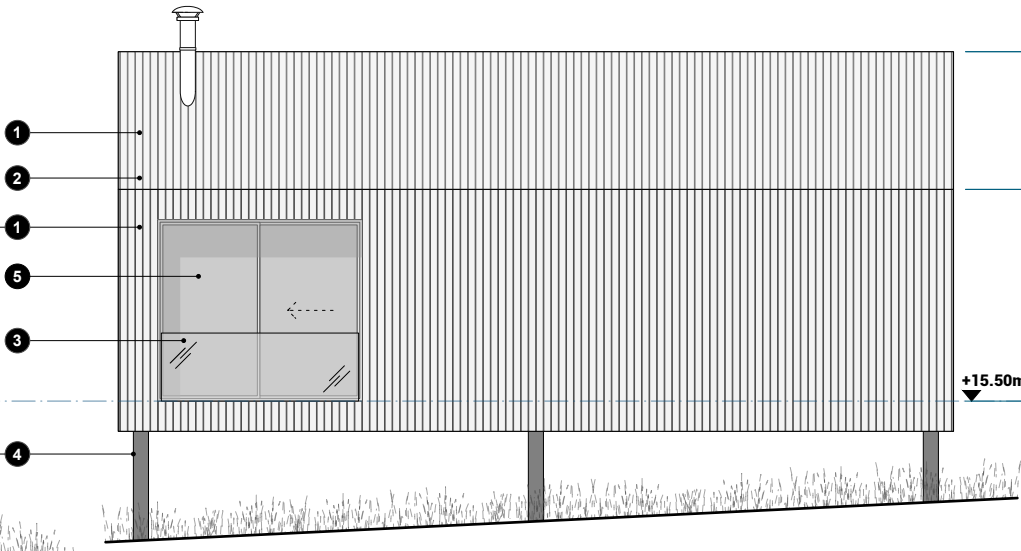
2 Ground Floor Plan
Scale: 1:100



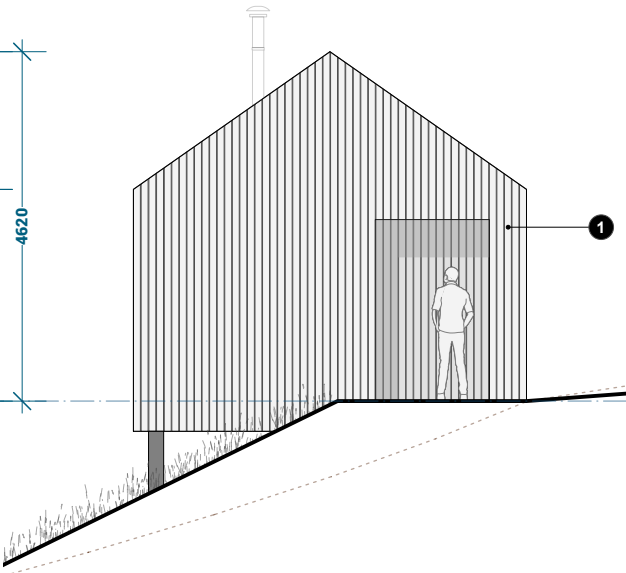
7 Site Plan
Scale: 1:500



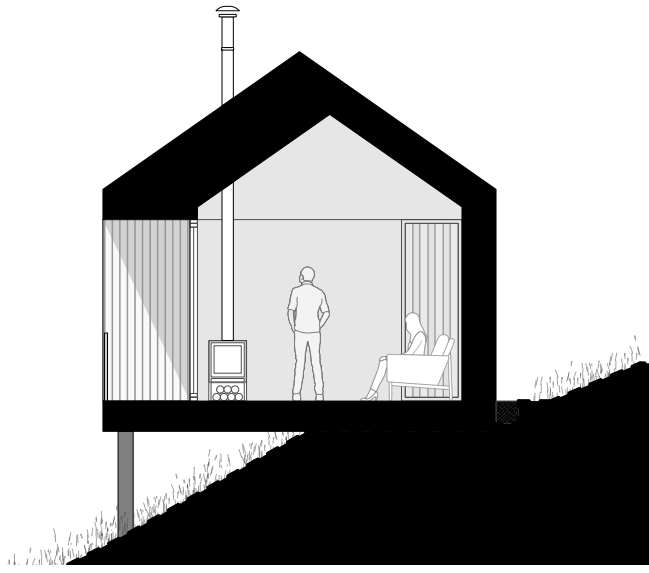
3 Proposed Elevation B
Scale: 1:100



4 Proposed Elevation A
Scale: 1:100



5 Proposed Elevation C
Scale: 1:100



6 Proposed Section AA
Scale: 1:100

Key:

- Application Boundary
- Ownership Boundary

Total GEA = 57.5 m2*

*Area measured to the nearest 0.5 m2

0 1 2 3 M

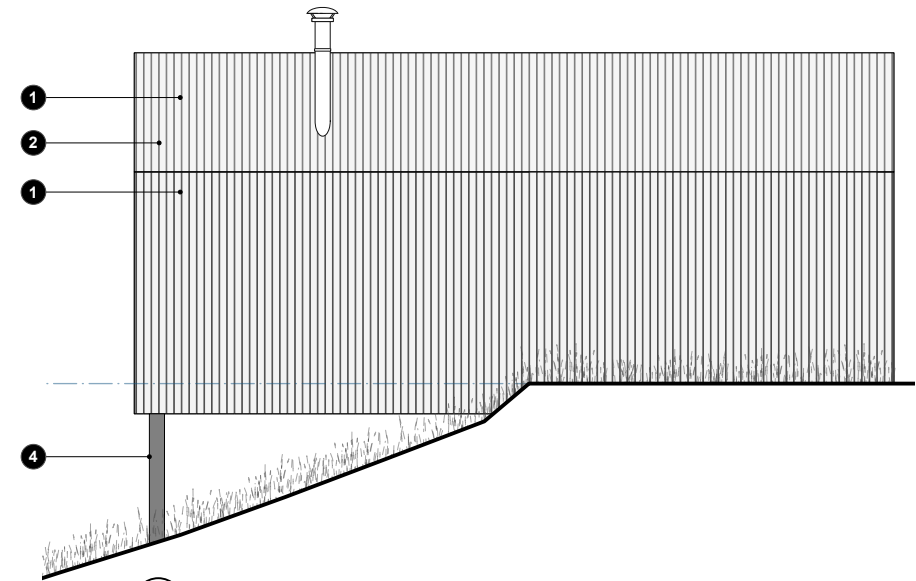
Site Blue Line Area: xxxm²

Site Red Line Area: xxxm²

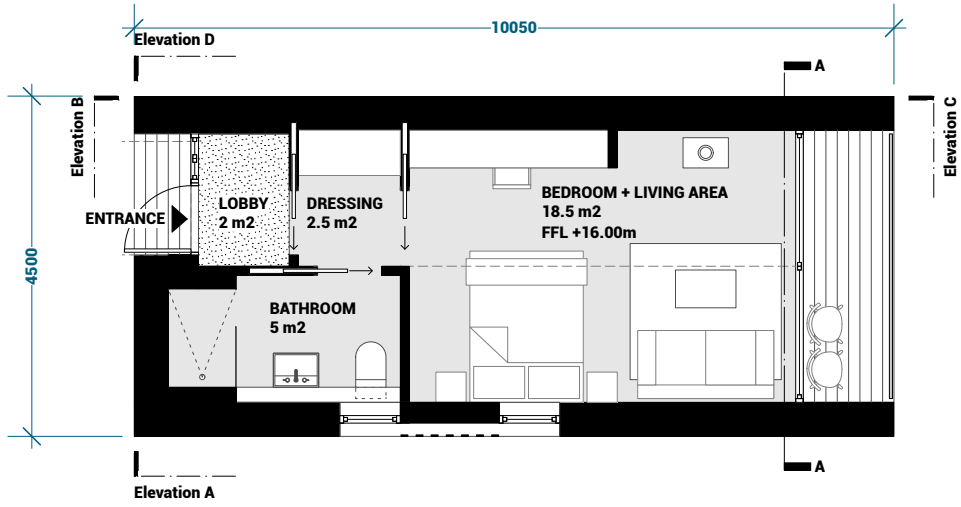
Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT

 Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401 Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	PROJECT NAME THE THREE CHIMNEYS NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING SET PLANNING DRAWING TITLE PROPOSED BOTHY 01 (ACCESSIBLE)	DRAWING NUMBER 1009_PL_241 DRAWN / CHECKED JF / EDS / RF	DATE 21/02/2025 SCALE @A3 AS NOTED
	REV DATE NOTE A Feb 2025 PLANNING ISSUE			

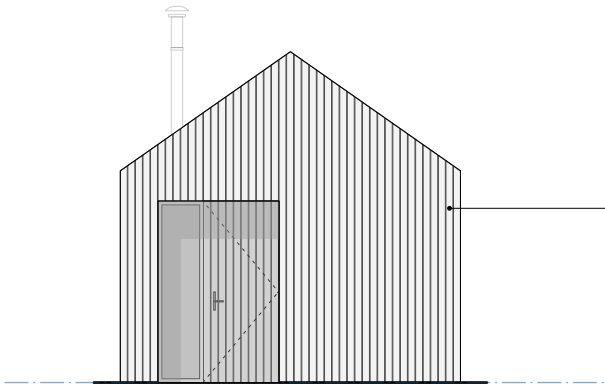
- BOTHY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CONCEALED RAINWATER GUTTER AND DOWNPIPES
 - 3 FRAMELESS GLASS SCREEN
 - 4 STEEL SUPPORT
 - 5 ALUMINIUM WINDOWS AND DOORS



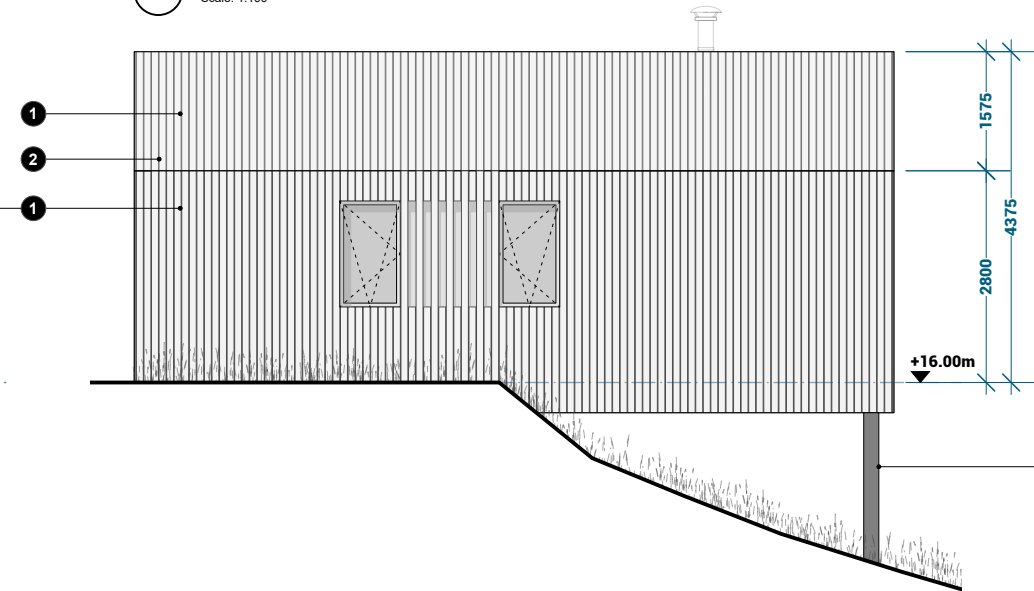
1 Proposed Elevation D
Scale: 1:100



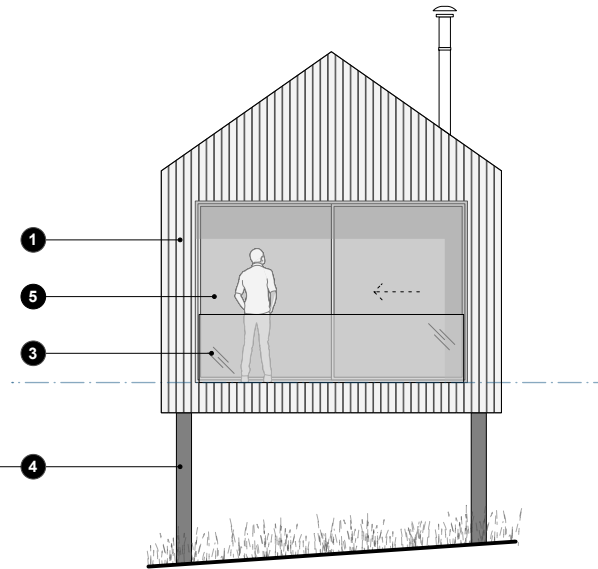
2 Ground Floor Plan
Scale: 1:100



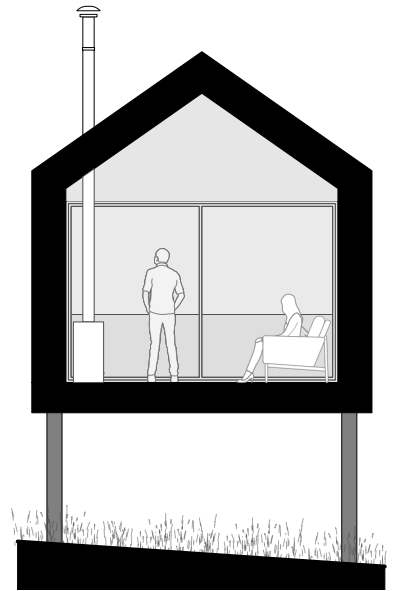
3 Proposed Elevation B
Scale: 1:100



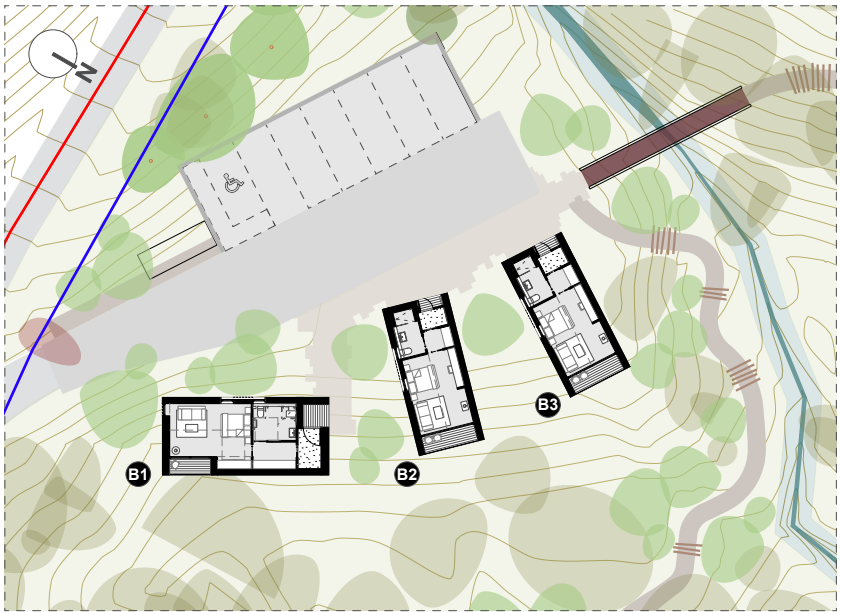
4 Proposed Elevation A
Scale: 1:100



5 Proposed Elevation C
Scale: 1:100



6 Proposed Section AA
Scale: 1:100



7 Site Plan
Scale: 1:500

Key:

Application Boundary

Ownership Boundary

Total GEA = 45 m2*

*Area measured to the nearest 0.5 m2



Site Blue Line Area:
xxxm²

Site Red Line Area:
xxxm²

Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT



Glasgow
1.06 McLellan Works,
274 Sauciehall Street,
Glasgow G2 3EH
+44 (0)141 550 1401

Skye
Fas, Sabhal Mòr Ostaig
Sleat, Isle of Skye
IV44 8RQ
+44 (0)1471 833 300

A Feb 2025 PLANNING ISSUE

REV DATE NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

DRAWING TITLE
PROPOSED BOTHY 02

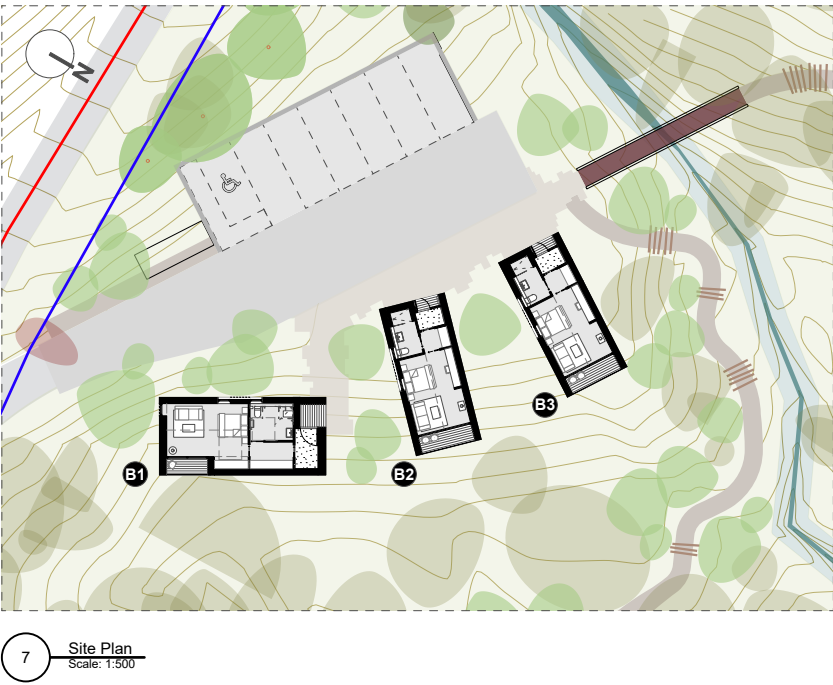
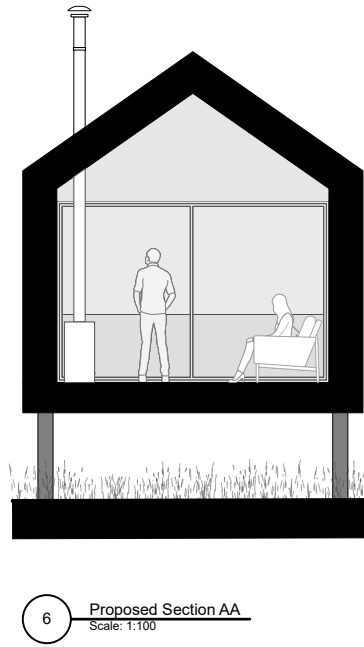
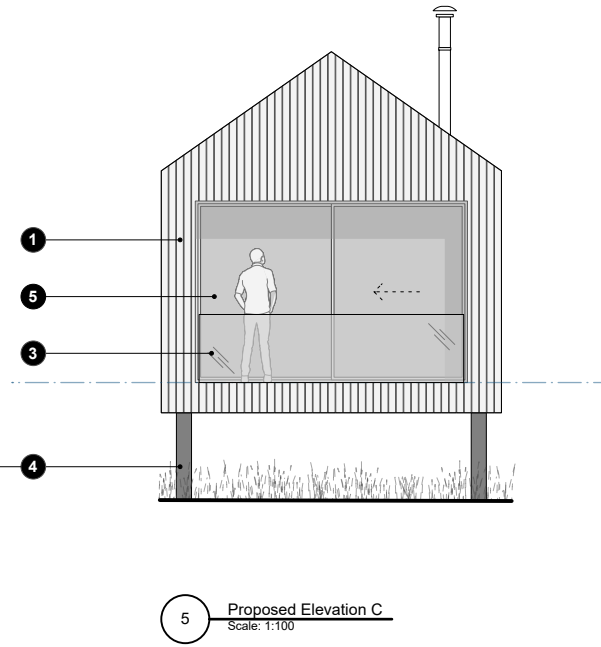
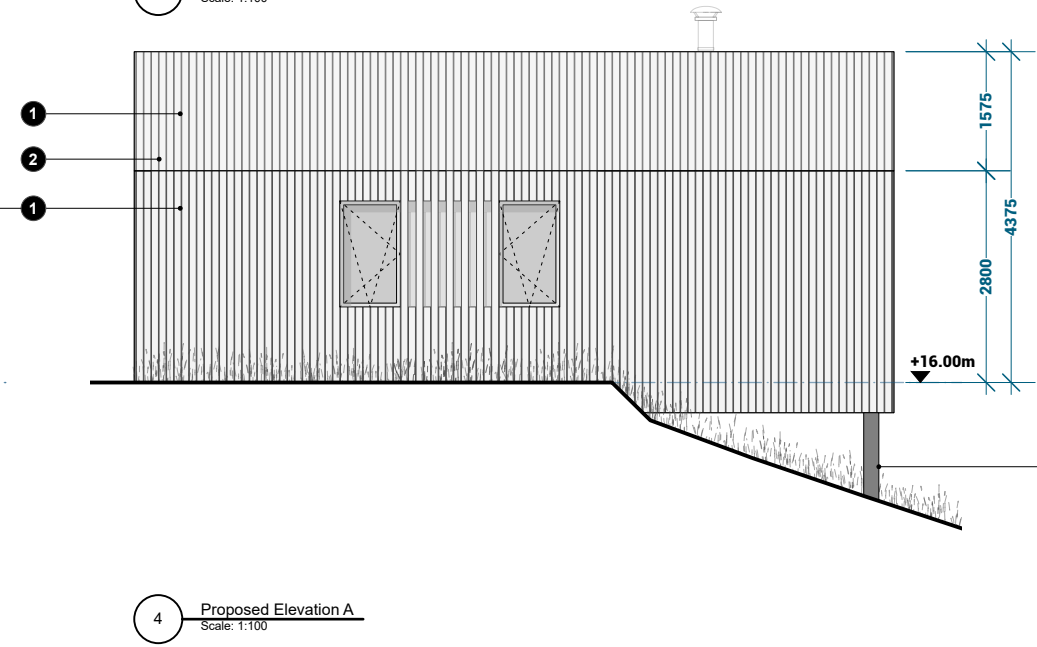
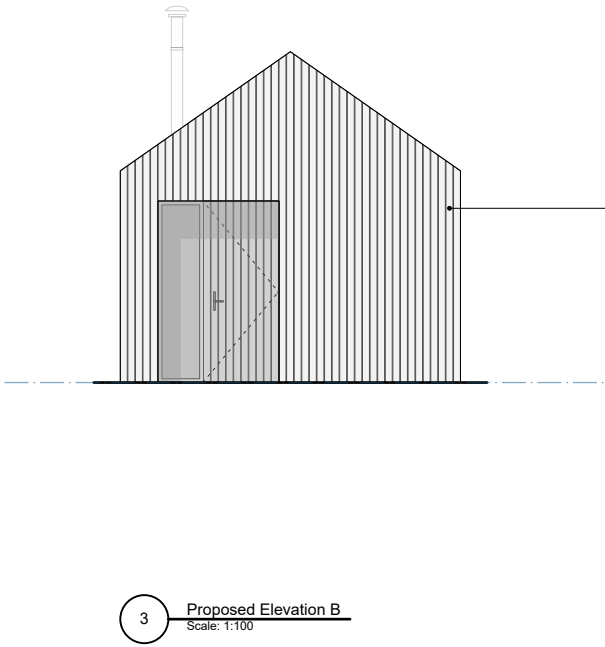
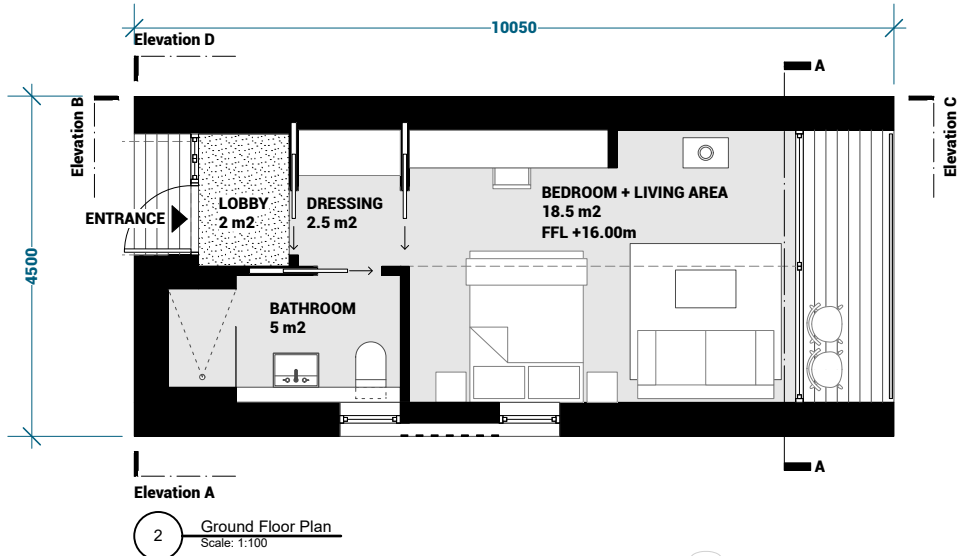
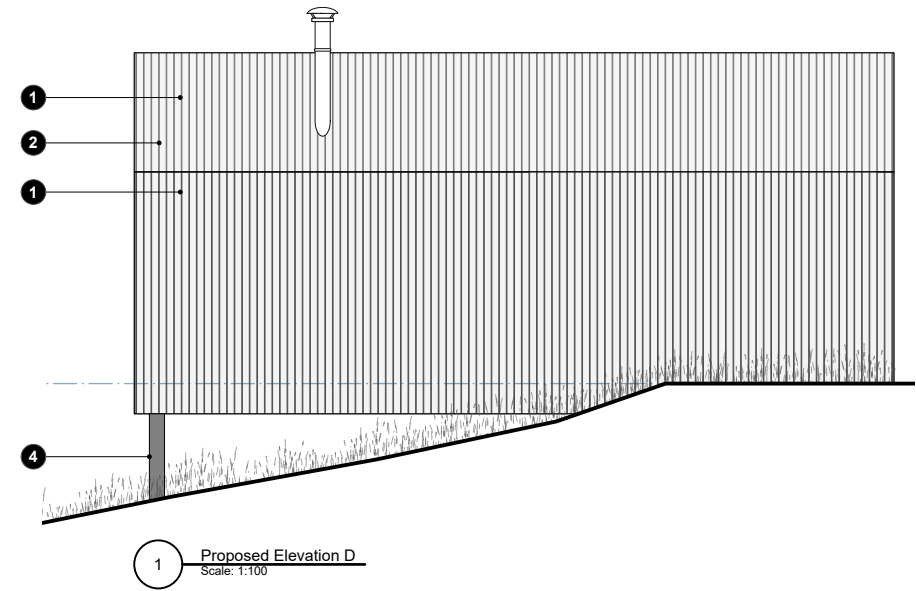
DRAWING NUMBER
1009_PL_242

DRAWN / CHECKED
JF / EDS / RF

DATE
21/02/2025

SCALE @A3
AS NOTED

- BOTHY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CONCEALED RAINWATER GUTTER AND DOWNPIPES
 - 3 FRAMELESS GLASS SCREEN
 - 4 STEEL SUPPORT
 - 5 ALUMINIUM WINDOWS AND DOORS



Key:

Application Boundary

Ownership Boundary

Total GEA = 45 m2*

*Area measured to the nearest 0.5 m2



Site Blue Line Area: xxxm²

Site Red Line Area: xxxm²

Site Address: The Three Chimneys Colbost Isle of Skye Scotland IV55 8ZT



Glasgow

1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH

+44 (0)141 550 1401

Skye

Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ

+44 (0)1471 833 300

A Feb 2025 PLANNING ISSUE

REV DATE NOTE

PROJECT NAME

THE THREE CHIMNEYS

NOTES

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DRAWING SET

PLANNING

DRAWING TITLE

PROPOSED BOTHY 03

DRAWING NUMBER

1009_PL_243

DRAWN / CHECKED

JF / EDS / RF

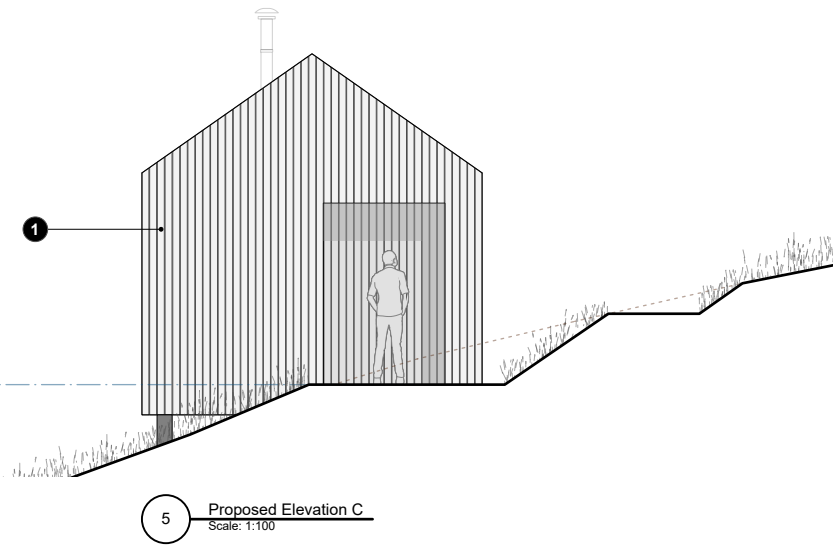
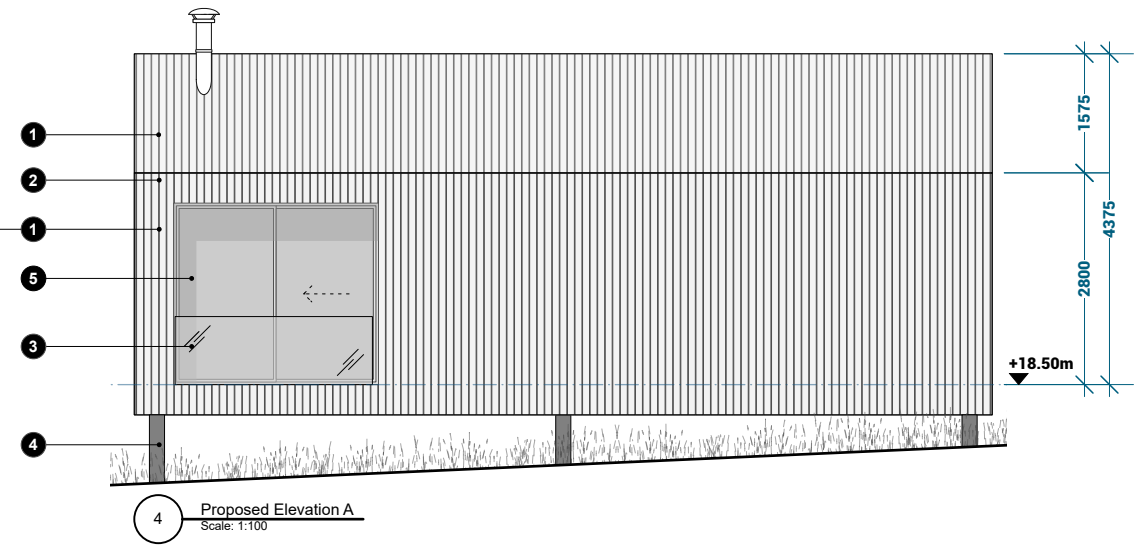
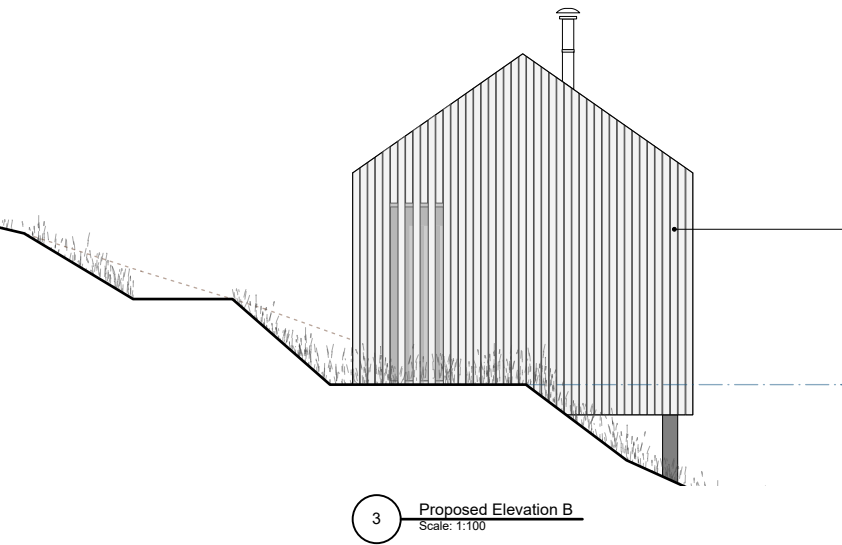
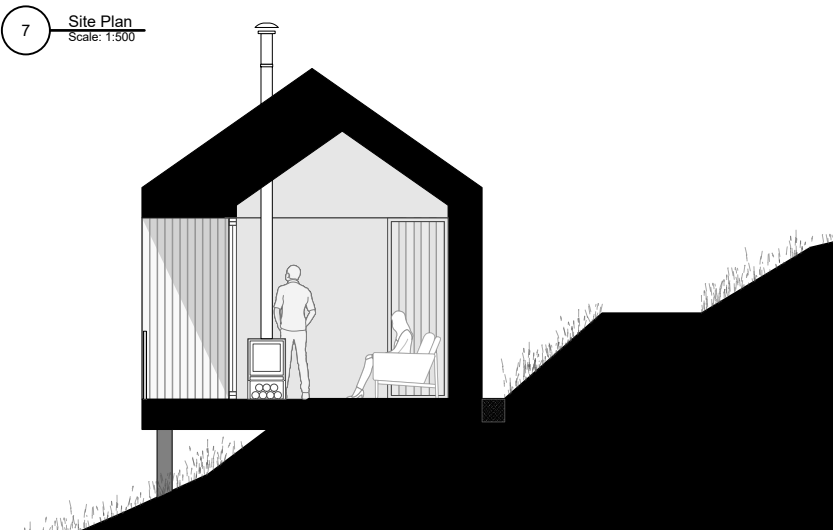
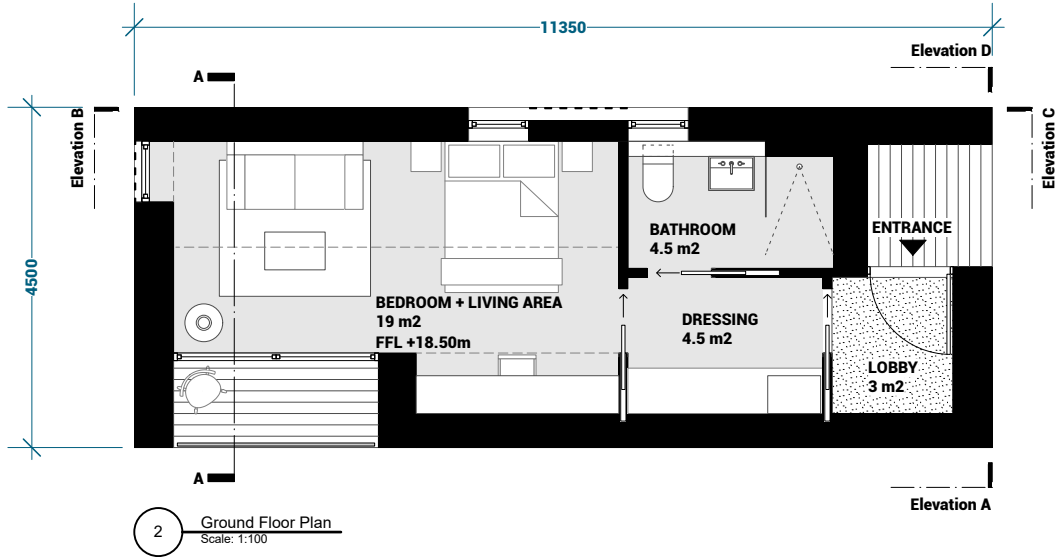
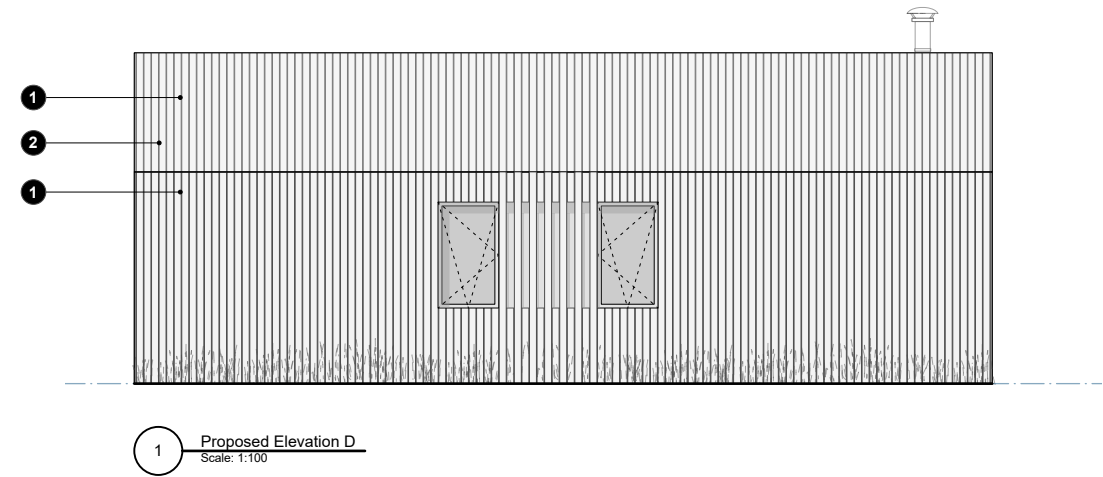
DATE

21/02/2025

SCALE @A3

AS NOTED

- BOTHY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CONCEALED RAINWATER GUTTER AND DOWNPIPES
 - 3 FRAMELESS GLASS SCREEN
 - 4 STEEL SUPPORT
 - 5 ALUMINIUM WINDOWS AND DOORS



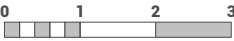
Key:

Application Boundary

Ownership Boundary

Total GEA = 51 m2*

*Area measured to the nearest 0.5 m2



Site Blue Line Area:
xxxm²

Site Red Line Area:
xxxm²

Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT



Glasgow
1.06 McLellan Works,
274 Sauciehall Street,
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Skye
Fas, Sabhal Mòr Ostaig
Sleat, Isle of Skye
IV44 8RQ
+44 (0)1471 833 300

A Feb 2025 PLANNING ISSUE

REV DATE NOTE

PROJECT NAME
THE THREE CHIMNEYS

NOTES
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DRAWING SET
PLANNING

DRAWING TITLE
PROPOSED BOTHY 04

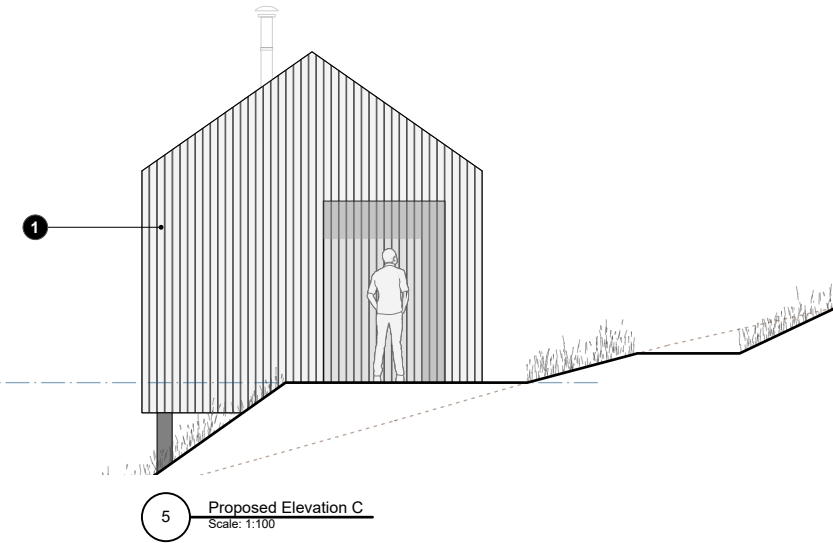
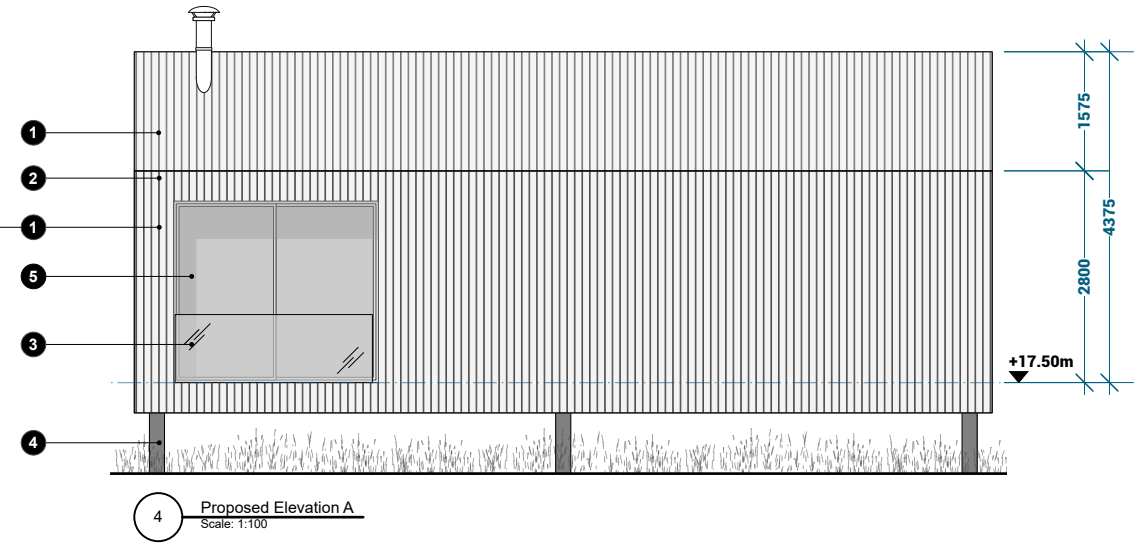
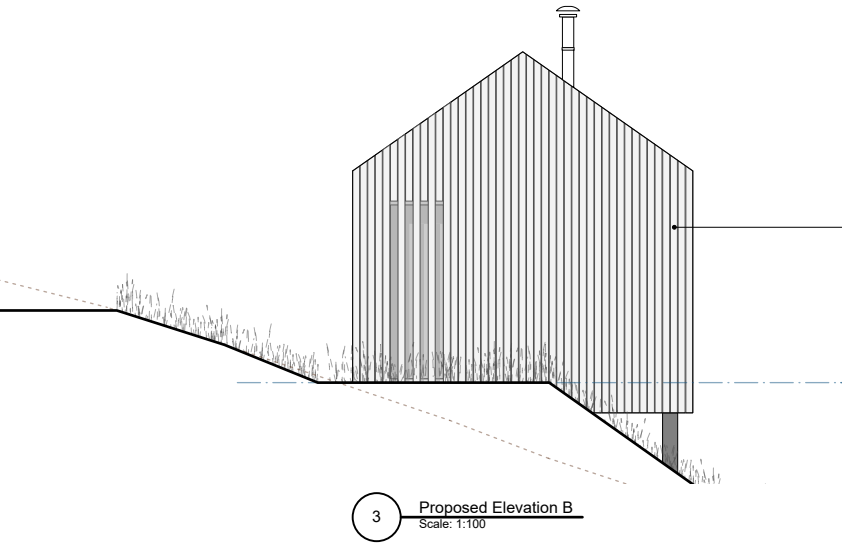
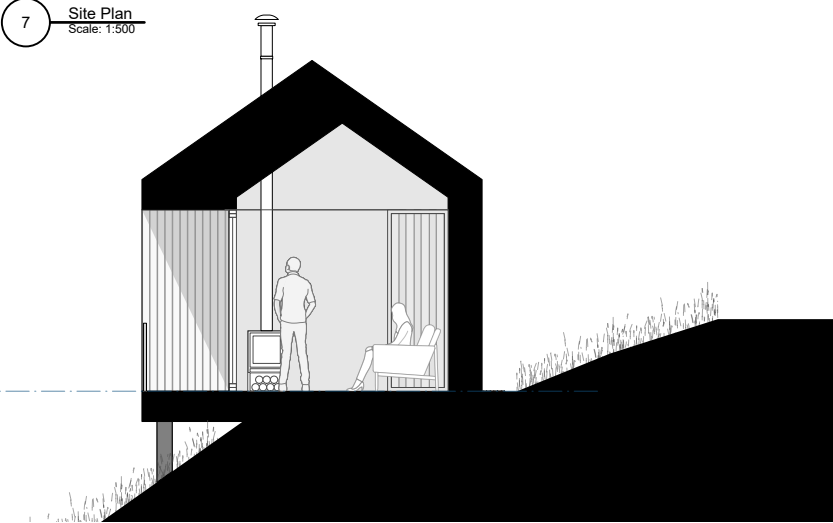
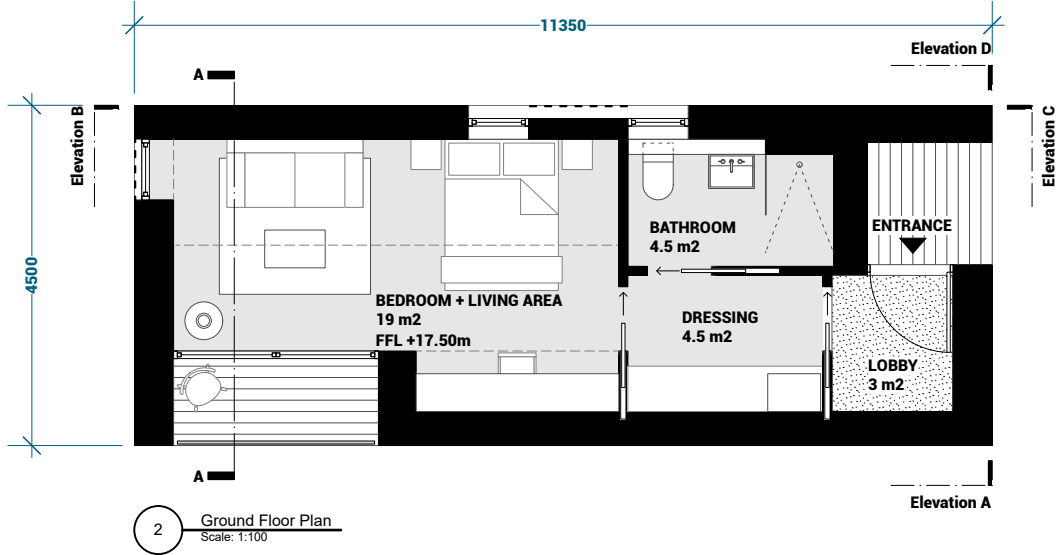
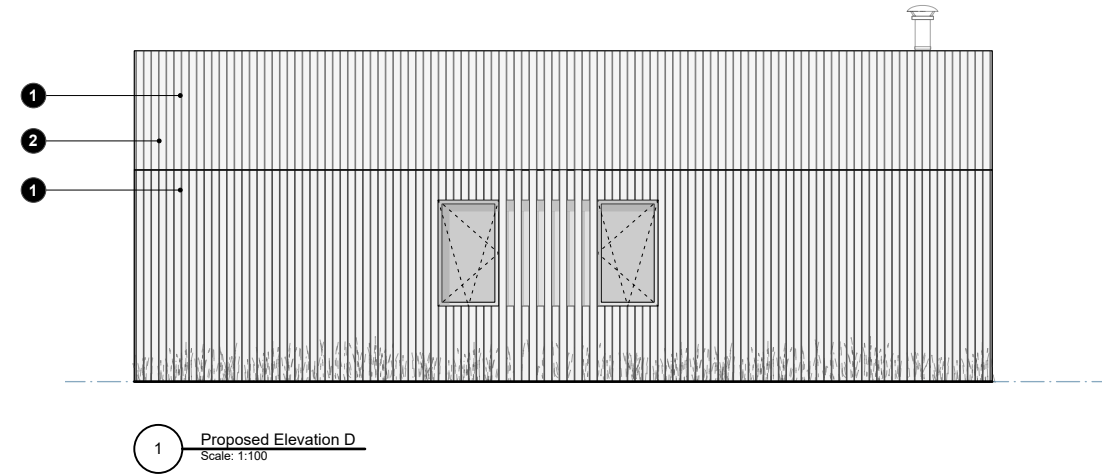
DRAWING NUMBER
1009_PL_244

DRAWN / CHECKED
JF / EDS / RF

DATE
21/02/2025

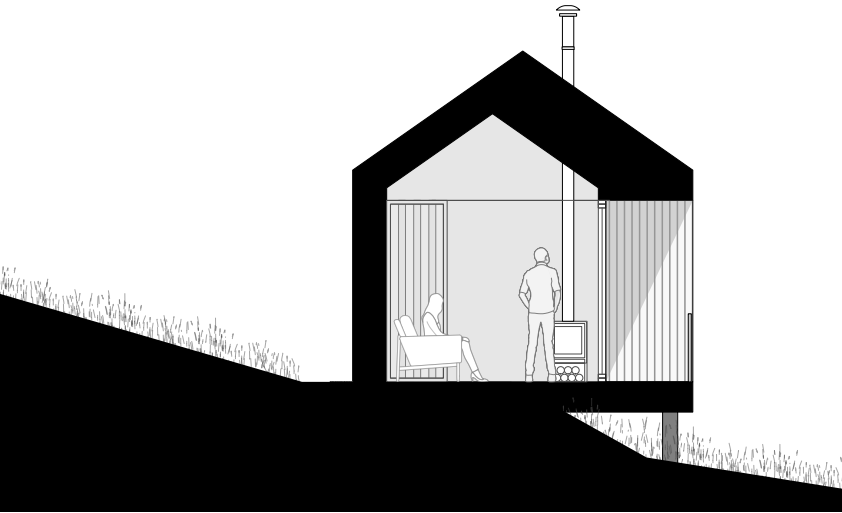
SCALE @A3
AS NOTED

- BOTHY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CONCEALED RAINWATER GUTTER AND DOWNPIPES
 - 3 FRAMELESS GLASS SCREEN
 - 4 STEEL SUPPORT
 - 5 ALUMINIUM WINDOWS AND DOORS

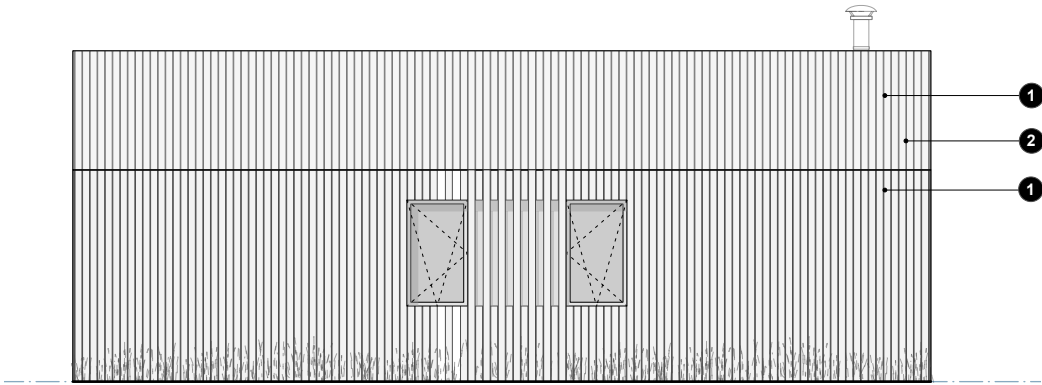


Key: Application Boundary Ownership Boundary Total GEA = 51 m2* *Area measured to the nearest 0.5 m2		0 1 2 3 M Site Blue Line Area: xxxm² Site Red Line Area: xxxm²		Site Address: The Three Chimneys Colbost Isle of Skye Scotland IV55 8ZT	
Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401		Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300		PROJECT NAME THE THREE CHIMNEYS NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	
A Feb 2025 PLANNING ISSUE REV DATE NOTE		DRAWING SET PLANNING DRAWING TITLE PROPOSED BOTHY 05		DRAWING NUMBER 1009_PL_245 DRAWN / CHECKED JF / EDS / RF	
DATE 21/02/2025 SCALE @A3 AS NOTED					

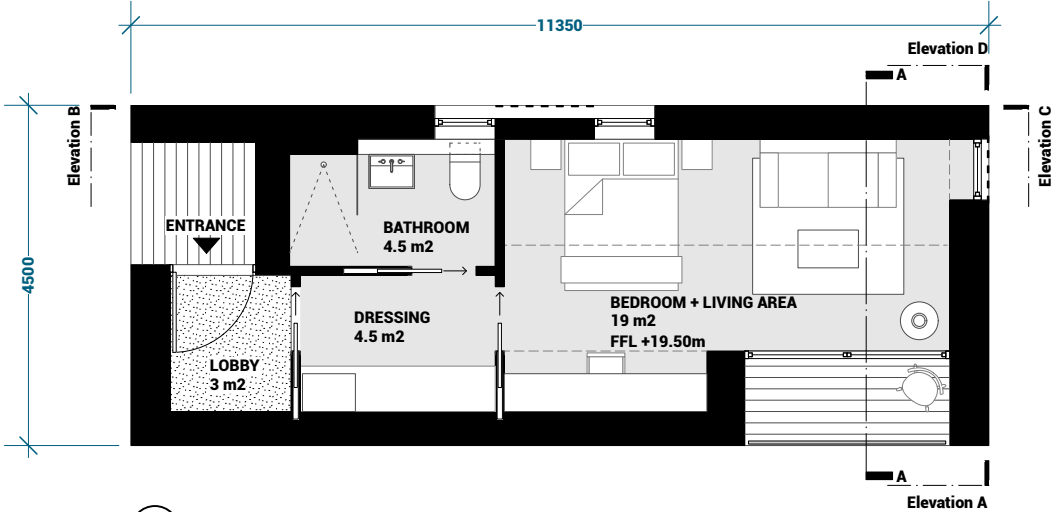
- BOTHY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 CONCEALED RAINWATER GUTTER AND DOWNPIPES
 - 3 FRAMELESS GLASS SCREEN
 - 4 STEEL SUPPORT
 - 5 ALUMINIUM WINDOWS AND DOORS



3 Proposed Section A-A
Scale: 1:100



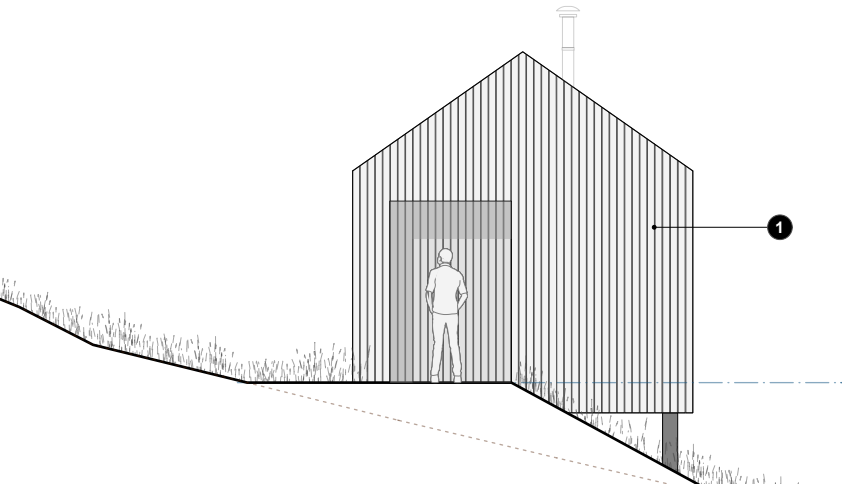
1 Proposed Elevation D
Scale: 1:100



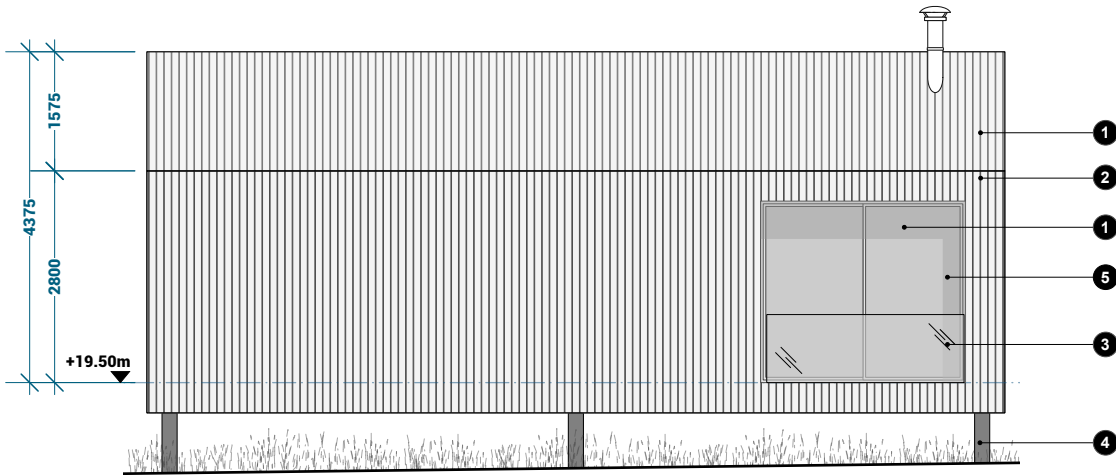
2 Ground Floor Plan
Scale: 1:100



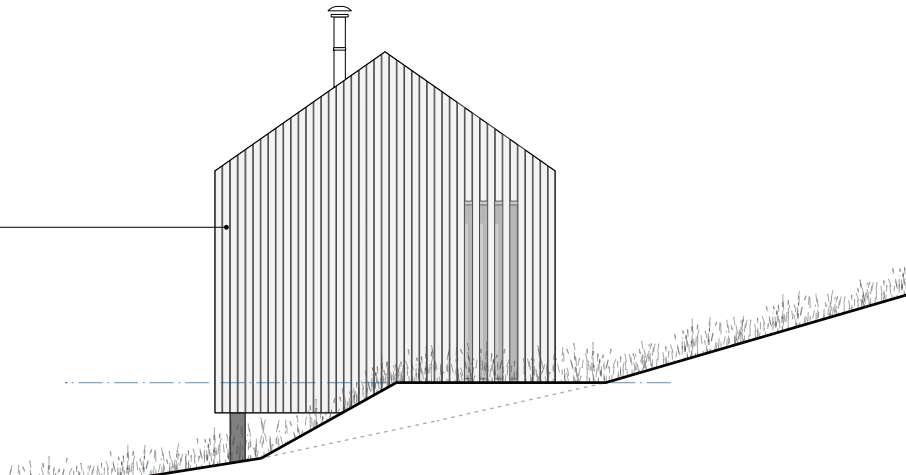
7 Site Plan
Scale: 1:500



4 Proposed Elevation B
Scale: 1:100

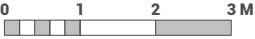


5 Proposed Elevation A
Scale: 1:100



6 Proposed Elevation C
Scale: 1:100

Key:
Application Boundary
Ownership Boundary
Total GEA = 51 m2*
*Area measured to the nearest 0.5 m2



Site Blue Line Area:
xxxm²
Site Red Line Area:
xxxm²
Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT



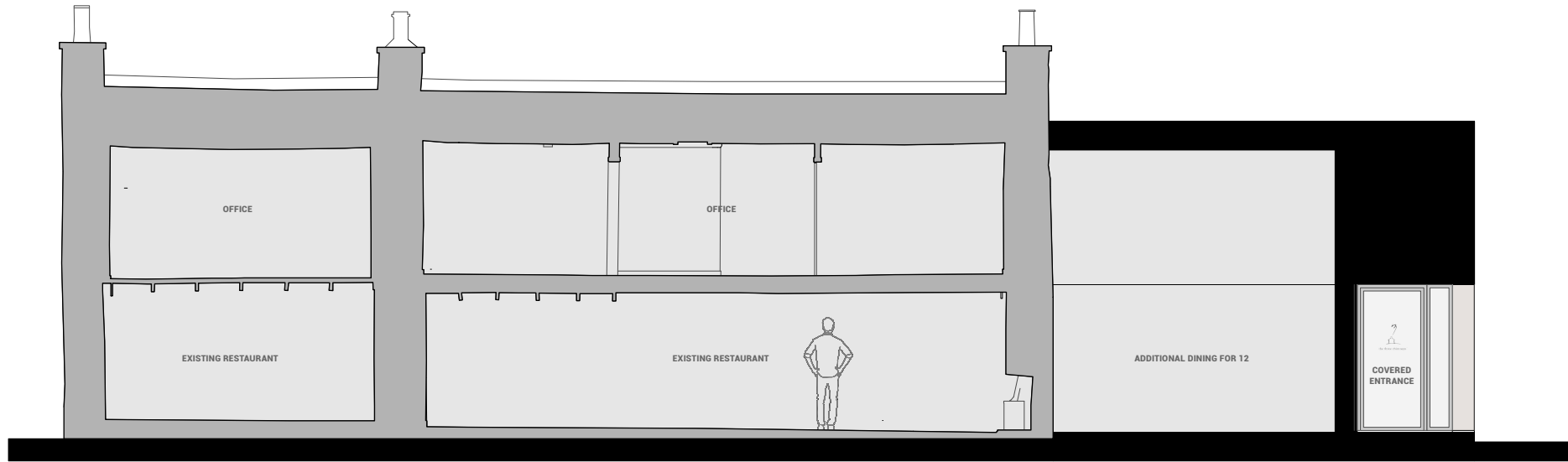
Glasgow
1.06 McLellan Works,
274 Sauciehall Street,
Glasgow G2 3EH
+44 (0)141 550 1401
Skye
Fas, Sabhal Mòr Ostaig
Sleat, Isle of Skye
IV44 8RQ
+44 (0)1471 833 300

A Feb 2025 PLANNING ISSUE
REV DATE NOTE

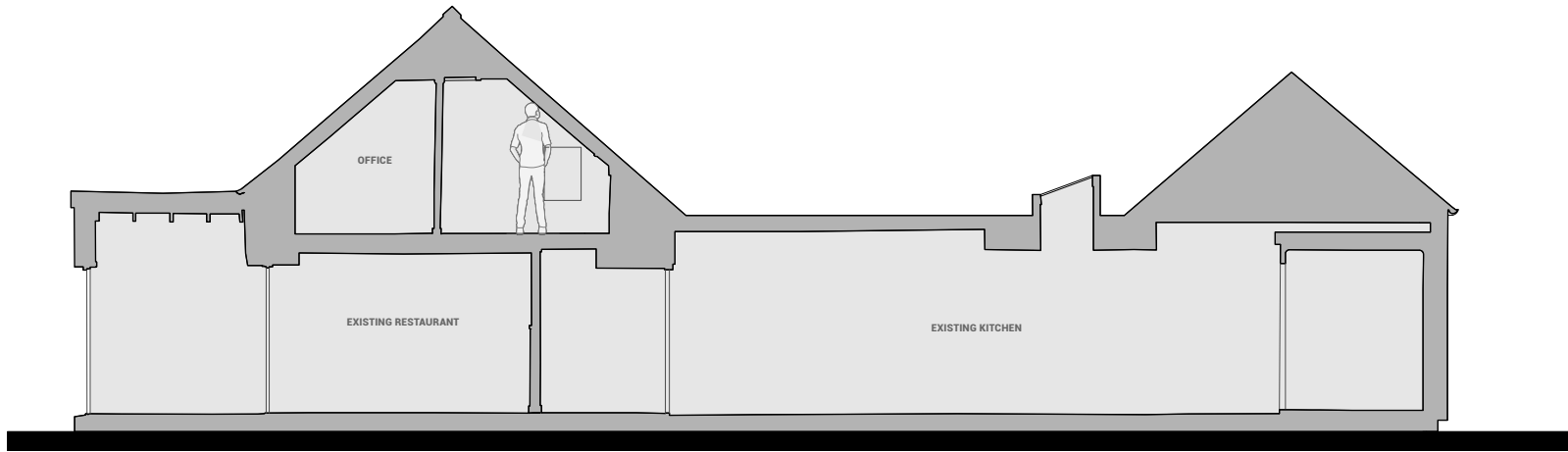
PROJECT NAME
THE THREE CHIMNEYS
NOTES
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DRAWING SET
PLANNING
DRAWING TITLE
PROPOSED BOTHY 06

DRAWING NUMBER
1009_PL_246
DRAWN / CHECKED
JF / EDS / RF
DATE
21/02/2025
SCALE @A3
AS NOTED



1 Restaurant - Proposed Section AA
Scale: 1:100



2 Restaurant - Proposed Section BB
Scale: 1:100

- RESTAURANT MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED STONWORK - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING



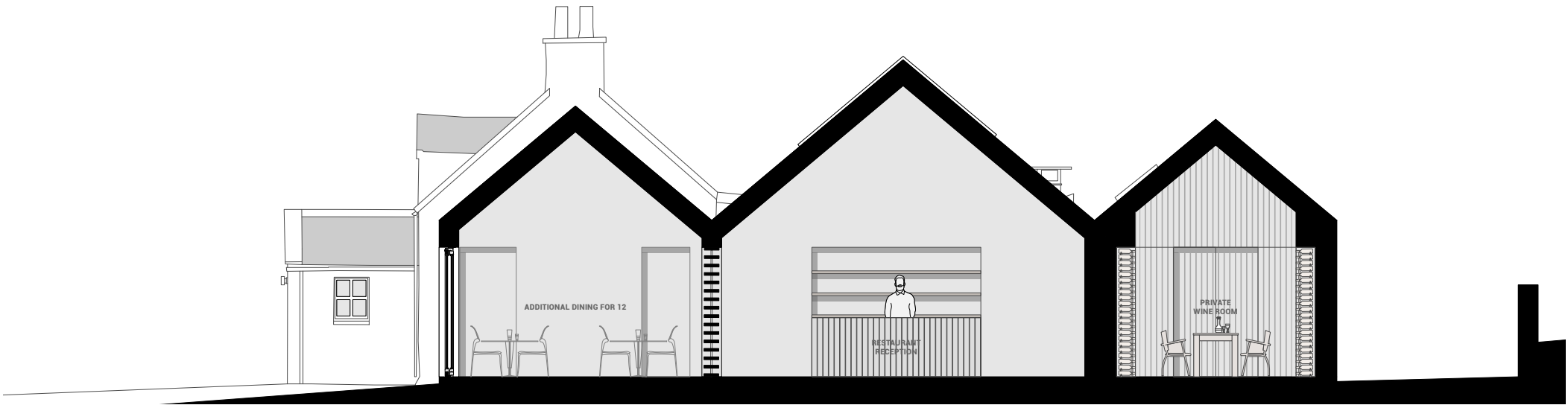
Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE REV DATE NOTE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_301	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED SECTIONS - RESTAURANT	DRAWN / CHECKED JF / RF	SCALE @A3 1:100

- RESTAURANT MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED STONework - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING



1 Restaurant - Proposed Section CC
Scale: 1:100



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_302	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED SECTIONS - RESTAURANT	DRAWN / CHECKED JF / RF	SCALE @A3 1:100

- HOUSE OVER-BY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED RENDER - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING



1 House Over-by - Proposed Section BB
Scale: 1:100



2 House Over-by - Proposed Section AA
Scale: 1:100



Site Blue Line Area:
11,000m²

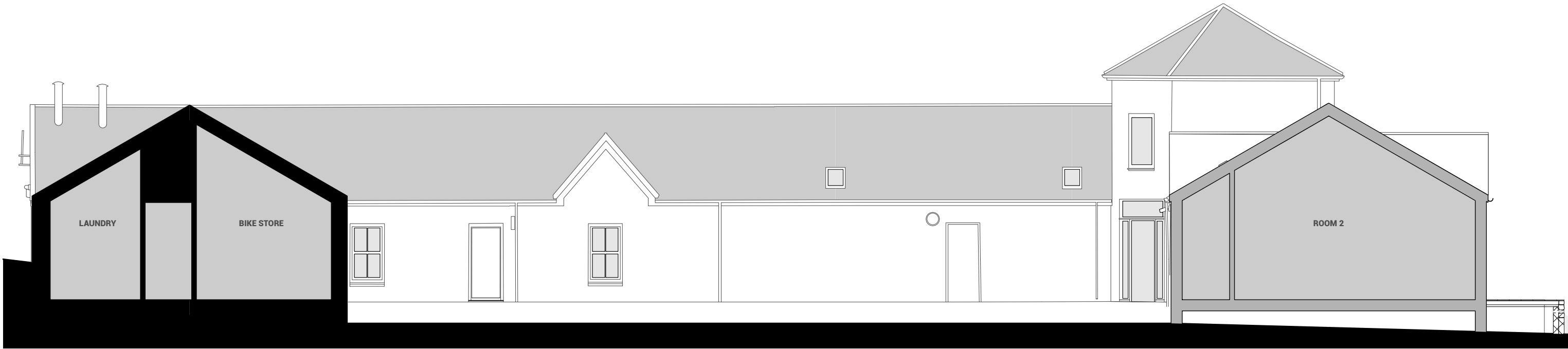
Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

- HOUSE OVER-BY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED RENDER - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING



1 House Over-by - Proposed Section DD
Scale: 1:100



2 House Over-by - Proposed Section CC
Scale: 1:100

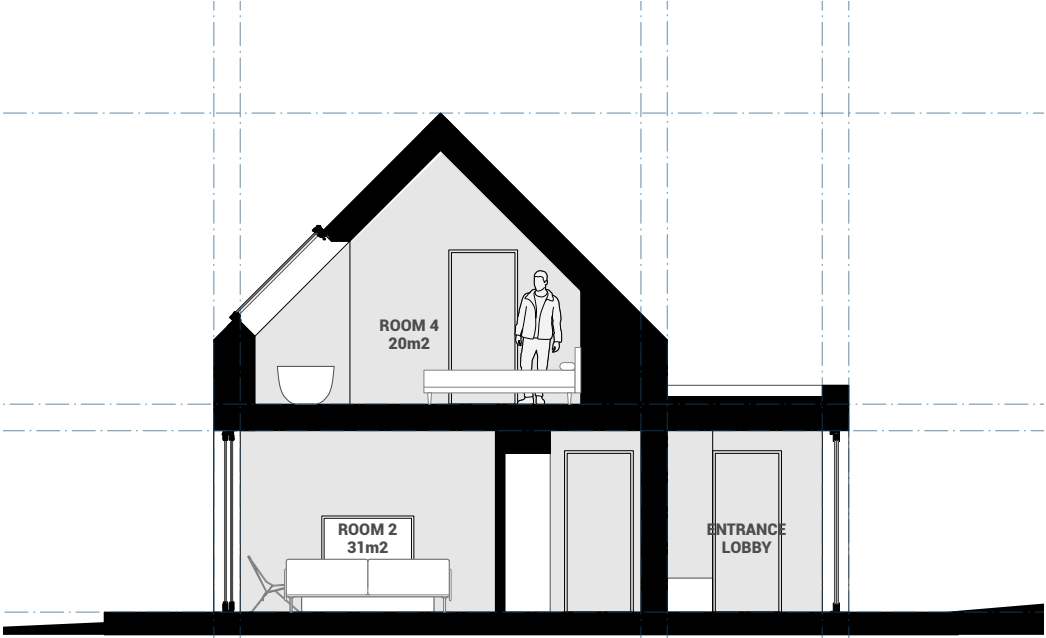


Site Blue Line Area:
11,000m²

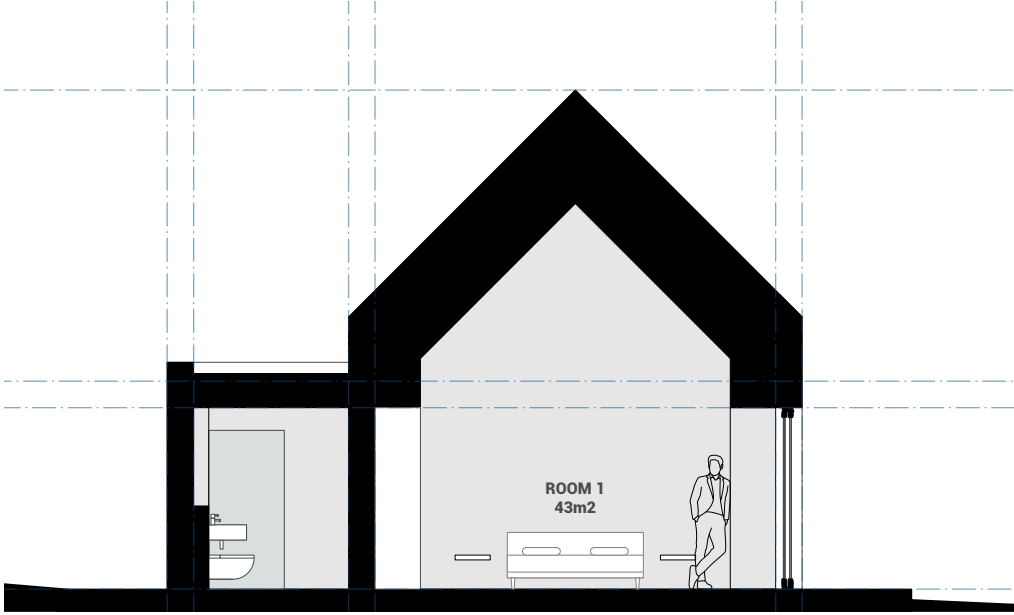
Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_312	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED SECTIONS - HOUSE OVER-BY	DRAWN / CHECKED JF / RF	SCALE @A3 1:100



1 Longhouse Type A - Section AA
Scale: 1:100



2 Longhouse Type A - Section BB
Scale: 1:100



3 Longhouse Type A - Section CC
Scale: 1:100

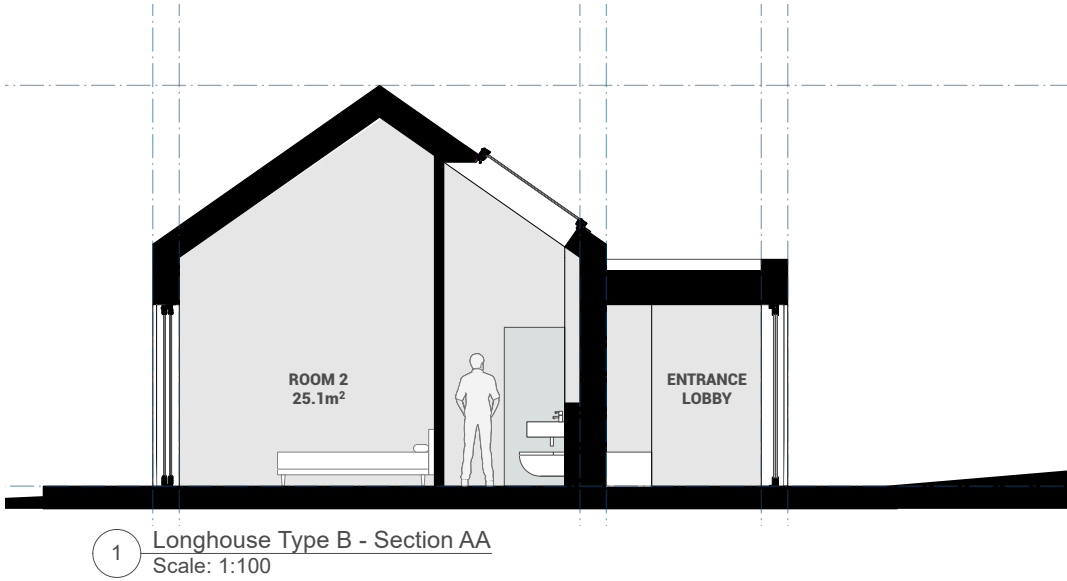


Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT

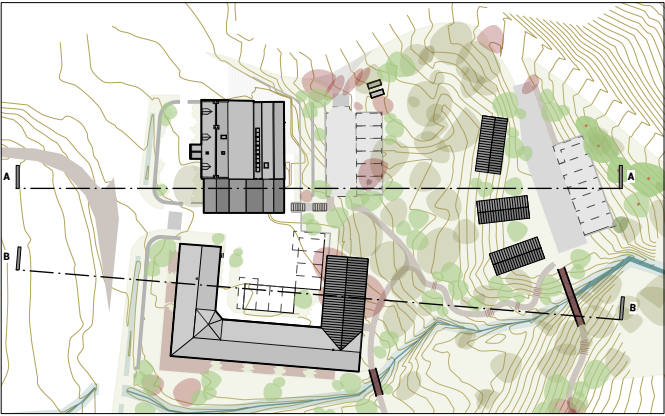
	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_321	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED SECTIONS - LONGHOUSE A	DRAWN / CHECKED JF / EDS / RF	SCALE @A3 1:100



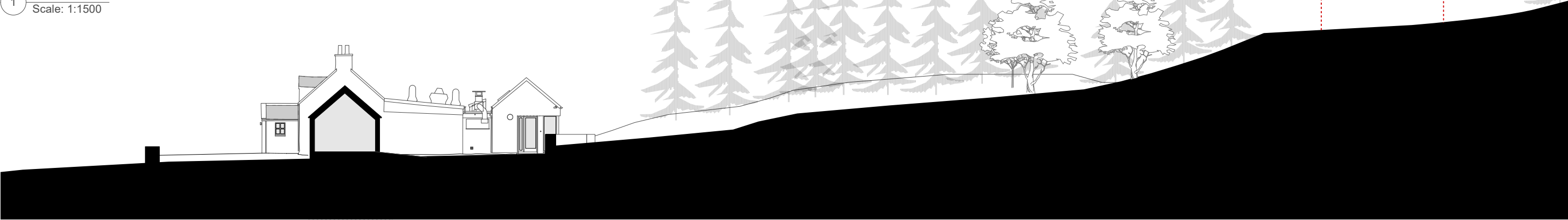
Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

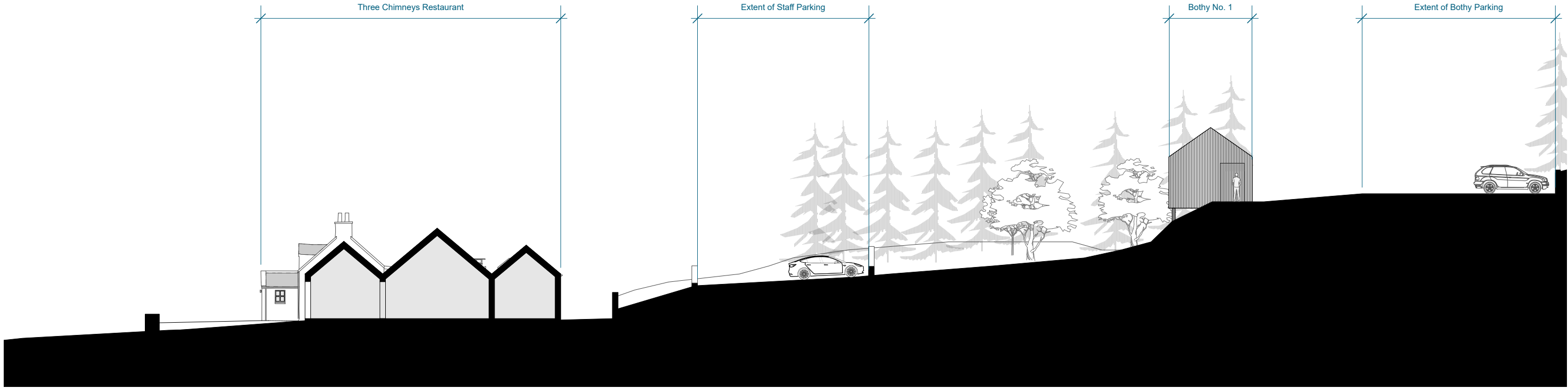
Site Address:
The Three Chimneys
Colbost
Isle of Skye
Scotland
IV55 8ZT



1 Section Lines
Scale: 1:1500



2 Existing Site Section AA
Scale: 1:250



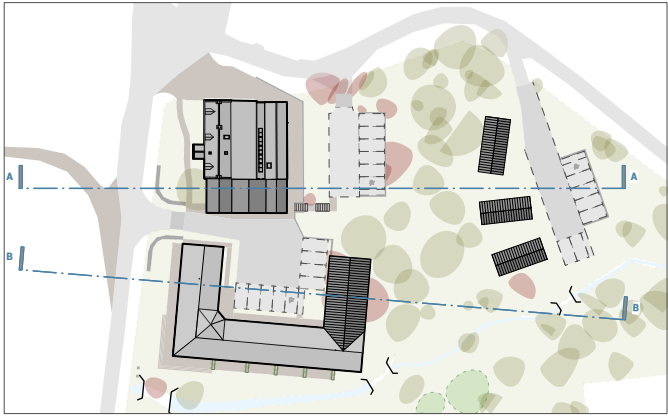
3 Proposed Site Section AA
Scale: 1:250



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

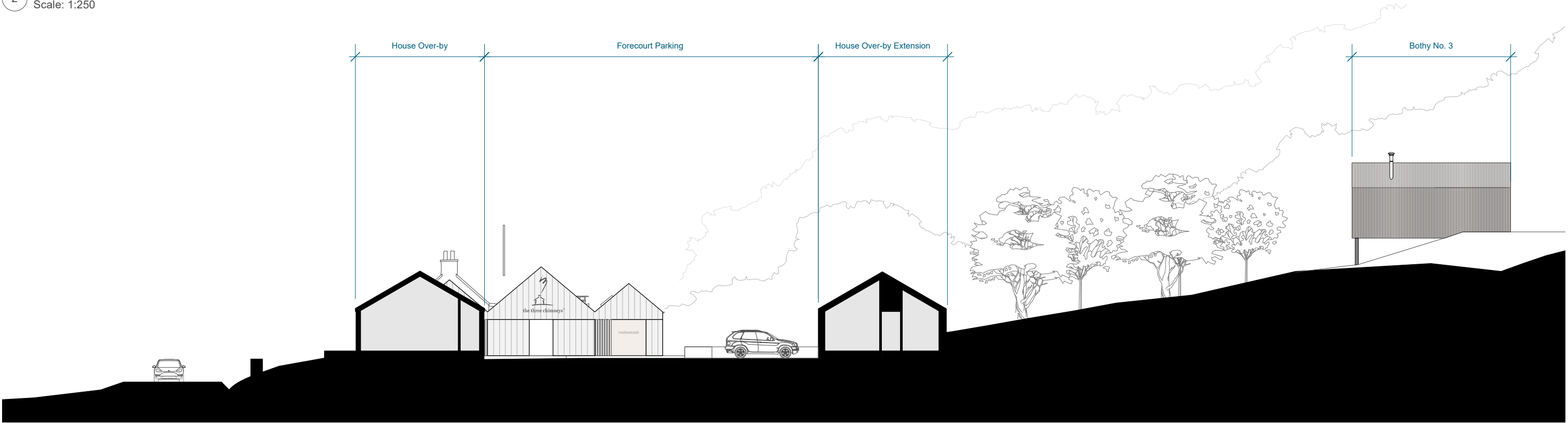
Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT



1 Section Lines
Scale: 1:1500



2 Existing Site Section BB
Scale: 1:250



3 Proposed Site Section BB
Scale: 1:250



Site Blue Line Area:
11,000m²

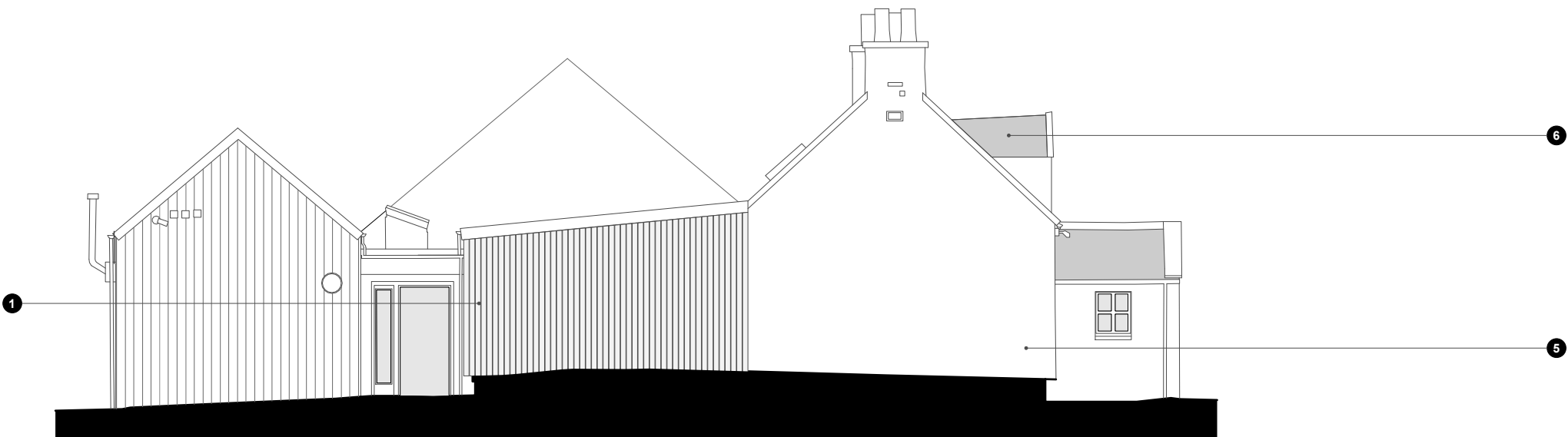
Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_352	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE SITE SECTION BB	DRAWN / CHECKED JF / RF	SCALE @A3 AS NOTED



1 Restaurant - Proposed North Elevation
Scale: 1:100



2 Restaurant - Proposed East Elevation
Scale: 1:100

- RESTAURANT MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED STONEWORK - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

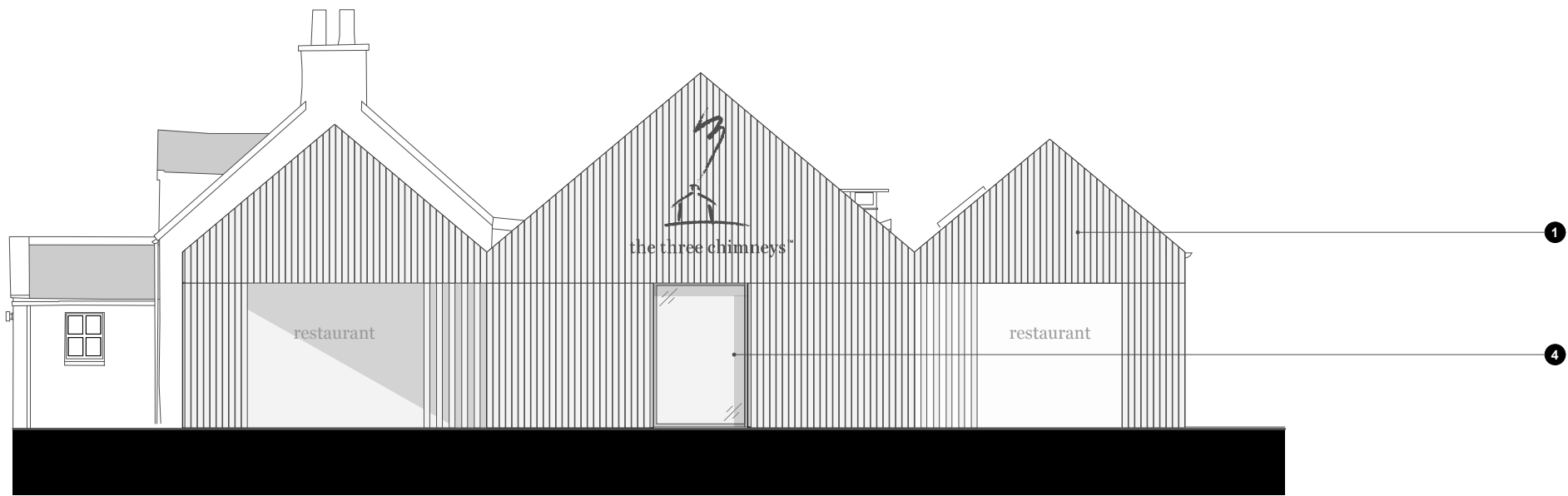
Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE REV DATE NOTE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_401	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED ELEVATIONS - RESTAURANT	DRAWN / CHECKED JF / RF	SCALE @A3 1:100



- RESTAURANT MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED STONEMWORK - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING

1 Restaurant - Proposed South Elevation
Scale: 1:100



2 Restaurant - Proposed West Elevation
Scale: 1:100





- HOUSE OVER-BY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED RENDER - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING

1 House Over-by - Proposed North Elevation
Scale: 1:100



2 House Over-by - Proposed East Elevation
Scale: 1:100



Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT

	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE REV DATE NOTE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_411	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	DRAWING TITLE PROPOSED ELEVATIONS - HOUSE OVER-BY	DRAWN / CHECKED JF / RF	SCALE @A3 1:100



- HOUSE OVER-BY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED RENDER - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING

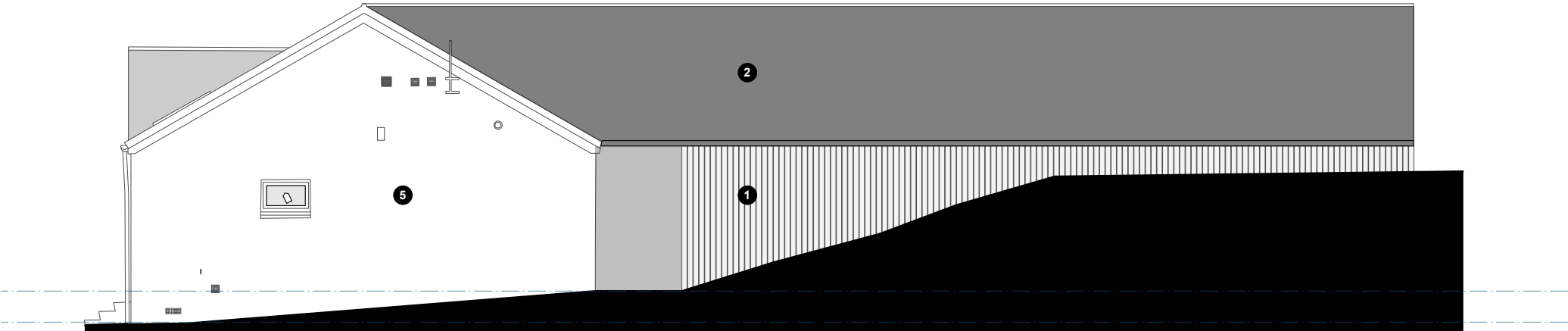
1 House Over-by - Sectional South Elevation
Scale: 1:100



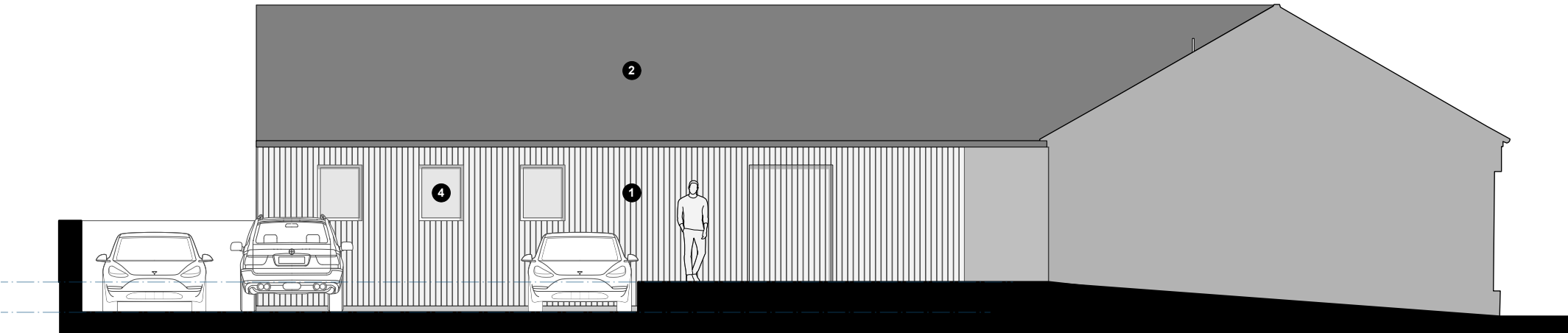
2 House Over-by - Proposed West Elevation
Scale: 1:100

			0123 M		Site Blue Line Area: 11,000m²	Site Address: The Three Chimneys Colbost Dunvegan Isle of Skye IV55 8ZT	
					Site Red Line Area: 13,340m²		
	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	PROJECT NAME THE THREE CHIMNEYS		DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_412	DATE 21/02/2025
			NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.		DRAWING TITLE PROPOSED ELEVATIONS - HOUSE OVER-BY	DRAWN / CHECKED JF / RF	SCALE @A3 1:100
			A Feb 2025 PLANNING ISSUE		REV DATE NOTE		

- HOUSE OVER-BY MATERIALS:
- 1 NATURAL TIMBER CLADDING
 - 2 SLATE ROOFING
 - 3 CONCEALED RAINWATER GUTTER AND DOWNPIPE
 - 4 ALUMINIUM FRAMED WINDOWS AND DOORS
 - 5 PAINTED RENDER - RETAINED AS EXISTING
 - 6 SLATE ROOFING - RETAINED AS EXISTING



1 House Over-by - Proposed South Elevation
Scale: 1:100



2 House Over-by - Sectional Courtyard Elevation
Scale: 1:100

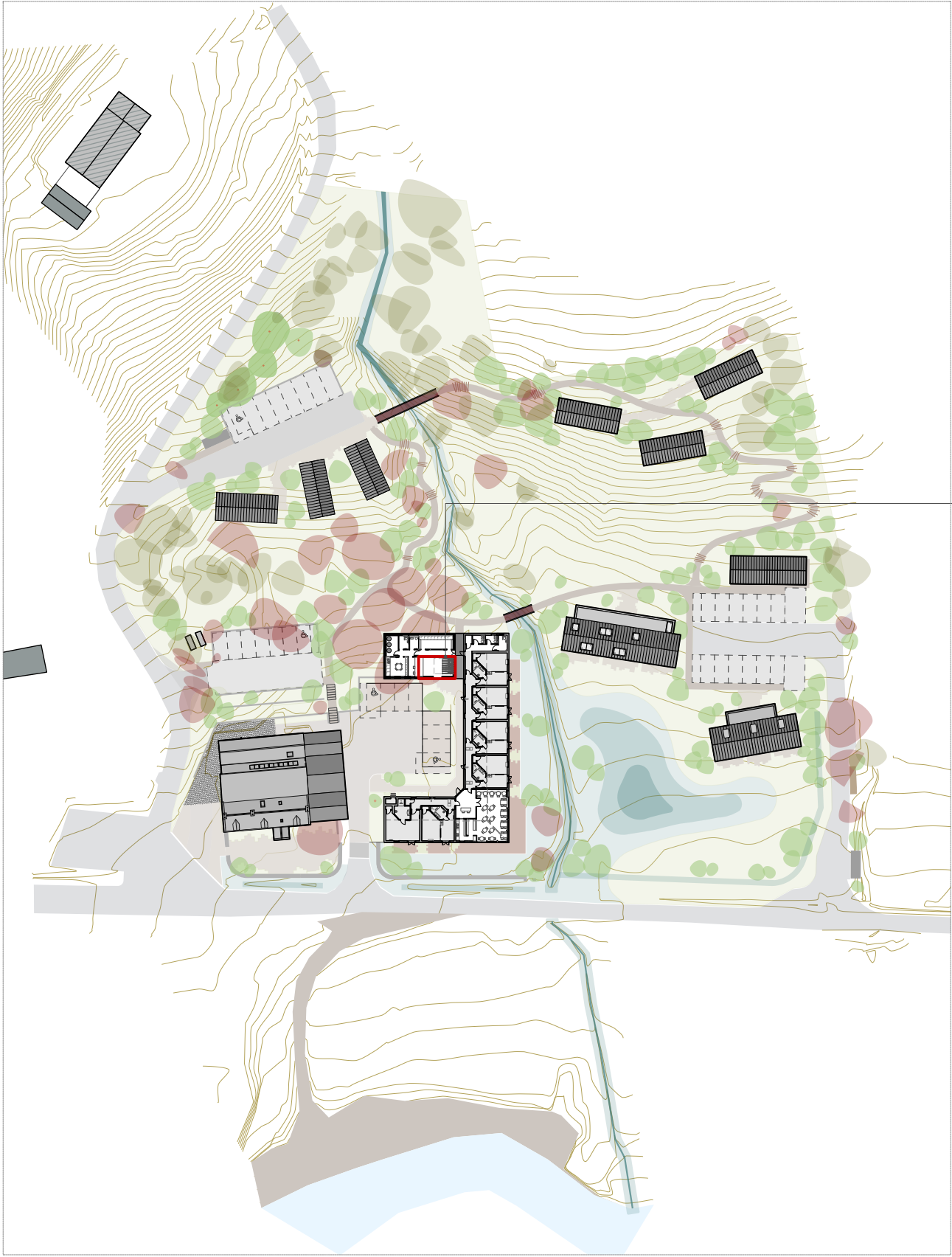


Site Blue Line Area:
11,000m²

Site Red Line Area:
13,340m²

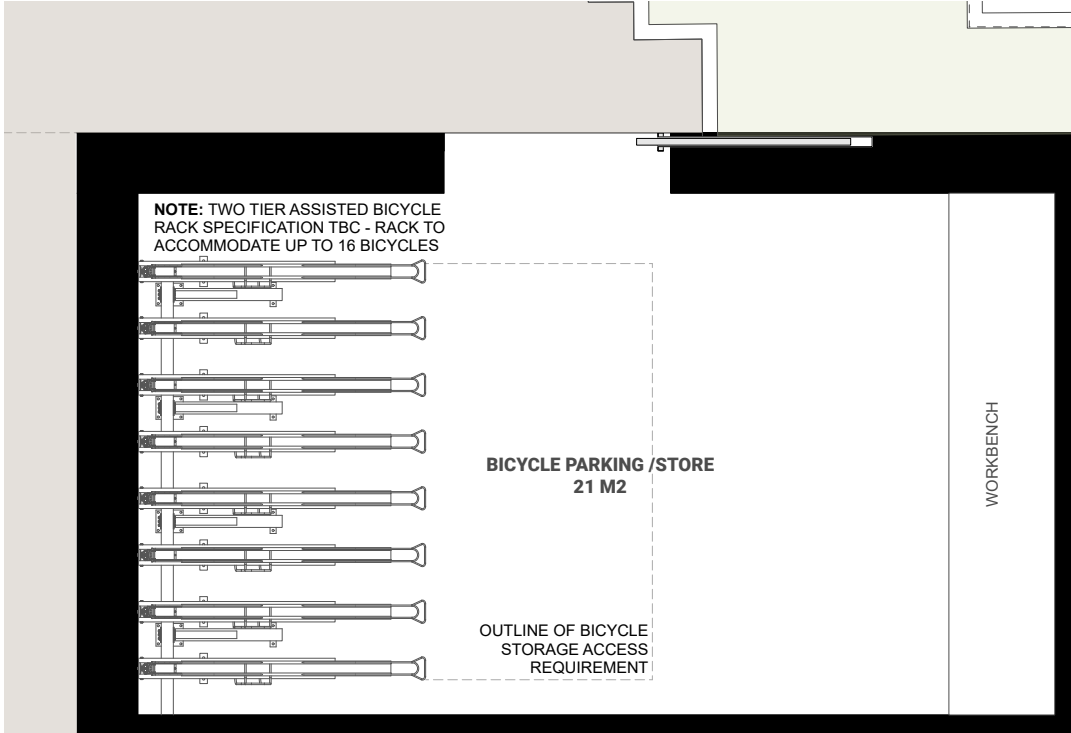
Site Address:
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	Glasgow 1.06 McLellan Works, 274 Sauciehall Street, Glasgow G2 3EH +44 (0)141 550 1401	Skye Fas, Sabhal Mòr Ostaig Sleat, Isle of Skye IV44 8RQ +44 (0)1471 833 300	A Feb 2025 PLANNING ISSUE REV DATE NOTE	PROJECT NAME THE THREE CHIMNEYS	DRAWING SET PLANNING	DRAWING NUMBER 1009_PL_413	DATE 21/02/2025
				NOTES © Dualchas Architects info@dualchas.com To be read in conjunction with the specification and all relevant drawings. Contractor to check all dimensions on site. Do not scale from this drawing. Architect to be advised of any variation between the drawings and site conditions.	PROPOSED ELEVATIONS - HOUSE OVER-BY	DRAWN / CHECKED JF / RF	SCALE @A3 1:100

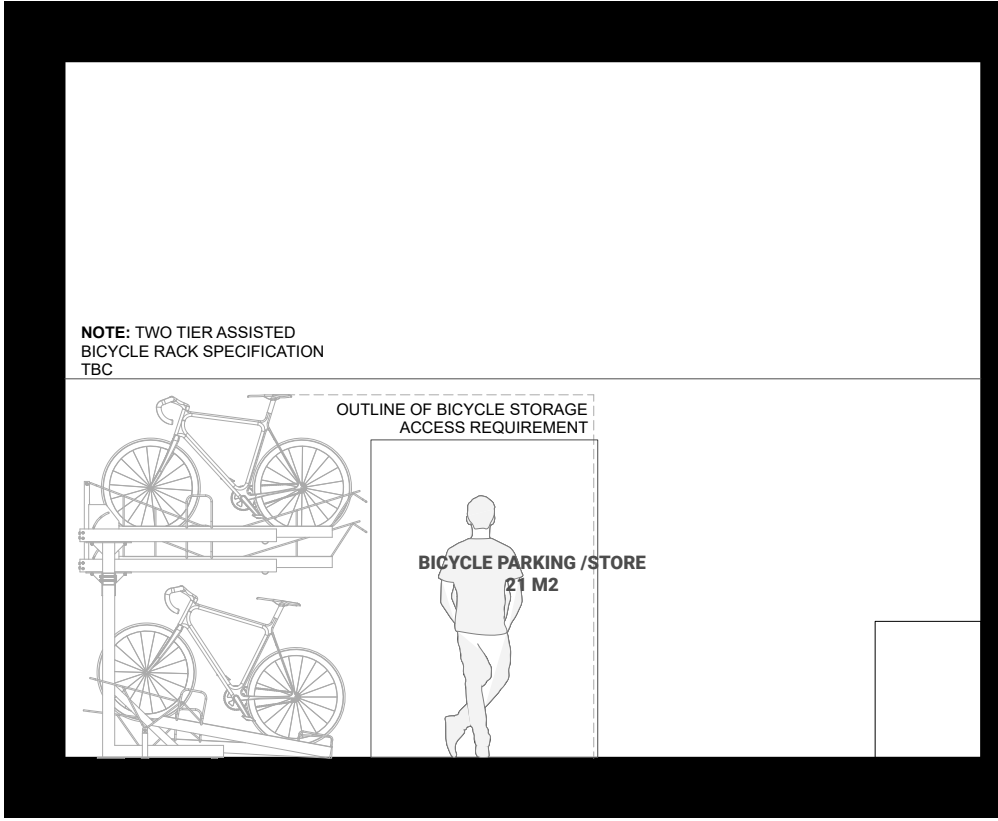


1 Proposed Site Plan
Scale: 1:1000

Cycle parking located in
internal store accessed
from courtyard



2 Bicycle Store - Proposed Plan
Scale: 1:50



3 Bicycle Store - Proposed Section
Scale: 1:50



Site Address:
The Three Chimneys
Colbost
Dunvegan
Isle of Skye
IV55 8ZT